

Minutes

Meeting of Council

Tuesday 26 April 2022

Surf Coast Shire Civic Office

Council Chambers

1 Merrijig Drive, Torquay, Victoria 3228

Commenced at 6:00 pm

Council:

Cr Libby Stapleton (Mayor)
Cr Gary Allen
Cr Paul Barker
Cr Mike Bodsworth
Cr Kate Gazzard
Cr Rose Hodge
Cr Liz Pattison
Cr Adrian Schonfelder
Cr Heather Wellington

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1 Procedural Matters

1.1 Present

Cr Libby Stapleton (Mayor)
Cr Mike Bodsworth
Cr Kate Gazzard
Cr Rose Hodge
Cr Liz Pattison
Cr Adrian Schonfelder
Cr Heather Wellington

Chief Executive Officer – Robyn Seymour
General Manager Place Making & Environment – Chris Pike
General Manager Strategy & Effectiveness – Rebecca Leonard
Acting General Manager Community Life – Damian Waight
Acting General Manager Strategy & Effectiveness - Lenny Jenner
Manager Finance - Gabrielle Spiller
Coordinator Governance – Jake Brown
Governance Officer – Julie Morales
Governance Statutory Compliance and Reporting Officer – Zoe Eastick

1.2 Opening

Cr Stapleton opened the meeting.

We acknowledge the Wadawurrung People, and the Gulidjan and Gadubanud Peoples of the Maar nation as the Traditional Owners of the land we now call Surf Coast Shire. We pay our respects to their Elders past and present, and all other Aboriginal and Torres Strait Islander People who are part of our Surf Coast Shire community.

1.3 Pledge

Cr Stapleton recited the pledge on behalf of all Councillors.

As Councillors we carry out our responsibilities with diligence and integrity and make fair decisions of lasting value for the wellbeing of our community and environment.

1.4 Apologies

Council Resolution

Moved Cr Bodsworth, Seconded Cr Gazzard

That an apology be received from Cr Allen.

CARRIED 6|0

For

Cr Bodsworth
Cr Gazzard
Cr Hodge
Cr Pattison
Cr Schonfelder
Cr Stapleton

Against

Nil

Abstained

Nil

1.5 Confirmation of Minutes

Council Resolution

Moved Cr Gazzard, Seconded Cr Bodsworth

That Council notes the minutes of the Council Meeting held on 22 March 2022 as a correct record of the meeting.

CARRIED 6|0

For

Cr Bodsworth
Cr Gazzard
Cr Hodge
Cr Pattison
Cr Schonfelder
Cr Stapleton

Against

Nil

Abstained

Nil

1.6 Leave of Absence Requests

Nil

1.7 Conflicts of Interest

Nil

1.8 Presentations

Nil

1.9 Public Question Time

Question 1 - Susan Cahir, Torquay

The most popular size of a caravan in Victoria is 6 metres long, 2.3 metres wide, and 3 metres in height. The legal maximum size of caravans is 12.5 metre length, 2.5 metres wide and 4.3 metres in height.

Robyn Seymour CEO of Surf Coast Council stated in an email to me on the 1/2/22 that, "Council officers do not enforce parking of vehicles on nature strips if it is done safely and does not impact safety or amenity."

Question:

How can our elected Councillors claim that any caravan of these dimensions do not block vision, impact safety, or amenity when stored on nature strips for 7 days?

Answer provided by Damian Waight, Acting General Manager Community Life

Thanks Susan for your question and strong interest in this matter.

Council officers would apply sound logic and expertise in assessing safety and amenity impacts of caravans parked on nature strips.

We know this is a topic of interest to many so we are doing more work on it which was the position Council arrived at through its resolution when adopting the local law in December 2021.

This further work is the development of a nature strip policy which will aim to clarify in more detail how safety and amenity is being considered as well as helping people use nature strips for balanced beneficial outcomes.

Question 2 - Susan Cahir, Torquay

The council has already allowed:

1. Compacted gravel to replace grass on our nature strips.
2. Passed By Law 6.6 that allows large vehicles to be stored on this compacted gravel.
3. This compacted gravel facilitates the storage of large vehicles for 7 days.

The council has compromised the ability to develop a nature strip policy by these previous decisions.

Question:

Given these previous decisions, how can the council now develop an effective nature strip policy to mitigate against climate change, and the heat island effect, as is their statutory and mandatory legal obligation?

Answer provided by Damian Waight, Acting General Manager Community Life

Thanks again for the question, Susan.

We understand the impact climate change is having on our world and it's a strong focus for Council.

We will use our best endeavours to develop a policy that balances many issues including the impact of nature strips on climate.

Question 3 - Patrick Cahir, Torquay

My Question 3 to the March Council meeting was not answered.

The question was, "Why has the council prioritised the storage of private vehicles, boats, trailers and caravans over their statutory duty of the Victorian Road Safety Law 2017, and mitigation against climate change as defined in the Local Government Act 2020?"

Could you answer this question directly in relation to Councils statutory and mandatory duties?

Answer provided by Damian Waight, Acting General Manager Community Life

Thanks Patrick for the question.

We appreciate you taking the time to raise these questions with us. As you'd be aware, it comes at a time when we are developing Council's first Nature Strip Policy.

There is no intention to prioritise the public's use of space in locations such as nature strips over current state laws.

Council's Local Law takes into account current legislation and looks to fulfil statutory and mandatory duties.

Question 4 - Patrick Cahir, Torquay

There were two factual errors in the answers to my questions in the March meeting.

1. Council claimed that they are consistent with neighbouring councils.
This is not true as no other council in Victoria has a by law that allows storage of vehicles on nature strips for 7 days.
2. Council claims that "Our experienced Ranger Officers are provided with some discretion to determine if a vehicle is parked safely."

The legal use of discretion is very limited when the word MUST is used in legislation. Victorian Road Safety Law 2017 states that "You must not stop on a nature strip." For the record, could you correct the 2 factual errors that you made at the March Council meeting?

Answer provided by Damian Waight, Acting General Manager Community Life

Thanks again, Patrick.

For clarification, Council officer enforcement practices are consistent with the approach taken by the sector, including neighbouring Councils. We have liaised with neighbouring Council's on enforcement practices.

This practice of enforcing vehicles parking on nature strips only when there is a safety or amenity related issue is a topic being reviewed this year and we agree it is an important topic.

Thank you and Susan for raising your questions with us tonight. We hope the responses tonight, along with earlier correspondence helps give you comfort that we are considering these matters, in the development of the Nature Strip Policy.

Question 5 - Jarred Crowe, Waurin Ponds

Over the last week and a bit, I have been taking care of a property in Gnarwarre and I would like to express my concerns regarding the safety of the intersection/s at Barrabool Rd / Gnarwarre Rd.

When departing Gnarwarre Rd to head south or east along Barrabool Rd you must give way to oncoming traffic from both directions on Barrabool Rd but due to the curve in the road, it can be very difficult to clearly see oncoming traffic coming around the bend at 100kph as you are essentially looking for oncoming traffic behind you.

Does Surf Coast Shire council have any plans to improve the safety at intersections? The two intersections should be re-built as one single T-intersection in the middle of the curve on Barrabool Rd to create a more right-angled approach from Gnarwarre Rd. Additionally turning lanes and a speed limit reduction on the curve of Barrabool Rd could be considered. This could also allow council to expand the adjoining recreation reserve and expand amenities for locals at a later date. The council could potentially work with the TAC or apply for TAC grants to aid in funding improvements at this location.

Answer provided by Cr Libby Stapleton (Mayor)

Thank you Jarred for your question. We greatly appreciate your sharing of your concerns.

We share those concerns and I can let you know that we do have plans to make improvements.

The intersection of Barrabool Road and Gnarwarre Road is currently listed in the road network plan to be re-built. The plan also includes sealing of the road shoulders along Barrabool Road.

It is on Council's priority list for road upgrades awaiting funding. We do not currently have funding allocated.

However we regularly apply for available grants and funding that are applicable.

One of the unfortunate aspects of TAC funding criteria is that they are based on accident data and we do not have any data on this intersection. In other words no accidents have been reported or captured at this intersection. This makes it harder to secure TAC funding.

As we continue to work through the best avenue for funding we already have plans to install improved signage in this financial year.

Cr Wellington joined the meeting at 6:14pm.

2 Petitions and Joint Letters

2.1 Acknowledgement of Petition for a Surf Coast Athletics Facility - Surf Coast Athletics Incorporated

Author's Title:	Executive Assistant/Internal Events Officer
General Manager:	Chris Pike, General Manager
Department:	Place Making and Environment
Division:	Place Making and Environment
Attachments:	1. Petition Surf Coast Athletics Facility combined - REDACTED [2.1.1 - 8 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Purpose

The purpose of this report is to receive the petition requesting that Council provide a dedicated athletics track and associated facilities within the Surf Coast region.

In accordance with Rule 23 of Council's Governance Rules, the standard process for receiving petitions is for the petition to be received by Council at the next available Council meeting, followed by an Officer report within three months of that Council meeting where Council will make a decision on that matter.

The petition consists of 165 signatures.

Recommendation

That Council, in accordance with its Governance Rules:

1. Receives the petition requesting a dedicated athletics track and associated facilities with the Surf Coast Region.
2. Refers the petition to the General Manager Placemaking and Environment for consideration.
3. Requires a report on the petition be presented by the July Council Meeting.

Council Resolution

Moved Cr Pattison, Seconded Cr Gazzard

That Council, in accordance with its Governance Rules:

1. Receives the petition requesting a dedicated athletics track and associated facilities with the Surf Coast Region.
2. Refers the petition to the General Manager Placemaking and Environment for consideration.
3. Requires a report on the petition be presented by the July Council Meeting.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		



WOULD YOU SUPPORT A SURF COAST ATHLETICS FACILITY?

We have over 100 participants in little athletics in the surf coast region, and over 56% of our community are physically active 4 times per week or more. Our region is growing fast, with more and more families and lifestyle-oriented people choosing to live here.

A large percentage of the Surf Coast population would benefit from a dedicated athletics track and associated facilities (change rooms, spectator seating etc).

People currently have to travel to Landy Field in Geelong to participate at a purpose built venue and we want to see an Athletics Facility suitable for ages from Little Athletics through to Veterans made available in our region.

Would you support a Surf Coast Athletics Facility?

PLEASE SIGN OUR PETITION!

WOULD YOU SUPPORT A SURF COAST ATHLETICS FACILITY?

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WOULD YOU SUPPORT A SURF COAST ATHLETICS FACILITY?

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2.2 Acknowledgement of Petition and Joint Letter - 69 Barwon Terrace Winchelsea

Author's Title:	Coordinator Governance
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Governance
Division:	Strategy and Effectiveness
Attachments:	1. Redacted - Petition - In Support of Honest & Free Food Stall and Nature Strip Garden at 69 Barwon Te [2.2.1 - 37 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Purpose

The purpose of this report is to receive a petition requesting that Council rescind the notice to comply to remove a produce share shed and nature strip garden at 69 Barwon Terrace.

Council has also received a number of letters in support of the owners of the community led Honest and Free Stand being able continue to operate in its current capacity and location.

Although the letters do not constitute the definition of a joint letter under the Governance Rules (Rules), the Rules have provision for Council to resolve to receive a joint letter in a non-conforming format.

The petition consists of 141 signatures.

Recommendation

That Council, in accordance with its Governance Rules:

1. Receives the petition requesting that Council rescind the notice to comply to remove a produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
2. Receives joint letters in a non-conforming format supporting the produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
4. Refers the petition and joint letters to the General Manager Community Life for consideration.
5. Requires a report on the petition and joint letters be presented to the 24 May Council Meeting.

Council Resolution

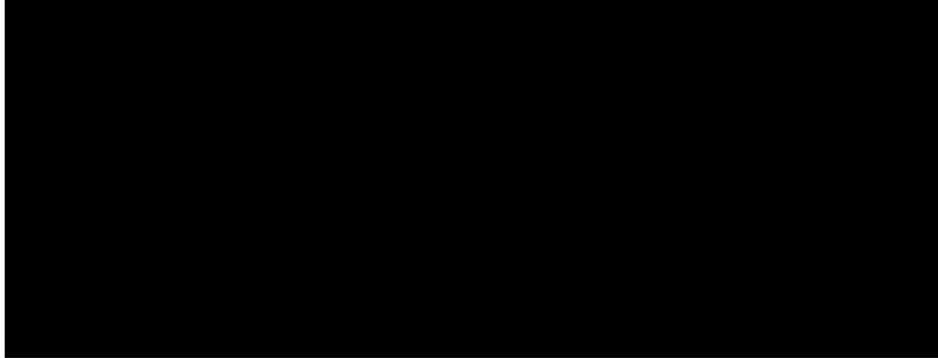
Moved Cr Wellington, Seconded Cr Schonfelder

That Council, in accordance with its Governance Rules:

1. Receives the petition requesting that Council rescind the notice to comply to remove a produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
2. Receives joint letters in a non-conforming format supporting the produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
3. Refers the petition and joint letters to the General Manager Community Life for consideration.
4. Requires a report on the petition and joint letters be presented to the 24 May Council Meeting.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		



9th March 2022

To Whom It May Concern,

Re: Honest & Free Stand Winchelsea

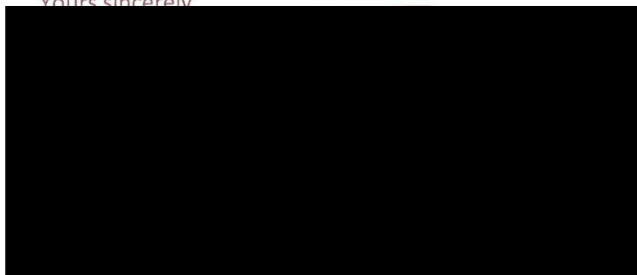
We write in support of the work that [REDACTED] are doing for the local community in establishing an Honest & Free Food stall and a nature strip garden for the community to access.

In establishing the naturestrip garden [REDACTED] has purchased many loads of organic compost and leaf mulch from Winchelsea Landscape & Garden Supplies establishing the garden with quality products and also supporting local business with purchases.

The garden and stall has very quickly become a successful point of access for those that find the rising cost of living difficult, it is a place where families and community members can access good produce to supplement their pantries.

We hope that Surf Coast Shire look favourably upon the partition by the community to allow the stall and garden to remain as an important community service.

Yours sincerely



10th March, 2022

Att: Surf Coast Shire
1 Merrijig Drive
Torquay 3228

To Whom It May Concern,

Re: Honest & Free Stall and Nature Strip Garden

We write in support of the Honest & Free Stall and Nature strip Garden located in Barwon Terrace, Winchelsea.

██████████ are very community minded and we have witnessed the stall and garden become very popular in our community.

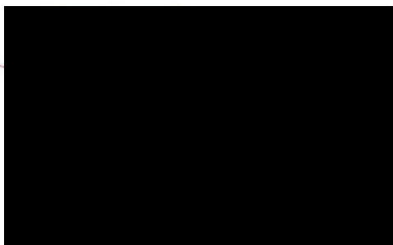
Winchelsea is a low socio economic area and many families are impacted by the high costs of living. Lack of public transport options to Colac and Geelong restricts many families to having to shop for all their needs in Winchelsea, which can be quite expensive and does not allow access to cheaper produce or products.

Having the stall and garden is a great community asset where community members donate excess produce from their gardens for others to share. We have been able to donate produce on occasion and it is fabulous knowing that others can use it rather than it going to landfill.

It is exciting to see posts on local social media sites notifying of drop offs of goods to the stall alerting others to share the produce whilst fresh.

The stand is very much appreciated by everyone who donates goods and those that appreciate receiving such generosity. The more popular it becomes the more it strengthens and brings together a community.

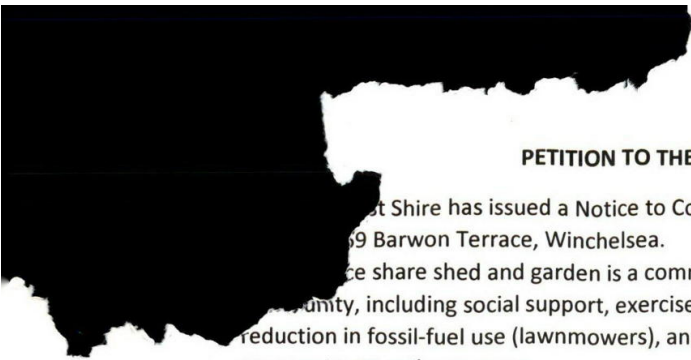
It is a win, win for everyone!



PETITION TO THE SURF COAST SHIRE

- The Surf Coast Shire has issued a Notice to Comply to remove a produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
- The produce share shed and garden is a community project that provides many benefits to the community, including social support, exercise, free locally-grown food, enhanced environment, reduction in fossil-fuel use (lawnmowers), and its existence is no detriment, health hazard, or safety concern to any other person.
- We the undersigned request that the notice to comply be rescinded.

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PETITION TO THE SURF COAST SHIRE

Surf Coast Shire has issued a Notice to Comply to remove a produce share shed and nature strip
69 Barwon Terrace, Winchelsea.
The produce share shed and garden is a community project that provides many benefits to the
community, including social support, exercise, free locally-grown food, enhanced environment,
reduction in fossil-fuel use (lawnmowers), and its existence is no detriment, health hazard, or safety
concern to any other person.

- We the undersigned request that the notice to comply be rescinded.

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PETITION TO THE SURF COAST SHIRE

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- We the undersigned request that the notice to comply be rescinded.

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PETITION TO THE SURF COAST SHIRE

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PETITION TO THE SURF COAST SHIRE

- The Surf Coast Shire has issued a Notice to Comply to remove a produce share shed and nature strip garden at 69 Barwon Terrace, Winchelsea.
- The produce share shed and garden is a community project that provides many benefits to the community, including social support, exercise, free locally-grown food, enhanced environment, reduction in fossil-fuel use (lawnmowers), and its existence is no detriment, health hazard, or safety concern to any other person.
- We the undersigned request that the notice to comply be rescinded.

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Testimonials

1

The Garden

While studying biodynamic farming in the UK, we removed kikuyu grass from rich soil in a walled garden. It was a laborious job involving forking the soil over, breaking it up, bending over and removing the roots and putting into a container. This creates a manageable low maintenance garden. Most places i have gardened in the last 16 years i have removed the rhizobial roots while starting a garden off.

We have been doing that around our house and chipping away at the nature strip over the last years, as it seemed logical to do and share what is possible with some patience, work, compost and mulch. It has been community supported. About 14 peoples have assisted to bring the honest and free stand and 'pick your own greens' nature strip garden to where it is now.

The Native trees were gifts or free. Macadamia, Tamarind and lillipi. Some of the volunteer plums have made it in there as well.

They have been planted with consideration of foot paths, services and access.

One community member expressed how not planting too close to the curb would be beneficial, to leave space for people getting out their cars. Our solution was to retain the soil with railway sleepers and bring the bed back to allow a walkway along the road. Closer to the fence is a wheel chair or pram sized gap as well.

We have added cubes of compost and covered with cubes of mulch from RAK DAVIS. These financial investments were only see as contributing to the community and place. Not having to mow is also an advantage to us.

The Honest and Free stand

We were gifted the perfect old shed a while back from the Neighbors, a strong old frame. Our other neighbors across the road had already started a 'food is free' table during the start of the crisis. The food, plants would get beaten by the sun or have no cover from rain. I offered them the shed but they were not ready for that next step.

Assuming it to be totally kosher to have a stand outside your house, an Australian hallmark that was celebrated. We have the space along the nature strip and it does not interfere with our home so we put it on our side of the road.

It did not happen quick and after some time there was a complaint. I was told it was a grey area. The issue did not persist so i got to tidying it up and making it look good, people helped, we paid some one to help us with the shelves and the perspex.

The shed is screwed into long steel pegs that are embedded in the soil to stop any potential flight. It's frame sits on blue stones. Daubing on the frame with some earthen material would ground the shed further. It has weather boards attached all around.

The Honest and Free stand serves an important purpose in the community if there is consensus around its removal there will need to be support in reestablishing it.

There would need to be clear logical reason to move, change or alter the space. We are very open to hear thoughts and discuss ways to solve any concerns.

Best Wishes richard of the family lockie living at Ananda Shamba Wadawurrung Country.

Hi Adrian,

I am writing with somewhat shock re: a notice received by [REDACTED] about the Food is Free stall on their nature strip on Barwon Terrace.

As owner and admin of the Winchelsea Gardeners Facebook group, I am keenly aware of the need for a produce stand such as this, for locals to share their homegrown produce with others. It has been received by gardeners with such gratitude and delight to have a central place to drop boxes of excess lemons, plums, zucchini and the like, dropping a message on the Facebook wall to say it's there if anyone would like it. Copies of gardeners' magazines, homemade jams, plants and other things are dropped at the stall. It has certainly become a talking point of the town and our go to for this kind of community action, particularly during pandemic times where we spent more time tending our gardens and less time getting together as we were doing the right thing and socially distancing. The stall became a centrepiece for many: 'hey, just dropping some cabbage at the Honest and Free Stand' or 'just dropped a couple of bunches of silverbeet at the stand' became familiar community updates on the social pages of our small community, and everyone appreciated this community spirit at a time where we felt we had none at all.

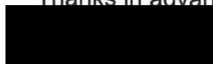
I have spoken to both [REDACTED] about the stall and they are so passionate about the service they provide, aware of the need to keep it neat and well presented, with clear and safe access to anyone who might pop past. Of course having it on the other side of the fence is unfair to them, as they would lack privacy in their personal space if people were allowed to access their property at any point. Having it on the fenceline makes it so easy for people to pull up to the curb, grab something or drop something off, and be on their busy way.

The rest of the nature strip has been lovingly tended and they try to get together once a week to weed and tend the greens there which are offered free to the community. I am sure you are aware of other nature strip food growers in this shire and all across Australia and the world where this use of land is becoming more accepted, especially as costs of living rise and supply chain issues take hold.

I was under the understanding that the council has been supportive of efforts to increase local food growing in the community and were open to suggestions about community gardens, orchards and the like. Community services such as this one are so valuable for those that might be doing it hard, as well as to be a little glue that helps bind the community together with a shared purpose.

I ask you to help the community keep this valuable community asset. It's so depressing to all of us to think that something that brings so much value and joy could be removed due to a law that doesn't consider the wider context. No one wants to defy the law at all - just to work within it's bounds and hope that the council is reasonable about what this might be, given the very special circumstances that gave rise to the much loved Honest and Free stand.

Thanks in advance for your help.



3

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Surf Coast Shire
1 Merrijig Drive
Torquay VIC
3228

3rd March 2022

RE: Removal of community resources at 69 Barwon Terrace, Winchelsea

Dear Authorised Officer – Ranger Services,

I am writing to express my concern about the removal of the Pick your Own Greens and the Honest and Free Stand at 69 Barwon Terrace, Winchelsea. As a visitor to the town of Winchelsea I have used both the Pick Your Own Greens and the Honest and Free Stand. My professional background is in community development with a focus empowering marginalised communities to create significant and lasting outcomes around improving health and wellbeing.

The Pick Your Own Greens is a variety of growing salad greens, vegetables and herbs available for community members and visitors to collect and use for free. The Honest and Free Stand is a small shelter containing fresh and dried produce that is grown on the property of 69 Barwon Terrace, Winchelsea and donated goods that are available for community for free.

These much needed community resources are being provided at a time of great need. Due to a variety of factors including the Covid-19 pandemic responses Victorian communities are faced with significant financial hardship. A recent Anglicare Australia survey of people receiving Centrelink benefits found that without the JobSeeker and JobKeeper supplements 72 per cent reported skipping meals because they couldn't afford to eat or were making sacrifices for their family, with an average of 3-4 meals skipped every week*. We live at time of increasing understanding on just how important it is to eat a variety of healthy foods. Research has shown that is it key to preventing diseases such as type 2 diabetes, cancer and cardiovascular disease**. Our current mental health situation in Victoria has recently been described as a crisis by many experts. Cognitive neuropsychologist and Swinburne University of Technology researcher Susan Rossell said in early 2020, people were about three to four times more anxious, depressed and stressed than before the pandemic***. Professor Patrick McGorry – one of the country's leading youth mental health experts and former Australian of the Year – said anxiety about what might lie ahead had taken an enormous toll on Victorians' mental health****.

We know the Pick Your Own Greens and Honest and Free Stand provides the Winchelsea community with nutritious, free food that will increase health outcomes and reduce disease. We know that it directly supports community members experiencing financial hardship to bring food into the homes of people who so desperately need it. We know that it provides hope and inspiration to people suffering with poor mental health. We know that to have this resource removed will have a harmful impact on both the family who provide it and the people to use it.

I urge the Surf Coast Shire to protect this precious community resource. There will be a pathway to ensuring its longevity through innovative solutions, creativity and/or compromise. As individuals within our regulated society we all have a vital role to play in shaping the future. I ask you, what kind of world do you truly want to live in, and what are you empowered to do to create that world?

Yours faithfully,

2



*<https://www.anglicarevic.org.au/wp-content/uploads/2021/02/Financial-stress-in-Victoria-during-lockdown-summary-of-findings.pdf>

** <https://www.betterhealth.vic.gov.au/healthyliving/healthy-eating>

***<https://www.abc.net.au/news/2021-08-18/melbourne-lockdown-mental-health-brett-sutton-response-covid/100384122>

****<https://www.theage.com.au/national/victoria/nsw-delta-crisis-triggered-victorian-mental-health-surge-20211210-p59gkk.html>

To Surf Coast Shire Manager

It has come to my attention that the council wishes that the Honest and Free stall at Barwon Terrace to be demolished.

I wish to present evidence of why this should not be done, and to present what an asset to the community the Honest and Free Stall is.

The Honest and Free Stall is a central point for the community, offering:

- a place to exchange food,
- reduction in food waste as community share their excess home grown food
- a service for poverty and hunger in the community, where those in need, anonymously can get what they need, with dignity.
- provide access to local food
- reduction in food miles
- access to organic food, and nutrient dense food.
- a welcoming place for locals to gather and connect and share ideas.
- a teaching resource, though the example vegetable verge garden.

When I moved to Winchelsea, just over a year ago, I was wanting to get some locally grown food for my family, as I am aware that this is the best nutritionally for my family and also in the most sustainable way to eat. I was lucky to meet [REDACTED]. They invited me to their house and picked me a box of freshly picked produce, including greens from the verge garden. I felt so welcomed to the community and I was so happy for my children to witness such a generous example of community. Since then [REDACTED] have continued to welcome me to get what I need, from their 'pick your own' greens verge. They have also offered me seeds for me to grow my own garden.

I am now happy to take my own excess tomatoes and zucchinis to the stall and pick up a couple of locally grown nectarines.

[REDACTED] has also been very supportive of Winchelsea Primary School and has given excess fruit from the Honest and Free stall to the primary school for the children to enjoy the delicious locally grown fruit.

Recently I have been studying Diploma of Sustainable Living and I feel that the Honest and Free Stall is a good example of a Transformation necessary within our communities to supporting meeting the United Nation's Sustainability Development Goals.

This is not the only such stall around, but it is the only one in Winchelsea. I have heard of similar stalls in Birregarra and Inverleigh. There are other people who also use their verges for growing food, or grazing chickens. There is nothing wrong with any of this. Surf Coast Shire needs to adapt their protocols and local laws to such initiatives as the Winchelsea Honest and Free Stall,

to make sure that they are in line with their own sustainable values, with edible landscapes and local foods, as a priority.

Through Winchelsea gardening and free Facebook groups, I have seen the outrage from the local community at the idea of the removal of the Honest and Free Stall. I have not heard one complaint about the stall from another resident.

Please take all this into consideration and allow the Honest and Free stall and Vegetable Garden Verge remain. P.S. other councils across Melbourne are now allow residents to plant on their own verges. Lets adapt for the benefit of the community.

Please feel free to contact me to discuss further.



5

Attention Surf Coast Council

Re: Nature Strip Garden 69 Barwon Terrace.

To whom it may concern,

My name is [REDACTED] I am a title holder and resident at [REDACTED] We purchased this property in Winchelsea in March of 2021, when the Carona Virus Pandemic was first impacting the food supply chain. We first visited the "Honest and Free" at 69 Barwon Terrace stall shortly after our arrival in Winchelsea, when our access to fresh fruit and vegetables had been severely impacted by the pandemic. We have continued to derive great joy and sustenance from our visits to the stall and our children have thrived with the continued access to free, fresh and vital fruits, vegetables and legumes.

It has caused me, my family and other neighbours on [REDACTED] great distress to be informed that the vital community service has been served notice and requested to take down the nature strip garden and the fresh fruit/vegetable stand. In unprecedented times such as we are now living, I would expect the priorities of Surf Cost Shire Council and Local government organisations to be focused on increasing access to fresh fruit and vegetables in local communities, rather than taking them away.

As rate payers, and I feel that we have a right to be consulted in this dicision and right to express our sincere concern over the implications to health and access to food as a result of this seemingly thoughtless dicision of local council.

I have no hesitation in sharing this issue on social media and feel that the broader community will be as alarmed as my family has been. I truly hope that the council will seriously consider the negative impact that forcably removing the nature strip garden will cause. Effectively taking the food straight out of the families mouths who pay the Surf Coast councils rates each year.

Sincerely

[REDACTED]

PAGE 1

33 2022

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To: Whom This May Concern
Att: Surf Coast Shire

Re: Notice To Comply - 69 Barwon Tce
Winchelsea

I write in support of [REDACTED]
and [REDACTED] at above mentioned
address, a local family providing an
amazing and generous support to others
in the community.

I was extremely disappointed to hear of a
recent 'Notice to Comply'; threatening fines
to [REDACTED], rather than to
approach them in a more consultative and
supportive manner.

As a home owner, ratepayer of the Surf Coast
Shire and local resident for 15+ years, I
and many others fully support and utilise
the "Honest and Free Stand".

Over the past 2 years, as a community, we
have endured 8 Covid-19 lockdowns, issues
with food security, "rationing" at supermarkets
and financial uncertainty.

PAGE 2

The "Honest and Free Stand" facilitated an ability to support affected individuals; as well as provide a "vessel" (if you will) for community minded individuals to donate what they can, i.e. excess homegrown produce, pantry staples, non perishables and the like.

I have personally utilised the "Honest and Free Stand" numerous times, for both donation and collection.

As a mother of 4 kids, the "Honest and Free Stand" has been a brilliant 'community driven and supported initiative' that has helped put food on my family's table through tough times; of which I'm forever grateful.

My 8 year old daughter loves visiting to see the seasonal fruits (so generously donated) and eagerly tries the plums and nectarines with a huge smile on her face.

I strongly encourage the 'decision makers' to rethink their approach and choose to support [REDACTED] at 69 Barwon Tce.

44/E 3.

Thankyou for taking the time to read my letter
of support.

Regards



This stand is an example of community⁽⁷⁾ working together to enrich and bring people together.

The lonely - the isolated the ones that just want an alternative to the pesticides that is sprayed on produce.

What better way for community to unite than food. Food is the essence of friendship + brother hood.

Monica.

Great thing for the community

Let's keep it going



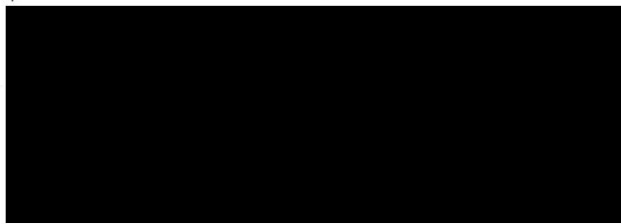
To Surfcoast Shire Council,

Please reconsider your decision to remove the Winchelsea "Honest and Free" stand in Barwon Terrace.

The residents of Winchelsea, in general, are avid gardeners, and very often have large crops, surplus to their own family needs.

To be able to drop this surplus fruit & veges eggs etc, to know it will be picked up and used by grateful families to use, actually warms my heart.

Trusting that you will give this matter some more consideration,




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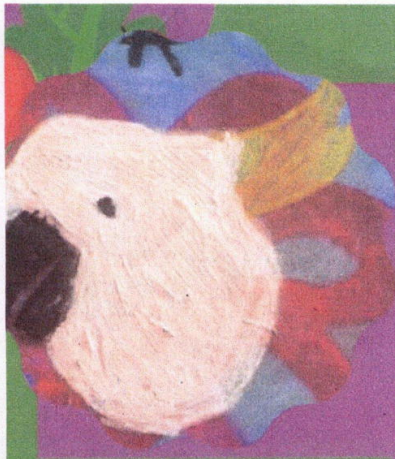
Dear [REDACTED]

I was so distressed to hear that SCS is trying to remove the Honest & Free Stall and your wonderful garden.

I pledge my full support to its retention of this wonderful asset.

Yours sincerely - [REDACTED]

PLEASE LEAVE THE STALL & GARDEN IN PEACE - SCS. 



WINCHELSEA HONEST & FREE

ATTENTION: RANGER SERVICES
MARCH 2ND 2022



Ngatta Surfcoast Shire Council, Councillors and Local Planning.

My name is [redacted] and I'm a proud Gulidjan Woman of Maar Nation and resident of the Surfcoast Shire.

I am writing in regards to a Notice to Comply issued to the residents and custodians of 69 Barwon Terrace, Winchelsea, on the very western borders of Wadawurrung Country.

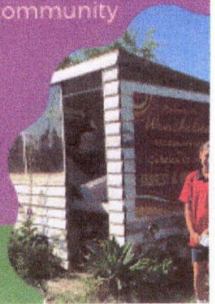
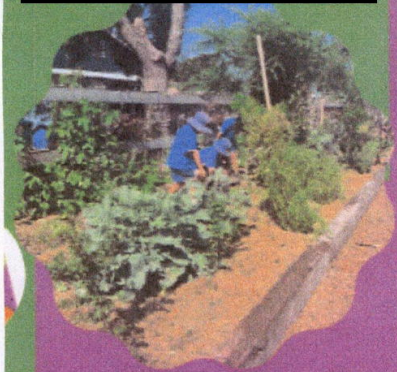
As a local government area, the varied socio-economic layers that exist are extremely evident when you hit Winchelsea. As a rural community with limited access to affordable food and social and community services having the Honest & Free stand has not only helped myself put food on the table for my children but has also helped establish a community safety net, sense of welcome and wellbeing for us as being new to town.

I'm incredibly passionate about cultural inclusion and primary prevention. I believe that the community led and self determining work is the best mode of prevention. I see the the work undertaken by [redacted] at 69 Barwon Terrace that of a community service, which promotes healthy lifestyles and connection to place - initiatives that should be rewarded and encouraged and not condemned.

I am a firm believer if we are not growing and learning from the mistakes of one another and other agencies, we are not paying enough attention and in the case of the Honest & Free Stand, I believe the Councils direction and attention is misguided.

In the midst of a climate emergency, having access to home grown, affordable food with low food miles is essential, restricting or removing the Honest & Free stand is a disservice to a community that quite often go without. The Honest & Free stand is quite literally the last house on the road and pedestrian access has been suitable for years without intervention.

I urge you to reconsider the impact that the removal of this community asset will have on the towns most vulnerable.



11

HELLO! ✨ what a beautiful magic garden
you have! we just had to stop &
look. Makes me smile everytime
I come to Winch

xx



To the Authorised officer

Regarding the notice to remove nature strip garden and stall shed at 69 Barwon tce, Winchelsea

My name is [REDACTED] a resident of Winchelsea, I think this garden and stall to be particularly useful to those that are struggling.

I find this notice to be unfair on the Winchelsea residence and completely unnecessary, it is of no harm to anyone and provides for the less fortunate people. I do not see the difference in this garden at 69 Barwon tce, and other council land, other than the fact that council land is never or very rarely maintained by council, including the bushy plants on Willis St, near Olney st (photos attached), these bushes on Willis st are dangerous to people walking past as they are sharp and hurt, not to mention they leave very little kerbside bin room.

I think with everything going on in the world right now, people should be let live the best way we can.

Regards [REDACTED]



Pictures of Willis st, winchelsea

13

Save the Stand & Garden

Please write a
comment, date & sign
if you believe in this.

Much thanks.

(2.3.22)
#139 comment
thing - everyone love
it and should be
encouraged not stopped
by council!!!

This stand is a fabulous asset to the
town. 4/3/22

yes I do it helps.

4.3.22. Save the Stand!! A supportive community
based asset!

14

To whom it may concern

Regarding the Honest & Free Stand at 69 Barwon Terrace, Winchelsea

It has been an honour and a privilege to be associated with this heartfelt and extremely useful community initiative for the last two years.

Having lived near the area, I have been able to help myself in leaner weeks to local home-grown produce and, now that I find myself in the position to contribute, it is a wonderful way to make sure my own home-grown produce does not go to waste.

This stand and its garden belong to the local community, and we love it dearly.



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Testimonial

I am a great grandmother living on a farm and all my relatives are either overseas or interstate. Consequently, I have felt really isolated over the past two years. When I heard about the working bees at [REDACTED] place for the community garden and share shed, I thought I'd go along and lend a hand. It turned out to be a much more rewarding experience than I imagined. Community members were friendly and welcoming and that first day I came away feeling that I'd not only contributed to something worthwhile, but also I felt uplifted by the warm human contact.

People who hold positions of control over others need to be really mindful of the impact of their decisions. Bureaucratic organisations are renowned for mindlessly adhering to rules and regulations without a thought for whether those rules are actually beneficial or useful. The Surf Coast Shire is always saying that they promote community projects. Here is an opportunity to show that those are not just meaningless words. The nature strip is not used as a walkway for passersby, so the garden and shed cannot be in anyone's way. It's not a safety or health issue for the Shire. I understand that the Shire needs to respond to complaints, but it's not unheard of that some people complain out of spite for personal reasons.

This project is so beneficial for all people involved, it would be a real shame if the Shire put a stop to it because of a 'regulation' that doesn't really apply. Regulations should be for the people, not against them



To whom it may concern,

I'm so thrilled to be able to express my feelings on this wonderful adventure for the community of Winchelsea. My family have lived in this area 90 plus years and as it is growing rapidly we have become so fast passed, where has the time gone to slow down and be present, enjoy the land, the people and all our environment has to offer.

I had been driving past [REDACTED] property thinking to myself, wow that is a very inspiring family and extremely creative and I couldn't wait to meet them. It wasn't long before I did and it brought back memories when I was 5 and 6 years old going to a house in Main Street Winchelsea to visit [REDACTED] who would grow his own veggies and sell them to the community, I always remember my mum giving me 10 cents to run in and ask for some pumpkin and I was given pea pods to eat while I waited. This is going back 40+ years. Wow how times have changed now. I have worked along side [REDACTED] helping in the community free garden they have established and this has given me the courage to step out of my home and be part of something in the community that has a great purpose, I have made new friends, it's given me time in nature, learnt about different vegetables, sustainability, composting etc.

The benefits of a nature strip vegetable garden seem endless, especially free to all. This is a wonderful way for residents to have access to healthy food and increased fruit and vegetable intake, that may not have been able to afford previously. It has been promoted in a very social connectedness giving love to all and also to the land we are standing.

I totally understand this may not suit all nature strips, although this Winchelsea Community free Stand is in a perfect position on the outskirts of town and I believe it is an asset to Winchelsea community.

I truly hope the time is taken to reconsider and negotiate the laws or recommendations for this to continue and grow.

Yours Sincerely

[REDACTED]

(17)

As a Rate payer of the Surf Coast Shire I am writing this letter out of real concern.

I believe the Honest and Free stand at 69 Barwon Terrace Winchelsea is a wonderful asset to the community. So often backyard gardeners have an abundance and wish to share it on. Many within the community are grateful for that which is provided. I believe that the council has a real obligation to recognise this and assist the community at Winchelsea to facilitate this need.

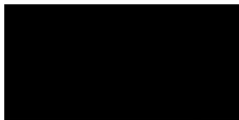
We are currently in the midst of a global crisis and people want to help each other. There are food shortages, mental health is on the rise and many are struggling. Community gardens are a wonderful place for people to come together and share on many levels

I believe that this concept deserves a lot more consideration and discussion within the community and I would be extremely disappointed if council decided otherwise.

The Honest and Free stand is an expression of this concept and deserves to stay. It serves a purpose and fulfils a need and is the beginning of what is possible for the community.

I look forward to this concept being further developed within the town.

Sincerely



Community; a unified body of individuals, a group of people with a common characteristic or interest living together within a larger society.

Community is something we all strive to be a part of, to find our 'people', to feel belonging, to have a sense of something bigger than our own bubble.

The Honest and Free Stand and edible nature strip in Barwon Tce, Winchelsea offers residents just that, community.

This inclusive initiative offers our community so much. It's a place to meet, a place to nourish oneself, a place to learn, a place to share.

To hear that Surf Coast Shire want this community removed would seem to go against many of their core principals and media releases. When the complaint of just one resident has the ability to remove this community from many dozen residents of Winchelsea, you must ask yourself if that seems rational, just, or even fair?

I ask that council start to think outside the square and stop with the blanket bylaws. Get out of the office and take a look at the stand, ask the residents about the sense of community it gives them. Heck, we'll even give you a shovel or a rake. Who knows, maybe some of those soil microbes will brighten your day, in the same way it does for our community.

Regards,



Winchelsea Resident

19

To Who It May Concern

I would like to tell you what the Winchelsea Honest and Free stand means to me. The H & F stand has helped me be able to provide food for my children & myself & it has introduced me to other members of the community which has helped my mental health, I've made new friends. It gives people the chance to try new foods too. The stand means a lot to so many people for many different reasons. It is a great way to get people involved in growing produce and learning from each other. It is a blessing to have such a stand in town.

Yours Sincerely



Save the Stand

(20)

* Please write a comment, date & sign
if you believe in this
Much thanks, [REDACTED]

This shed is well off the road and on an
unmade section. It is no hazard and
serves a need for the local community
A great community service. Council please reconsider
[REDACTED] 6/3/22

It is valuable to exchange excess fruit &
vegetables

Hi, Visiting Mum from Melbourne and I always
pass this stand. Great idea, great for
community sharing, and as I write, someone
dropped more stuff off! [REDACTED]

I have just moved to town & found this
a great representation of community. In
times where we are more isolated this allows
connections & relationships to build
[REDACTED]

3 Notices of Motion

Nil

4 Responsible and Planning Authority

4.1 Planning Scheme Amendment C134 - Implementation of the Winchelsea Town Centre and Highway Design Guidelines

Author's Title:	Principal Strategic Planner
General Manager:	Chris Pike, General Manager
Department:	Integrated Planning
Division:	Place Making and Environment
Attachments:	<ol style="list-style-type: none">1. C 134 - Background Document - Winchelsea Town Centre and Highway Design Guidelines July 2019 [4.1.1 - 26 pages]2. Surf Coast C 134 surf Explanatory Report Adopted [4.1.2 - 5 pages]3. C 134 All DDOs and DDO to be removed [4.1.3 - 1 page]4. C 134 Collated Copy of Ordinances with track changes [4.1.4 - 69 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

Council adopted the 'Winchelsea Town Centre and Highway Design Guidelines 2019,' in July 2019 (Appendix 1). The completion of the guidelines fulfilled required strategic work identified in the schedule to Clause 74.02 (further strategic work) of the Surf Coast Planning Scheme.

Planning Scheme Amendment C134 seeks to implement the adopted guidelines.

Council resolved to seek ministerial authorisation to prepare and exhibit the amendment at its meeting in August 2021. The amendment was publicly exhibited from 21 October 2021 until 22 November 2021. Three submissions to the amendment were received. One submission from the Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC) has been formally withdrawn, and the issues raised in the submission from Hesse Rural Health have been satisfactorily addressed by Officers so that there are no unresolved matters (subject to adoption of post-exhibition changes to the amendment).

A number of consequential changes have been made to the amendment since public exhibition in response to the submission from Hesse Rural Health. These changes have been incorporated into the final amendment documentation and are described in the discussion section of this report.

Following public exhibition and the consideration of submissions, it is recommended that Council adopts amendment C134 as exhibited, subject to the changes outlined in this report.

Outcome Statement

C134 implements the adopted Winchelsea Town Centre and Highway design guidelines; ensuring that the heritage country character of Winchelsea is retained and enhanced. The design guidelines also encourage a pedestrian friendly built environment and enhanced interfaces with the Barwon River. The amendment gives the guidelines statutory weight in the planning scheme to enable them to be considered when planning permit applications are received. Submissions were received to the amendment during exhibition which have all been resolved subject to changes to the amendment. The changes are considered to be acceptable.

Key benefits	Key risks
<p>The amendment strengthens Council policy and provides clearer direction on how the heritage and country character of Winchelsea can be strengthened and enhanced.</p> <p>The '<i>Winchelsea Town Centre and Highway Design Guidelines</i>' include a design vision to enhance the Barwon River environs and to create a more pedestrian friendly town which are all anticipated to have positive impacts on the Winchelsea environment. The built form encouraged through the guidelines will result in active streetscapes, pedestrian friendly and human scale development.</p> <p>The amendment aims to stimulate the town of Winchelsea as a tourist destination with a distinctive historic charm, celebrating the picturesque setting on the Barwon River.</p> <p>The amendment represents good planning practice and is consistent with the Victorian Planning</p>	<p>There are no demonstrated risks associated with adopting the amendment.</p>

Key benefits	Key risks
Provisions and Council's responsibilities as Planning Authority.	

Finance and Resource Implications

The current budget has adequate provision for the processing of this planning scheme amendment. The amendment will have no workforce implications and will not trigger any additional permit applications.

Community Engagement

This amendment has been formally exhibited for one month in accordance with the requirements of Section 19 of the Planning and Environment Act 1987. This process provided an opportunity for public and stakeholder review and comment. Notices were sent to all owners/occupiers of properties that would be affected by the proposed Design and Development Overlays.

Notices were also sent to the following recipients:

- Attendees at previous workshops held during the preparation of the guidelines
- The Winchelsea and District Historical Society
- Growing Winchelsea community group.

Notice of the amendment was published in two local newspapers (Surf Coast Times and Winchelsea Star) and the Government Gazette. The amendment was also available for viewing on the Surf Coast Shire Council and Department of Environment, Land, Water and Planning (DELWP) websites.

The report to Council in August 2021 seeking authorisation to progress the amendment and proceed to public exhibition indicated that an information session would be held in Winchelsea during the exhibition period to explain the proposed controls and process moving forward. It was determined that this was not appropriate at this time due to the Covid-19 pandemic. In the absence of the ability to provide face-to-face advice during the pandemic, Council's webpage included explanatory videos to assist in describing the amendment process and specific details relating to C134.

Comprehensive community engagement was also undertaken throughout the process of preparing the guidelines.

Letters have been sent to the submitters advising of the upcoming 26 April 2022 Council meeting. The submitters will be notified in writing and minutes will appear on Council's website of the Council's decision to either adopt or abandon the Amendment.

Recommendation

That Council:

1. Adopts Amendment C134 as exhibited, subject to the following changes:
 - 1.1. Removal of land at 2 Gosney Street and 52 Main Street, Winchelsea from the proposed Design and Development Overlay 31 (DDO31).
 - 1.2. Removal of reference to 'Town Centre West' and replacement with 'Town Centre', and insertion of additional wording and strategies in the '*Winchelsea Strategies*' in Clause 15.01-1L-02 Activity Centre and Commercial Design as shown in Appendix 3 to this report.
2. Notes the proposed changes to Amendments C134 have been discussed with and supported by the Department of Environment, Land, Water and Planning (DELWP).
3. Submits amendment C134 to the Minister for Planning for approval pursuant to Section 31 of the Planning and Environment Act 1987.
4. In consultation with Hesse Rural Health, develops and formalises a future development concept and appropriate planning controls for land owned by Hesse Rural Health in the Winchelsea Health and Education Precinct.

Council Resolution

Moved Cr Schonfelder, Seconded Cr Wellington

That Council:

1. Adopts Amendment C134 as exhibited, subject to the following changes:
 1. Removal of land at 2 Gosney Street and 52 Main Street, Winchelsea from the proposed Design and Development Overlay 31 (DDO31).
 2. Removal of reference to 'Town Centre West' and replacement with 'Town Centre', and insertion of additional wording and strategies in the '*Winchelsea Strategies*' in Clause 15.01-1L-02 Activity Centre and Commercial Design as shown in Appendix 3 to this report.
2. Notes the proposed changes to Amendments C134 have been discussed with and supported by the Department of Environment, Land, Water and Planning (DELWP).
3. Submits amendment C134 to the Minister for Planning for approval pursuant to Section 31 of the Planning and Environment Act 1987.
4. In consultation with Hesse Rural Health, develops and formalises a future development concept and appropriate planning controls for land owned by Hesse Rural Health in the Winchelsea Health and Education Precinct.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton Cr Wellington	Nil	Nil

Alternative Options

Option 1 – Adopt amendment C134 without the proposed changes

This option is not recommended by Officers as the changes are considered appropriate to overcome the issues raised in the submission and provide a satisfactory outcome. A request to the Minister for Planning to appoint an independent Panel to hear submissions would be required if the submissions are not resolved.

Option 2 – Abandon amendment C134

This option is not recommended by officers as there is insufficient justification to abandon the amendment and the design guidelines were well supported by the community. Inclusion in the planning scheme will give the guidelines statutory weight.

Report

Background

The *Winchelsea Town Centre and Highway Design Guidelines 2019* were developed with the local community between November 2018 and May 2019. The guidelines focused on all Commercial 1 zoned land in Winchelsea and residential zoned land abutting the highway, forming the entry to the town. The guidelines seek to protect the valued country village character as envisaged through the Winchelsea Strategy ‘*Growing Winchelsea 2015*’.

The adopted guidelines recognise the importance of the Barwon River and promote it as a focal point for new development. Through the management of future development across commercial areas, the historic village character will be preserved and enhanced making it attractive for future investment.

Planning Scheme Amendment C134 seeks to implement the ‘*Winchelsea Town Centre and Highway Design Guidelines*’ through the introduction of new policy and the application of design and development overlays.

The amendment introduces five Design and Development Overlay (DDO) Schedules to implement the guidelines. These DDOs will require new development in the Commercial 1 zone to be assessed against the design standards contained within the guidelines. The guidelines divided the town centre into four different precincts, each area having certain attributes and defining characteristics. The amendment applies a different Design and Development Overlay Schedule to each precinct (proposed DDO schedules 27, 28, 29, and 30). The schedules have been tailored to each specific precinct, ensuring the most important features continue to be protected and enhanced.

A planning permit is required for most buildings and works under the Commercial 1 Zone and the DDO schedules will not introduce any new permit triggers. However, it will provide design requirements and decision guidelines to assist decision makers when a planning permit is required.

A separate DDO (proposed DDO31) has been applied to the majority of the residential zoned land along the highway. This DDO has minimal siting and design controls. Only commercial development in this location will be assessed against the requirements of the design guidelines.

A planning permit is not required for a dwelling or extension to a dwelling under the General Residential 1 Zone and the new DDO31 to be applied along the highway also includes this exemption. Only commercial development permitted in the residential zones which currently require a planning permit, such as medical centres, will need to meet the requirements of the design and development overlay.

The amendment also makes associated changes to the Strategic Framework Plans in the Municipal Planning Strategy (Clause 02.04) and to the Local Planning Policy Framework (Clause 15.01 Built environment and Clause 17.04 Tourism) to provide context for the new overlays and to introduce the design vision from the guidelines.

The amendment will also include the design guidelines into the planning scheme as a background document by including the document in the schedule to Clause 72.08.

The attached Explanatory Report provides a more detailed description and assessment of the amendment against State and local planning policy, in addition to other requirements (refer Appendix 2).

Following Council's resolution at its meeting on 24 August 2021 to seek ministerial authorisation to prepare and exhibit the amendment, authorisation was received from the Department of Environment, Land, Water and Planning (DELWP) on 21 September 2021.

The amendment was placed on public exhibition from 21 October 2021 until 22 November 2021. The community engagement and consultation undertaken as part of this amendment is described above. The Amendment was also referred to all relevant authorities and prescribed Ministers under the Planning and Environment Act 1987.

Prior to exhibition of the amendment, it was requested by DELWP that the land occupied by the Winchelsea Primary School at 60 Main Street and 15 Gosney Street, Winchelsea be removed from the proposed DDO31 schedule. This land is located at the western end of the General Residential 1 Zone (GRZ1), on the northern side of the Princes Highway and was included within the proposed DDO31 which had been applied to all the residential zoned land along the Princes Highway when previously reported to Council. Any buildings or works carried out by a school are exempt from requiring a permit and therefore the requirements of the DDO would not be applied. The land was removed from the proposed DDO prior to exhibition.

Discussion

Submissions

As a result of this exhibition three submissions were received to the amendment. A submission was lodged by the Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC) providing advice and comments. It was noted in the submission that approximately all Commercial zoned land and the road reserves between Harding Street and the Barwon River affected by this amendment, are contained within an Area of Cultural Heritage Sensitivity and that there are several Victorian Aboriginal Heritage Registered (VAHR) sites as well as a registered Aboriginal Place within this overall corridor. The submission invited the inclusion of text in Clause 15.01-1L-02 (Activity centre and commercial design) relating to the requirement for commercial development in Winchelsea to respect Aboriginal living cultural heritage.

Following liaison with DELWP, it was determined that the inclusion of the suggested advisory text would be a direct repeat of state policy direction, and would duplicate other Acts and Regulations. A strategy relating to the Barwon River environs could be more appropriately included in Clause 15.03-2 L (Aboriginal Cultural heritage) when this policy is developed in the future.

The WTOAC have confirmed they are satisfied with this approach and have formally withdrawn their submission.

A submission was also received from the Environmental Protection Authority (EPA) stating that the amendment is unlikely to result in potential risk of harm to the environment, amenity or human health as a result of pollution or waste, and

therefore EPA have no concerns with the proposed amendment. They confirmed that they do not wish to be heard in support of this submission.

A submission was also received from Hesse Rural Health (HRH), who are the owners and occupiers of land at 2 and 8 Gosney Street, and 44-46 and 52 Main Street in Winchelsea. Hesse is the Winchelsea provider of health, aged and community services and is considered to be an important community facility in Winchelsea, both currently, and for the future of both Winchelsea and the surrounding rural areas.

The amendment as exhibited proposes the application of DDO31 (Princes Highway and Winchelsea Town Entry) to the above land which fronts the Princes Highway. Currently the main hospital occupies land at 8 Gosney Street with a vehicular access from land on Main Street. Land at 2 Gosney Street (a corner site) and 52 Main Street is vacant, and 44-46 Main Street is subject to Heritage Overlay (HO)147; the former Orchard Bakery & associated dwelling. The land owned by Hesse Rural Health that is located within the proposed DDO is in the General Residential Zone, fronting the Princes Highway. This land, and the existing hospital are also located within the Health and Education Precinct as designated in the Winchelsea Commercial Centre Framework Plan in Clause 02.04. Figure 1 below shows this land and the proposed location of DDO31 as exhibited.



Figure 1 - Land owned by Hesse Rural Health

The DDO as exhibited will introduce a preferred maximum building height requirement of 2 storeys, with single storey the preferred maximum street wall height. The preferred street wall front setback would be 6 metres with an upper storey setback of an additional 4 metres. It also proposes other requirements relating to building and roof design, streetscape presentation and car parking and access.

The key issues raised in the submission include:

- To cater for anticipated population growth, Hesse Rural Health has plans to expand its facilities over the land parcels proposed to be impacted by the proposed DDO31. The scale of hospital development will need to change from single storey to at least two storeys in order to provide efficient land use and suitable longer-term facilities. A higher built form will also provide the

opportunity to both provide and screen future car parking requirements behind the Main Street streetscape

- Placing controls (in the form of DDO31) over future development to limit it to single storey along the Main Street frontage will impede the potential and the efficient use of the land for hospital and community use. This is considered contrary to the objectives of the precinct within which the land is located, that is the Health and Education Precinct.
- There will be at least some areas of the frontage where two storey or more design options will not impact the Winchelsea streetscape.

The submission suggested a number of possible solutions to resolve the objection, one of which includes the removal of the DDO31 from all Hesse Rural Health titles or at least the three titles closest to the corner (2 and 8 Gosney Street, and 52 Main Street) but retained on land at 44-46 Main Street which is subject to the Heritage Overlay.

Other possible changes to the amendment included:

- The addition of Decision Guidelines that identify the importance of the Hospital as a community facility and identify that a two-storey form on the corner of Gosney Street and Main Street is appropriate;
- A DDO that allows a two-storey form on the corner extending east to the land at the boundary of 44-46 Main Street; or
- New site-specific controls that provide a Special Use Zone and/or a Development Plan Overlay, that includes consideration of a site-specific resolution of development on the Hesse land.

Council Officers have met with representatives from Hesse Rural Health to discuss and consider the objections raised, including modifications to the amendment as suggested above. In consultation with Council's Heritage Adviser, Officers determined the controls necessary to protect the prominence of the heritage building at 44-46 Main Street (which is subject to Heritage Overlay 147) in the streetscape. This highlighted that the land located immediately adjacent to 44-46 Main Street (shown as part of 8 Gosney Street and currently used as a vehicular access to the rear of the hospital) would play an important role in providing a physical separation between the heritage place and any future buildings and works. Consequently, Officers consider that the setbacks proposed in the exhibited DDO are appropriate for both this land and the land at 44-46 Main Street, in order to ensure the prominence of the heritage place in the streetscape is retained. It is recommended by Officers that the DDO be retained on these two parcels of land.

However, it is considered by Officers that the removal of the proposed DDO (and thus the proposed setback and height controls) on the land located further west, on the vacant corner sites at 2 Gosney Street and 52 Main Street is appropriate. Given

the prominent nature of the Gosney Street and Main Street corner, it is considered that an opportunity may exist for a future development to provide a site-specific design response that may depart from the DDO guidelines. A future building design in this location would require a high quality, contemporary and innovative design response. Ultimately any future planning permit application would be determined on its merits and assessed against the other relevant policies contained in the Surf Coast Planning Scheme. It is recommended by Officers that the DDO be removed on these two parcels of land.

The removal of this land from the proposed DDO would also assist in achieving the strategy in Clause 19.02-1L (Health Facilities) to support health focused uses in Winchelsea's Health and Education Precinct, by retaining the flexibility for expansion of the Hesse Rural Health activities on this land.

The proposed amended location of DDO31 with these parcels of land removed is shown in Figure 2 below.

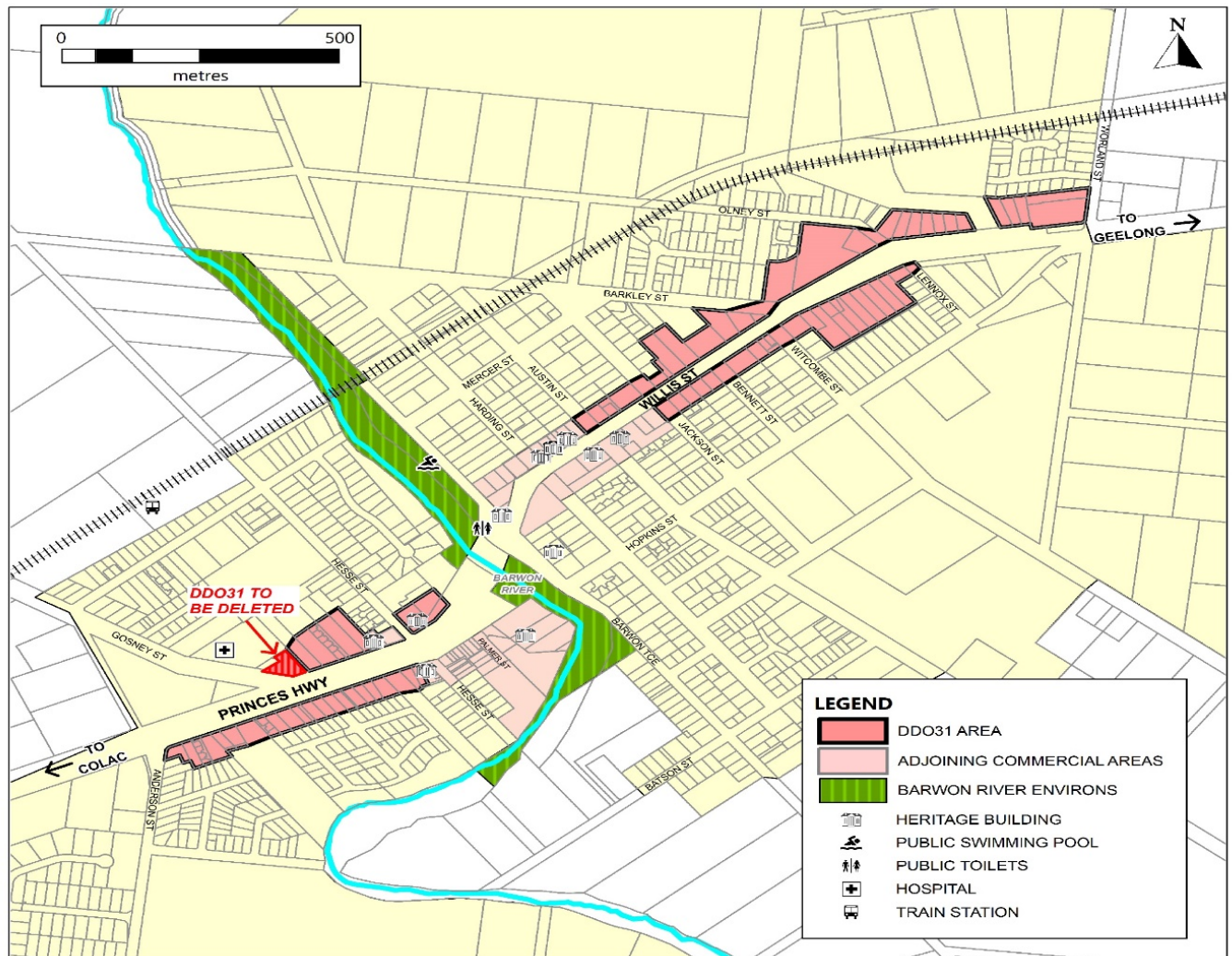


Figure 2 - Location of proposed DDO31 and section to be deleted. Appendix 3 to this report shows the location of all of the proposed DDO's and land proposed to be deleted from DDO31.

Hesse Rural Health have indicated that the removal of the DDO31 on the above land would address the key concerns raised in the submission. On this basis, Hesse Rural Health support the changes to the amendment and support it proceeding in the modified format. They have also been notified of proposed post exhibition changes to Clause 15.01-1L-02 - Activity Centre and Commercial design. They have indicated they are satisfied with the changes to the strategy, and support Council proceeding with the amendment subject to these additional changes. This is discussed further below.

In light of the recommended proposed change to the amendment to remove the DDO from the land as discussed above, Officers have highlighted to Hesse Rural Health the need to undertake a master planning approach for the site, in terms of securing the future planning and expansion of the Hesse Rural Health operations.

It is recommended by Officers that the formalisation of a future development concept and the appropriate planning controls (e.g., a Development Plan Overlay or other mechanism) should be determined in consultation with Hesse Rural Health. Hesse Rural Health have indicated they are willing to work with Council to assist in preparing these future plans and controls. These controls can be drafted following the approval of the current amendment C134 in consultation with Hesse Rural Health and applied in a future planning scheme amendment in Winchelsea such as a miscellaneous/correctional amendment, (which is undertaken every 1-2 years) or the next available opportunity.

During the exhibition period, a number of verbal enquiries and email enquiries were also received. These generally required further clarification regarding specific parts of the amendment, which were satisfactorily addressed.

The changes recommended by Officers have resolved the submission to the amendment. A request to the Minister for Planning to appoint an Independent Panel is not required, and Council can consider the adoption of the amendment with the proposed changes.

Post- exhibition changes

Removal of DDO31 from land at 2 Gosney Street and 52 Main Street

As discussed above the removal of the proposed DDO31 (and thus the preferred setback and height controls) from land at 2 Gosney Street and 52 Main Street is proposed as a post-exhibition modification to the amendment to address the concerns raised in the submission by Hesse Rural Health.

Changes to Clause 15.01-1L-02 Activity Centre and Commercial design

Additional wording and strategies are proposed to the '*Winchelsea Strategies*' in Clause 15.01-1L-02 following exhibition. This policy applies to all commercial development in Winchelsea, and introduces further strategies to complement the five proposed Design and Development Overlays. The proposed inclusions relate to upper-level development, and seek to ensure that future development complements the low scale village character and maintains the contribution of heritage buildings to the streetscape character, as well strategies relating to landscaping, pedestrian amenity and active frontages. The additional changes do not alter the intent of the policy, merely they are intended to add detail to strengthen the current direction. The proposed changes are not site-specific controls, however, they would be referred to by planners considering any future commercial development proposal in Winchelsea.

Since exhibiting the amendment, it has come to light that a minor change is also required to correct a reference to the 'Town Centre West' in this Clause. This should

instead refer to the 'Town Centre' to align with its designation in the Winchelsea Commercial Centre Framework Plan in Clause 02.04.

These changes have been discussed with and supported by DELWP.

Appendix 3 contains all of the amendment documents including the proposed ordinance changes to the planning scheme to be considered for adoption. These may be subject to some content changes as the amendment proceeds and following review by DELWP.

Outcome Analysis

Amendment C134 has been prepared to implement the *Winchelsea Town Centre and Highway Design Guidelines 2019*. The amendment seeks to ensure the distinctive historic and country town character of Winchelsea as described in the guidelines is protected and enhanced in the Town Centre and along the Princes Highway by requiring all development within the Commercial 1 Zoned areas and all new commercial development abutting the highway to respond to the defined preferred character.

The submission from Hesse Rural Health has been adequately considered and appropriate changes made to the amendment to resolve the objections. Council Officers will work with Hesse Rural Health in the future to develop a masterplan for the land in their ownership, as well as associated planning controls to implement this.

Having considered all submissions, it is recommended that amendment C134 be adopted subject to the above identified post-exhibition changes, and forwarded to the Minister for Planning for approval.

Financial and Resource Impact Analysis

As previously discussed the current budget has adequate provision for the processing of this planning scheme amendment.

The amendment is not anticipated to have any significant resource or workforce implications. A planning permit is required for most buildings and works under the Commercial 1 Zone and the DDO schedules will not introduce any new permit triggers.

A planning permit is required for most buildings and works under the Commercial 1 Zone and the proposed DDO schedules will not introduce any new permit triggers. A planning permit is not required for a dwelling or extension to a dwelling on a lot greater than 300 square metres under the General Residential Zone and the new DDO31 to be applied along the highway also includes this exemption. The

amendment will therefore not increase the number of planning permit applications received by Council.

Council Plan Assessment

Theme Four - Sustainable Growth

Strategy 11 - Protect heritage and township character.

The amendment implements Strategy 11 of Sustainable Growth by enabling the country town character of Winchelsea to be preserved and strengthened, through the introduction of controls that require all development within the town centre and all new commercial development abutting the highway (on the majority of residential zoned land) to respond to the defined preferred character.

Relevant Legislation, Policy, Strategies and Plans

The amendment complies with the relevant requirements of the Planning and Environment Act 1987. The applicable Victorian Planning Provisions and relevant Acts have been taken into account in considering the proposal including the Planning and Environment Act 1987.

The amendment strengthens Council policy and provides clearer direction on how the heritage and country character of Winchelsea can be protected and enhanced. The strategy is consistent with, and builds upon the Growing Winchelsea Strategy and other relevant strategies and studies.

Previous Councillor and Audit and Risk Committee Consultation

This item is not within the scope of matters considered by the Audit and Risk Committee.

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 5 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		

Winchelsea Town Centre and Highway Design Guidelines

Prepared by Inclusive Design
July 2019



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Winchelsea Town Centre and Highway Design Guidelines

Winchelsea has a distinctive and valued country town character. These guidelines have been prepared to ensure new commercial development can respect, reflect and enhance that character. The guidelines are divided into four parts;

Part 1

The background and development of the guidelines

How to use the guidelines and where they apply

Part 2

What is Winchelsea's preferred character?

The aspects of development that are important for achieving the preferred character in the areas covered by the guidelines.

Part 3

Design guidelines for key areas in the town centre;

- Town Centre East
- Willis Street
- Town Centre West
- Riverside

Part 4

Advice on managing buildings to support this preferred character

Part 1 Background

In 2015, Surf Coast Shire Council adopted the strategic plan 'Growing Winchelsea', a place-making plan to guide the way Winchelsea grows heading towards 2050. It defined a vision for Winchelsea as "a welcoming and thriving village with a rich cultural heritage and country village feel. The residents of Winchelsea benefit from a full range of activities and access to learning, employment, civic and cultural experiences, whilst living in a place that has a strong connection to the beautiful Barwon River and rural hinterland."

To achieve this vision it laid out a series of aims. These are to;

- Celebrate the Barwon River as an accessible natural asset, a place to play with riverside trails.
- Be an authentic country village with a village heart, rural streetscapes, a connection to agriculture and a village high street.
- Celebrate and protect its rich cultural heritage – A unique town identity, new respects old, welcome signage, heritage gardens, heritage replica street elements and restore old buildings.
- Offer activities for old and young – festivals and events, family days out and markets.

These design guidelines were prepared to ensure that new commercial buildings are compatible with this vision.

We presented our initial findings about the broad direction for guidelines to the community through a number of channels. These included two community events as well as on line opportunities to comment. These allowed residents and business owners to express their views about the intent and scope of guidelines and our interpretation of the preferred character.

This process revealed broad support for the intent of the draft guidelines and allowed us to identify what required amending.

These changes have been incorporated into this document to articulate what Winchelsea's preferred character is and how it can be achieved.

About the design guidelines

Like many characterful towns Winchelsea contains a number of areas with subtly different character. These guidelines reflect these differences and suggests different controls in different areas. Also as is common with most other towns there is a degree of variation within each character area . Some characteristics are largely consistent throughout an area (for example height) whilst some may vary considerably (for example colour). For this reason the guidelines includes alternatives where more than one design solution may be appropriate in a particular area.

The guidelines seek to impose no more controls than are necessary to support the towns preferred character. This is to allow good and innovative design to flourish and minimise constraints. Consequently these guidelines are limited to those aspects of development that are considered most important for the towns preferred character. The guidelines seek to invite the passer by in the car to stop, get out and enjoy the town. Thus the guidelines key focus is to emphasise the experience of the town from the perspective of the pedestrian on the footpath. Consequently the guidelines do not seek to control aspects of development where they do not have a significant visual impact on key streetscapes.

Innovative design may justify a departure the guidelines where it can be demonstrated that a new development will be compatible with the preferred character. For example two storey development in a single storey area may be appropriate where the impact of the upper storey is mitigated by an appropriate setback that renders it visually unobtrusive.

As is common in even the most characterful towns, not all existing buildings contribute to the towns preferred character. Therefore the presence of an existing non conforming building in any given part of the town will not provide a precedent for another building that also does not contribute to the preferred character.



Using the design guidelines

These guidelines outline what is required to ensure new development contributes to the towns preferred character across five distinct areas as outlined on the map . These are;

- The Princes highway (where commercial type development is proposed)
- Town Centre East
- Willis Street
- Town Centre West
- Riverside

The guidelines identify the aspects of development that are particularly important, why they are important and the design requirements to achieve the preferred character. Development that conforms to these guidelines will be deemed to meet character standards.

The guidelines should be used to lead discussions between applicants for development and Council officers. Applicants need to consider whether their proposal conforms to these guidelines. If you wish to pursue a design that departs from these guidelines you will have demonstrate to the satisfaction of the assessing officer how the proposed design exceeds that of a conforming design and contributes to the towns preferred character. Please note all of these guidelines are considered equally important.

Information to accompany applications for development

All applications for development covered by the design guidelines must be accompanied by an assessment of the proposal against these guidelines.

How will the Council use these guidelines to make a decision?

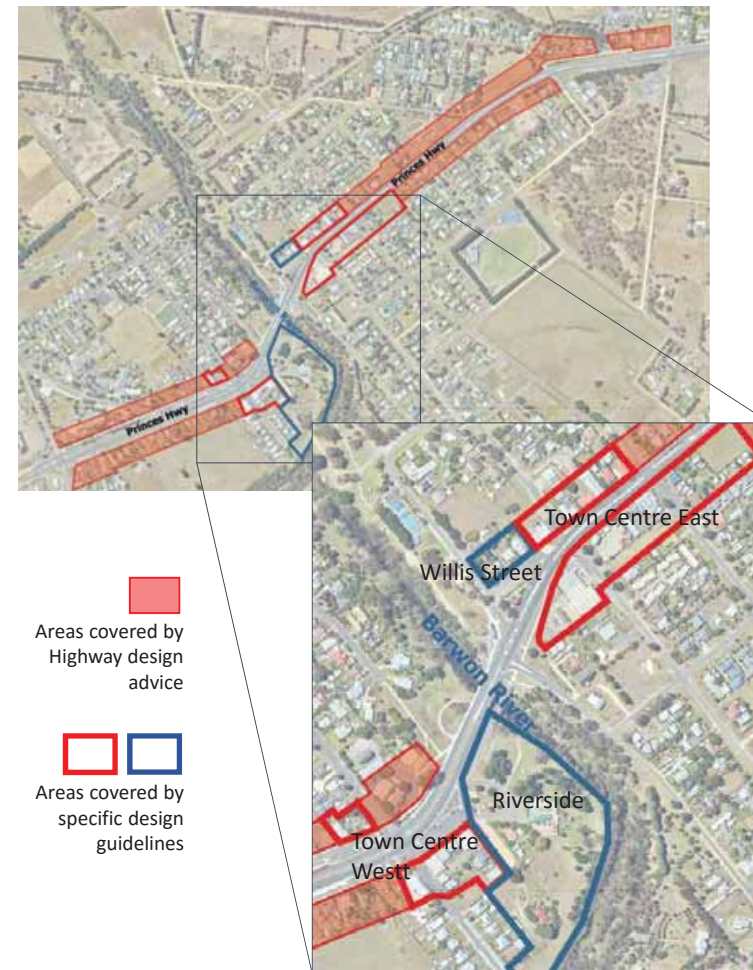
The responsible authority must assess whether the proposal meets these guidelines before deciding on any application. Developments that incorporate the characteristics indicated as appropriate in these guidelines are likely to be deemed to comply.

The guidelines use a traffic light system to demonstrate compliance;

- ✓ Any of the features with green circle and tick comply
- Features with amber circle- deviates from the preferred character but may be appropriate subject to detailed design
- ✗ Features with red circle and cross - does not comply

Further information

Applicants are strongly advised to contact the Surf Coast Shire Planning department before finalising their proposals. To find out more about this and other requirements, or to book a pre-application meeting, contact the Planning department on 5261 0600 or planningapps@surfcoast.vic.gov.au.



Part 2

Winchelsea's preferred character

In order that new commercial buildings in the areas outlined on page 3 contribute to Winchelsea's preferred character they will need to (in no hierarchical order) :

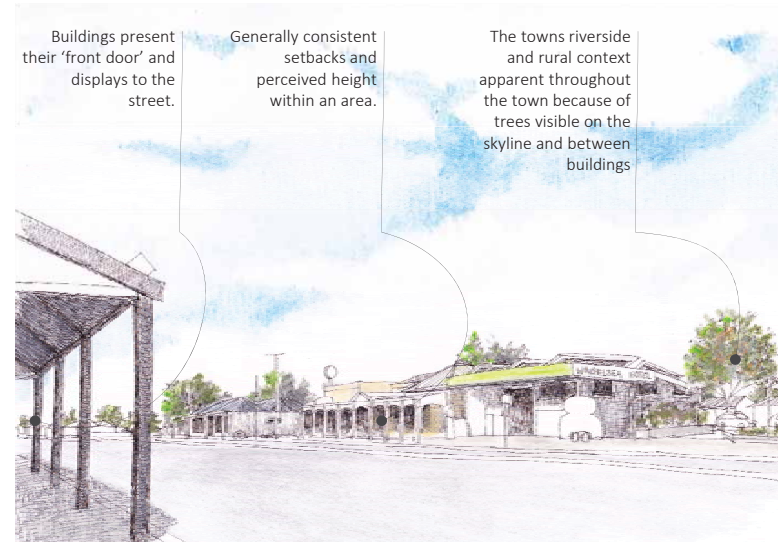
Maintain human scale. A key defining characteristic of most country towns are their relatively small scale and an absence of big or massive buildings that overwhelm the observer and dominate their surroundings. The preferred character for Winchelsea is to maintain this human scale by ensuring buildings are not too large, too high or too massive when viewed from the footpath. It also requires they present to the street front to ensure as people walk or drive by they are presented with a rich and interesting streetscape with a close grain (such as narrow shopfronts) rather than a monolithic wall or single dominating feature.

Respect the characteristic pattern of development. Each new building sits within a context of other existing buildings, the street and in some cases the river. In some areas the buildings characteristically directly edge the back of the footpath and are hard up against each other (known as zero setbacks). In other areas the buildings are setback from the footpath and each other. This contributes to a characteristic pattern of building and gaps, revealing the sides of buildings in some places and hiding them in others. In most areas these setbacks, where they exist are within a range and are rarely entirely consistent. The preferred character for Winchelsea is to ensure new development respects the characteristic range of front and side setbacks within its immediate surroundings. The guidelines have established four distinctive areas within the town centre and identified the preferred setback for each precinct.

Respect and enhance the contribution of landscape. The wooded Barwon river and rural hinterland means that trees contribute a great deal to the character of the area. Tree canopy is visible between buildings and in some cases in front of them in much of the town. The preferred character for Winchelsea is to ensure the balance between buildings and landscape can be retained and if possible the contribution of landscape can be enhanced. Landscaping will be particularly significant in precincts 2 and 4.

Respect the contribution of heritage buildings. Winchelsea's heritage buildings offer a link to the past and contribute a great deal to the character of the town, particularly in terms of the towns skyline and architectural richness. The preferred character of new buildings is to ensure the parapet, wall height or roof height of new development does not compete with, dilute or overwhelm the contribution made by heritage buildings. This requires ensuring the facades of new buildings are not as high as adjoining heritage buildings.

What this means for development is outlined in the following sections of this document.



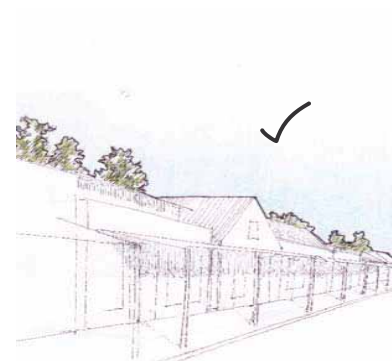
Ensuring Winchelsea achieve its preferred character goals will require human scale buildings offering interest to the passer by, that respect characteristic pattern of development and allow the surrounding landscape to be contribute (above) and that allow heritage buildings to enjoy prominence (right)



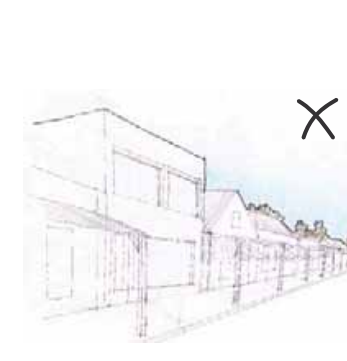
Key aspects of development and design responses

This section outlines the aspects of development that are important to achieve Winchelsea's preferred character and the appropriate design responses in all five character areas.

What is important	Why it is important	Appropriate and inappropriate design responses
Building Height	<p>Limiting height of new development will help ensure:</p> <ul style="list-style-type: none"> new buildings are sympathetic to the existing 'human scale' of the town Trees will continue to be the main feature on the skyline when viewed from the highway The impact that taller buildings will have is reserved for heritage buildings with a particularly significant function for the community 	<p>Buildings should be no higher than surrounding buildings in the area. Exceptions may be made when a higher building can be demonstrated to have minimised the impact of levels above ground level, typically by stepping back first floors or incorporating them into the roofscape.</p> <p>For height requirements in areas 1-4 see following section</p>
Building placement	<p>The setbacks between a building and the property boundaries to the front and the side make a significant contribution to the pattern and rhythm of development in an area.</p>	<p>New buildings should respect the characteristic front and side setbacks in the area.</p> <p>For setbacks requirements in areas 1-4 see following section</p>
Roof design	<p>The design of the roof will make a significant impact on the skyline and make an important contribution to the pattern and rhythm of development in an area</p>	<p>New buildings should incorporate a pitched and ridged roof.</p> <p>For roof design requirements in areas 1-4 see following section</p>
Materials and colours	<p>The materials and colours of buildings have a significant impact on what it is like to walk past them. This contribution was noted in the findings of the community survey in Winchelsea about community aspirations for the towns character undertaken late 2018</p>	<p>Outside of areas 1-4 no particular controls on materials and colours are required because of the existing diversity of these aspects of development along the Highway</p> <p>For material and colour requirements in areas 1-4 see following section</p>
Advertising	<p>It is the point of advertising to draw the eye and it plays an important role in supporting local businesses. However too much or too dominant advertising will dominate the towns built and landscape character</p>	<p>Advertising should be incorporated into the building or a panel hanging off it.</p> <p>Advertising that crosses the skyline when viewed from the Highway is unlikely to be appropriated</p> <p>Advertising that is illuminated internally is unlikely to be appropriate</p>

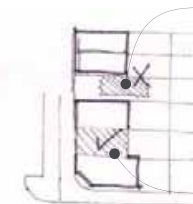


Building heights and roofscapes contribute to the characteristic mixed pattern of landscape and buildings on the skyline, with landscapes dominating,



Taller buildings and large slab roof shapes would change the skyline balance and lead to buildings dominating, detracting from the towns character

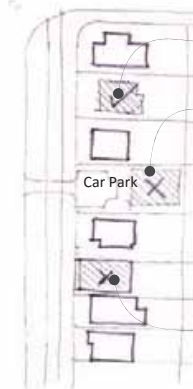
Typical building placement in character areas 1-4



Building not in keeping with prevailing setbacks in the area, likely to create a gap in the streetscape. This would only be justifiable if that gap makes a significant contribution to the landscape quality or activation of that part of Winchelsea.

Building in keeping with prevailing setbacks in the area

Typical building placement along the Princes Highway outside of character areas 1-4

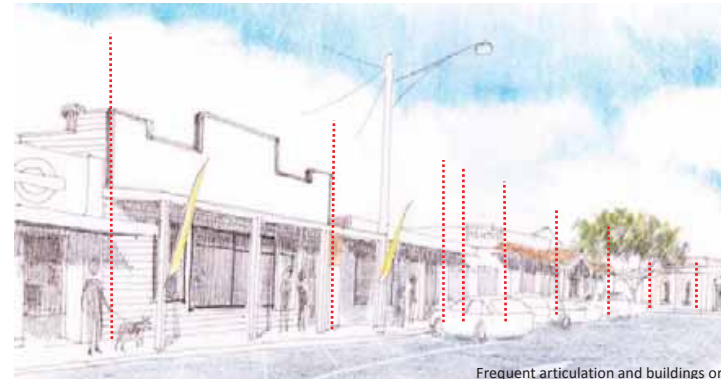


Building in keeping with prevailing setbacks in the area

Building not in keeping with prevailing setbacks in the area, leaving a gap in the streetscape and dominating the street front with parking

Building not in keeping with prevailing setbacks in the area. It is unlikely to be appropriate because of its prominence. However an exceptionally well designed building in keeping with these guidelines may justify the high profile such a building will have.

What is important	Why it is important	Appropriate and inappropriate design responses
Windows	<p>The shape and distribution of windows on the facade will play a significant role in ensuring new buildings look like they were intended for a country town and not just imposed on the town from elsewhere</p> <p>Internally illuminated windows facing the footpath contribute to making the town a safer and more interesting place to be.</p>	<p>Window shape on commercial development may consist of vertical orientated windows, large display windows or a mix of both. Extensive areas of glass, particularly on wider frontages are unlikely to be appropriate. Equally blank facades will not be appropriate</p> <p>For window requirements in areas 1-4 see following section</p>
Articulation	<p>Country towns like Winchelsea have a 'close grain' which gives them a human scale and makes them interesting and attractive as well as more rewarding to walk past rather than just drive past. Large, unvaried, blank walled or big box development type development would detract from this character and contribute to making the town more generic.</p>	<p>Variations in the height, colour, setback or modulation of buildings every 10m or at property boundaries for any lots less than 10m wide</p> <p>Blank, unmodulated facades would not be appropriate</p> <p>For articulation requirements in areas 1-4 see following section</p>
Orientation	<p>Ensuring buildings are accessed from the street will make them easier to read from the highway, provide interest and activity to the street/highway. Entrances that can be seen from the surrounding public realm are more likely to feel safer than those that require pedestrians to enter via dark, hidden or secluded entrances</p>	<p>Principal pedestrian entry point should be visible from the highway</p> <p>Note this does not preclude other pedestrian entrances on other facades (such as those facing a car park)</p> <p>For orientation requirements in areas 1-4 see following section</p>
Presentation to street	<p>Ensuring buildings present their active, attractive and 'business' face to the street will provide interest and help contribute to the vitality of the street/highway</p> <p>Ensuring buildings are not dominated by car parking will create a more walkable character and provide more room for landscaping.</p> <p>Development built up to the footpath can help provide microclimatic comfort.</p>	<p>Front setback (if any) to incorporate a tree that will mature to be tall enough to contribute to the skyline.</p> <p>Front setbacks must not incorporate car parking.</p> <p>Verandas are encouraged along the entire frontage of the development on the southern side of the highway and over either side where development abuts the footpath</p> <p>Planting beds or raised beds adjoining Veranda posts to facilitate landscaping</p> <p>For presentation to street requirements in areas 1-4 see following section</p>

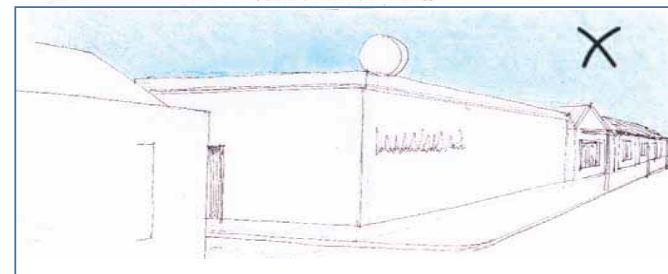


Frequent articulation and buildings orientated towards streetfront make a significant contribution to the vitality and character of the town



verandas on the street front façade make a particularly significant contribution to rural town character. The installation of vines can contribute to making the building and footpath (where verandas cross path) comfortable in all weather conditions and add an element of greenery at eye level

Unarticulated, blank frontages do not contribute to the character of the town and make it placeless, generic.



Part 3
Design
guidelines for
key areas

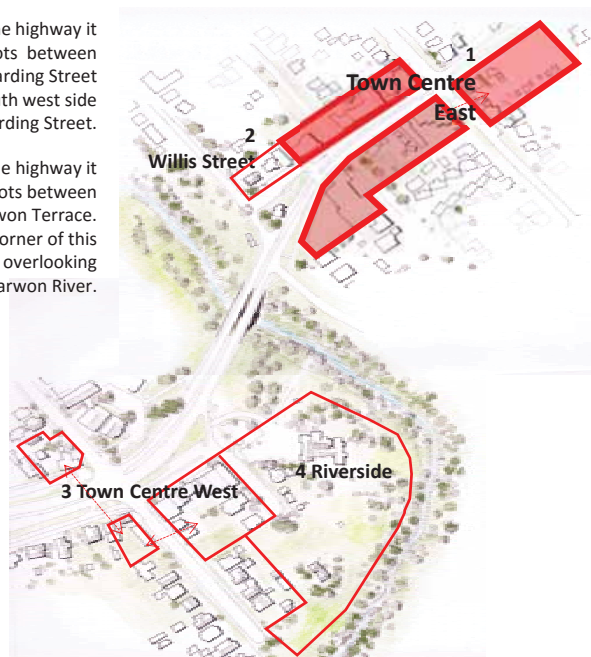
**Design
Guidelines
for Area 1
Town Centre
East**



This area contributes to the sense of arrival or departure from Winchelsea town centre for the traveller on the Highway. These guidelines seek to ensure this area can create the sense that visitors are arriving at somewhere distinctive, attractive and memorable.

On the north side of the highway it incorporates the lots between Austin Street and Harding Street plus one lot on the south west side of Harding Street.

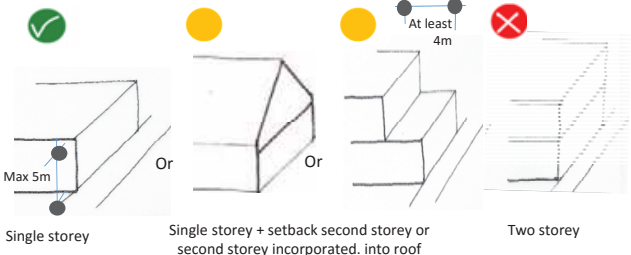
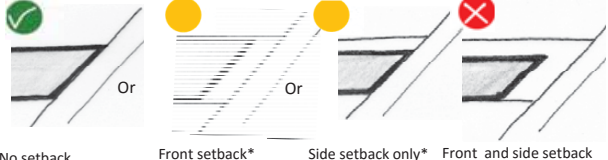
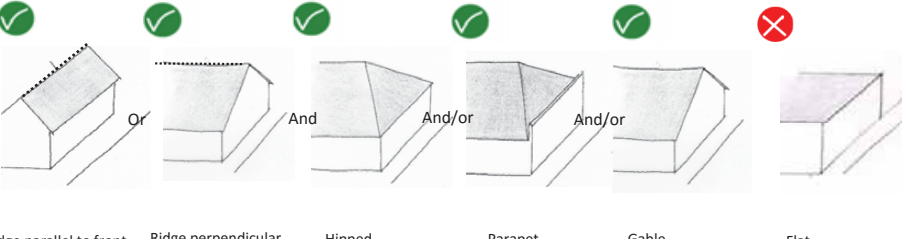
On the south side of the highway it incorporates the lots between Jackson Street and Barwon Terrace. The South western corner of this area has a high profile overlooking the Barwon River.



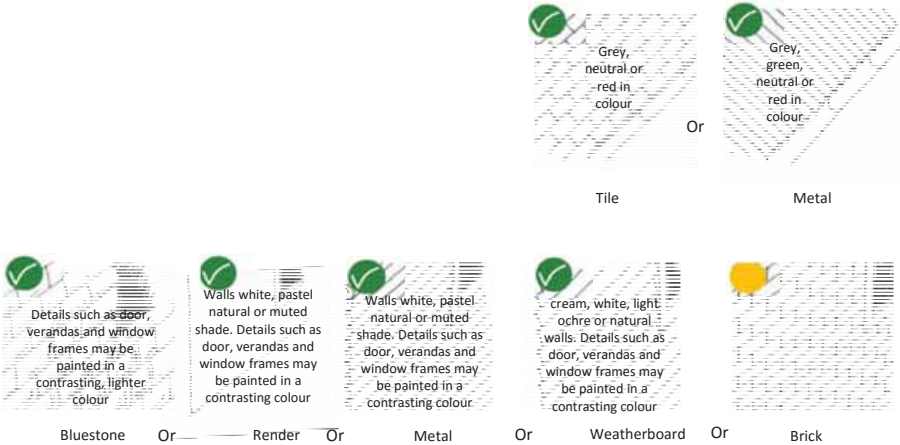
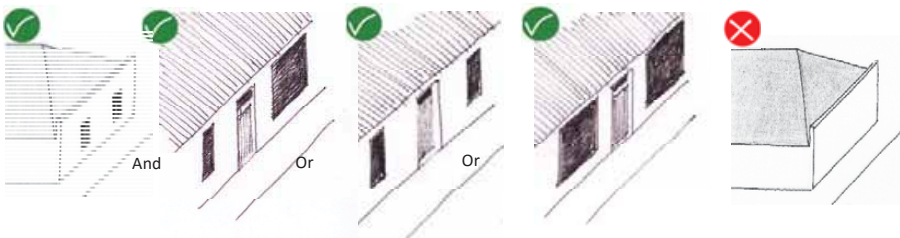
Indicative illustration of what buildings built in accordance with these guidelines would look like














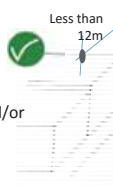





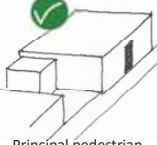

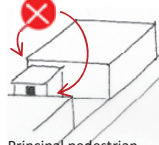







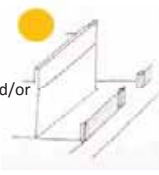
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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Building Height</p> <p>Conforming to this guideline will help ensure:</p> <p>New buildings are sympathetic to the existing scale of the town</p> <p>Trees will continue to be the main feature on the skyline when viewed from the highway</p> <p>The impact that taller buildings will have is reserved for buildings with a particularly significant function for the community</p>	 <p>Single storey</p> <p>Single storey + setback second storey or second storey incorporated into roof</p> <p>Two storey</p>	
<p>Building placement</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings respect the villages characteristic pattern of development</p>	<p>(*setbacks may be acceptable if they are activated by café seating and appropriate landscaping - not to be used for car parking)</p>  <p>No setback</p> <p>Front setback*</p> <p>Side setback only*</p> <p>Front and side setback</p>	
<p>Roof design</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings reinforce Winchelsea's country town skyline and close grain</p> <p>Trees are retained as the dominant feature on the skyline when viewed from the highway</p>	 <p>Ridge parallel to front</p> <p>Ridge perpendicular to front</p> <p>Hipped</p> <p>Parapet</p> <p>Gable</p> <p>Flat</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Materials and colours</p> <p>Conforming to this guideline will play an important role in ensuring that new buildings reflects the detail and texture of the preferred character.</p>	 <p>Grey, neutral or red in colour Or Grey, green, neutral or red in colour</p> <p>Tile Or Metal</p> <p>Bluestone Or Render Or Metal Or Weatherboard Or Brick</p>	
<p>Windows</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings look like they were intended for Winchelsea and not just imposed on the town from elsewhere</p> <p>New buildings contribute to the vitality and safety of the town.</p>	 <p>Windows and doors orientated towards the street Or Mix of Commercial and domestic windows Or Domestic, vertically orientated windows Or Commercial, display windows</p> <p>Blank facades</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Other important features</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>The building is a good fit with the town</p> <p>That new buildings offer a welcoming, interesting and comfortable experience for those walking along the adjoining footpath</p> <p>Ensure new buildings contribute to the vitality and safety of the street</p>	<p>Advertising</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Traditional shopfront advertising </div> <div style="text-align: center;">   Internally illuminated signage and/or ridgeline signage </div> </div> <p>Articulation</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Variation in roofline and roof form </div> <div style="text-align: center;"> <p>Less than 12m</p>   Variation in colour </div> <div style="text-align: center;"> <p>Less than 12m</p>   Modulation between sections </div> <div style="text-align: center;"> <p>Less than 12m</p>   Variation in height </div> <div style="text-align: center;"> <p>Less than 12m</p>   Variation in setback </div> </div> <p>Orientation</p> <p>*This guideline only applies to lots fronting the riverside.</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Pedestrian entrance and display windows orientated towards river for riverside lots* </div> <div style="text-align: center;"> <p>And</p>   Principal pedestrian entrance visible from Highway </div> <div style="text-align: center;">   Principal pedestrian entrance not visible from Highway and river </div> </div> <p>Presentation to street</p> <p>(*for example café seating)</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Planting pit for vines </div> <div style="text-align: center;"> <p>And</p>   veranda </div> <div style="text-align: center;"> <p>And/or</p>   Front setbacks (where appropriate) will require at least one canopy tree and activation* </div> <div style="text-align: center;"> <p>And/or</p>   Low (1m or less) wall on front or riverside boundary </div> </div>	

Design Guidelines for Area 2 Willis Street



This area differs from area 1 in that it doesn't directly abut the highway, instead it relates more to the river and its landscaped setting and so it functions as a transition between the town centre and the river. These guidelines seek to ensure that development in this area can provide an attractive edge to both the town and the river.

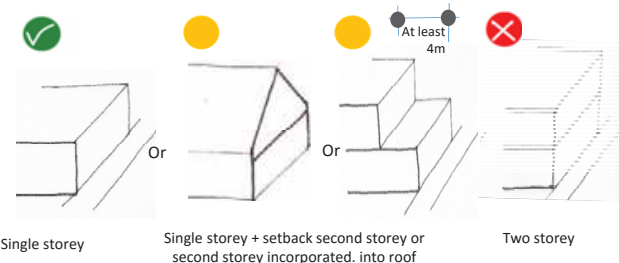
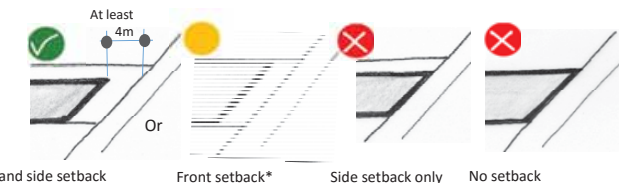
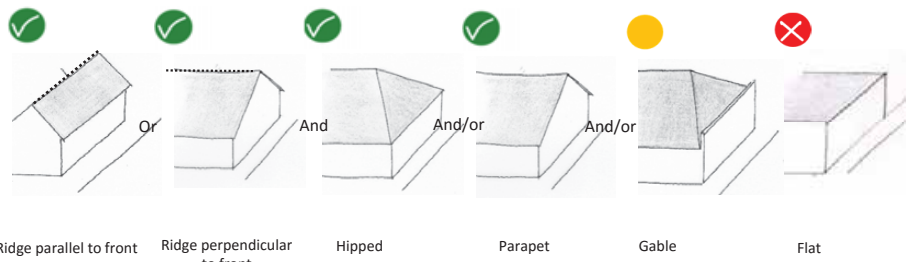
This area incorporates 1-5 Willis Street



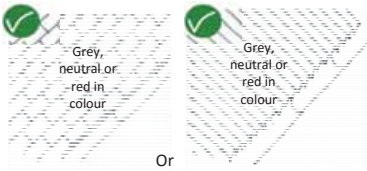
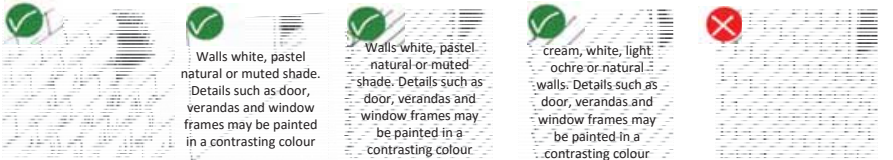
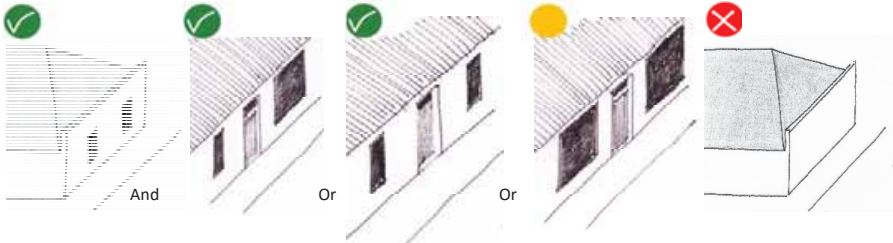
Indicative illustration of what a building or buildings built in accordance with these guidelines would look like














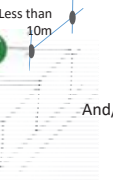





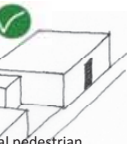

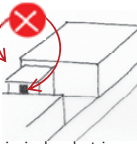

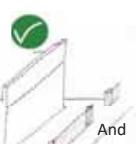



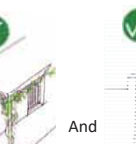


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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Building Height</p> <p>Conforming to this guideline will help ensure:</p> <p>New buildings are sympathetic to the existing scale of the town</p> <p>Trees will continue to be the main feature on the skyline when viewed from the highway</p> <p>The impact that taller buildings will have is reserved for buildings with a particularly significant function for the community</p>	 <p>Single storey Single storey + setback second storey or second storey incorporated into roof Two storey</p>	
<p>Building placement</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings respect the villages characteristic pattern of development</p> <p>There is space for significant landscaping</p>	<p>(*setbacks may be acceptable if they are activated by café seating and appropriate landscaping but not if they are used for car parking)</p>  <p>Front and side setback Front setback* Side setback only No setback</p>	
<p>Roof design</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings reinforce Winchelsea's country town skyline and close grain</p> <p>Trees are retained as the dominant feature on the skyline when viewed from the highway</p>	 <p>Ridge parallel to front Ridge perpendicular to front Hipped Parapet Gable Flat</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Materials and colours</p> <p>Conforming to this guideline will play an important role in ensuring that new buildings reflects the detail and texture of the preferred character</p>	 <p>Tile Or Metal</p>  <p>Bluestone Or Render Or Metal Or Weatherboard Brick</p>	
<p>Windows</p> <p>Conforming to this guideline will contribute to ensuring: new buildings look like they were intended for Winchelsea and not just imposed on the town from elsewhere New buildings contribute to the vitality and safety of the town.</p>	 <p>Windows and doors orientated towards the street And Mix of Commercial and domestic windows Or Domestic, vertically orientated windows Or Commercial, display windows Blank facades</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Other important features</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>That new buildings offer a welcoming, interesting and comfortable experience for those walking along the adjoining footpath</p> <p>Ensure new buildings contribute to the vitality and safety of the street</p>	<p>Advertising</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Traditional shopfront advertising </div> <div style="text-align: center;">   Internally illuminated signage and/or ridgeline signage </div> </div> <p>Articulation</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Variation in roofline and roof form </div> <div style="text-align: center;"> <p>And/or</p>   Variation in colour </div> <div style="text-align: center;"> <p>And/or</p>   Modulation between sections </div> <div style="text-align: center;"> <p>And/or</p>   Variation in height </div> <div style="text-align: center;"> <p>And/or</p>   Variation in setback </div> </div> <p>Orientation</p> <p>*This guideline only applies only to lots fronting riverside.</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Pedestrian entrance and display windows orientated towards river for riverside lots* </div> <div style="text-align: center;"> <p>And</p>   Principal pedestrian entrance visible from footpath </div> <div style="text-align: center;">   Principal pedestrian entrance not visible from footpath </div> </div> <p>Presentation to street</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Low (1m or less) wall on front boundary </div> <div style="text-align: center;"> <p>And</p>   Front setbacks will require Canopy tree and activation </div> <div style="text-align: center;"> <p>And</p>   Planting pit for vines </div> <div style="text-align: center;"> <p>And</p>   veranda </div> </div>	

**Design
Guidelines
for Area 3
Town Centre
West**

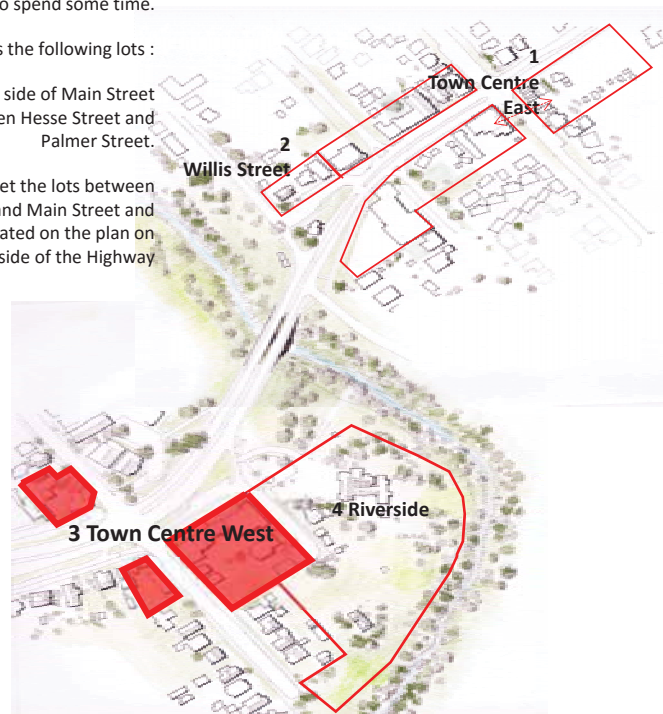


This area is the heart of the town. These guidelines seek to ensure this area can be developed in a way that visitors and locals will find distinctive, attractive and memorable and a rewarding place to spend some time.

It incorporates the following lots :

On the south side of Main Street those between Hesse Street and Palmer Street.

On Hesse Street the lots between Rowan Lane and Main Street and the lots indicated on the plan on the north side of the Highway



Indicative illustration of what buildings built in accordance with these guidelines would look like



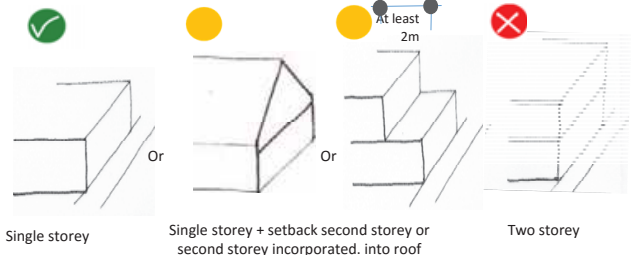
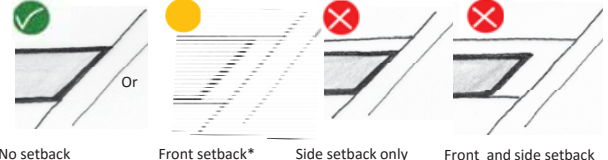
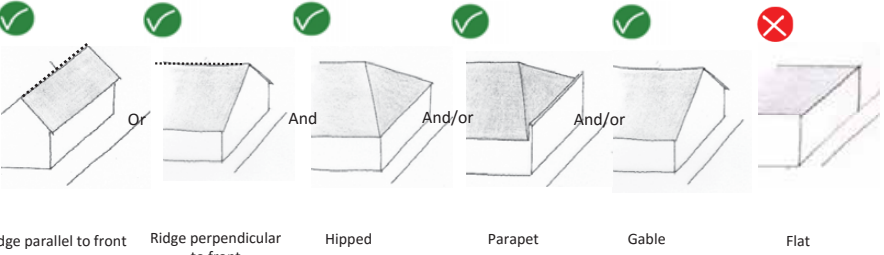
Parapets, verandas and windows and doors that occupy most of the facade to reflect the traditional country town character of Winchelsea

Potential for an additional floor if largely hidden from the highway

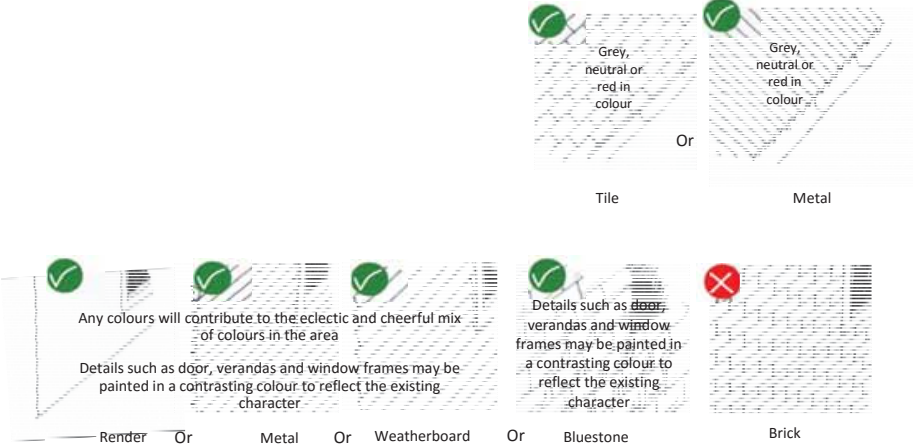
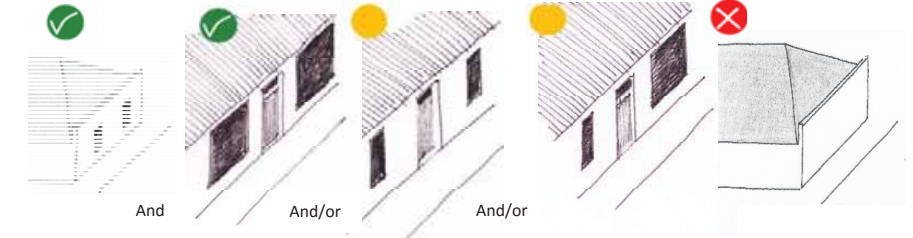
Predominantly single storey development allows for green skyline to be seen over most buildings from the streetscape in keeping with the villages country character

Building activity clustered around the street frontage, adding vitality and visual interest








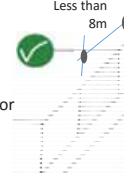

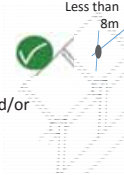

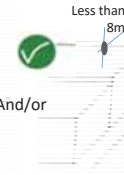



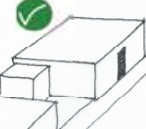

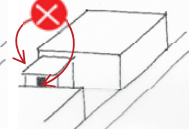




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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Building Height</p> <p>Conforming to this guideline will help ensure:</p> <p>New buildings are sympathetic to the existing scale of the town</p> <p>Trees will continue to be the main feature on the skyline when viewed from the highway</p> <p>The impact that taller buildings will have is reserved for buildings with a particularly significant function for the community</p>	 <p>Single storey Or Single storey + setback second storey or second storey incorporated into roof Or At least 2m Two storey</p>	
<p>Building placement</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings respect the villages characteristic pattern of development</p>	<p>(*setbacks may be acceptable if they are activated by café seating for example but not if used for car parking)</p>  <p>No setback Or Front setback* Side setback only Front and side setback</p>	
<p>Roof design</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings reinforce Winchelsea's country town skyline and close grain</p> <p>Trees are retained as the dominant feature on the skyline when viewed from the highway</p>	 <p>Ridge parallel to front Or Ridge perpendicular to front And And/or Parapet And/or Gable Flat</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Materials and colours</p> <p>Conforming to this guideline will play an important role in ensuring that new buildings reflects the detail and texture of the preferred character.</p>	 <p>Any colours will contribute to the eclectic and cheerful mix of colours in the area</p> <p>Details such as door, verandas and window frames may be painted in a contrasting colour to reflect the existing character</p> <p>Render Or Metal Or Weatherboard Or Bluestone Or Brick</p>	
<p>Windows</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>new buildings look like they were intended for Winchelsea and not just imposed on the town from elsewhere</p> <p>New buildings contribute to the vitality and safety of the town.</p>	 <p>Windows and doors orientated towards the street</p> <p>Commercial, display windows</p> <p>Domestic, vertically orientated windows</p> <p>Mix of Commercial and domestic windows</p> <p>Blank facades</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Other important features</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>The building is a good fit with the town</p> <p>That new buildings offer a welcoming, interesting and comfortable experience for those walking along the adjoining footpath</p> <p>That new buildings contribute to the vitality and safety of the street</p>	<p>Advertising</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Traditional shopfront advertising </div> <div style="text-align: center;">   Internally illuminated signage and/or ridgeline signage </div> </div> <hr/> <p>Articulation</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Variation in roofline and roof form </div> <div style="text-align: center;">   Variation in colour </div> <div style="text-align: center;">   Modulation between sections </div> <div style="text-align: center;">   Variation in height </div> <div style="text-align: center;">   Variation in setback </div> </div> <hr/> <p>Orientation</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Principal pedestrian entrance visible from Highway or road </div> <div style="text-align: center;">   Principal pedestrian entrance not visible from Highway or road </div> </div> <hr/> <p>Presentation to street</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">   Planting pit for vines </div> <div style="text-align: center;">   veranda </div> </div>	

Design Guidelines for Area 4 Riverside



This area has been identified for expansion of the town centre and open space.

Development in this area will activate and attract visitors to experience the beautiful Barwon River setting. Development will be required to respond sensitively to the surrounding open space, retain the dominance of the landscape and provide an attractive edge to both the town and the river.

This area covers the land indicated on the map below



Area liable to flooding (based on 2019 mapping, please check planning scheme for most up to date area)

Indicative illustration of what buildings built in accordance with these guidelines would look like

Mix of building heights and varied roof forms allows for green skyline to be seen over most buildings

Muted colours and materials minimises impacts of buildings

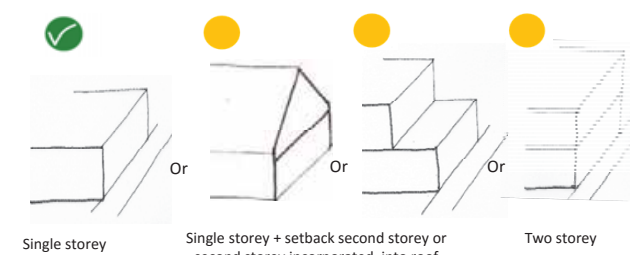
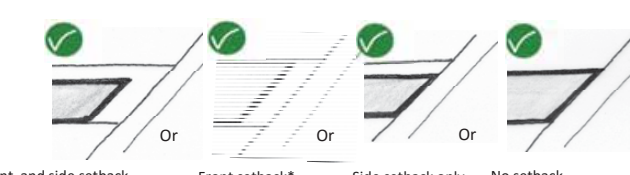
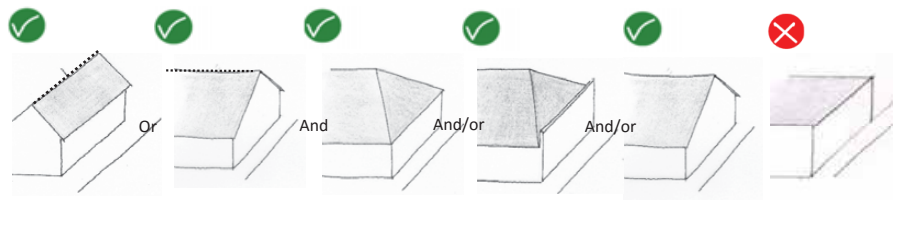


verandas and balconies to break up the mass of the building

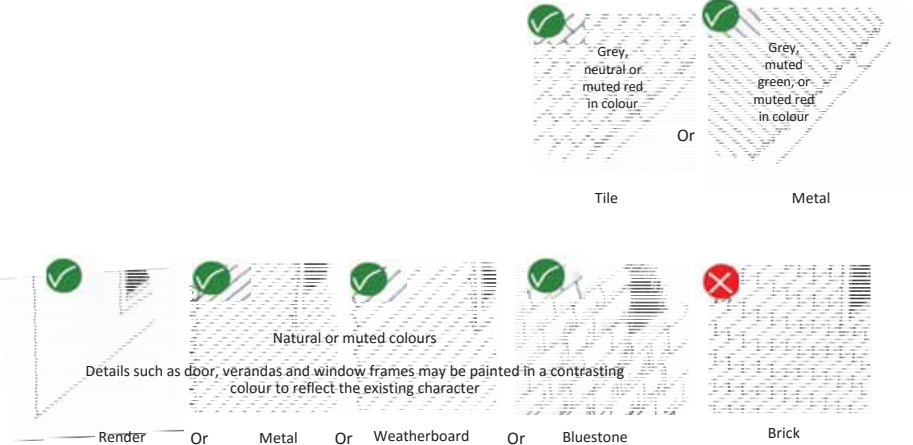
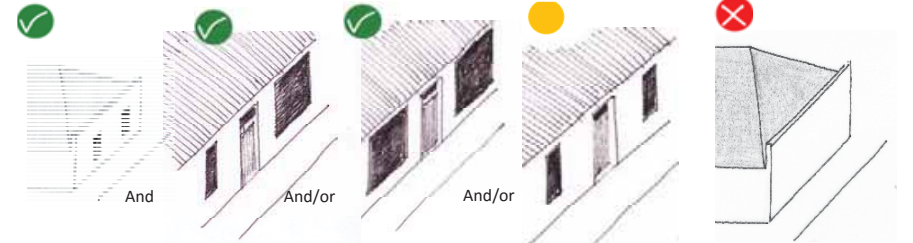
Significant landscaping in activated front and side setbacks

Development fronting towards riverside open space and slow speed, pedestrian friendly access road linking Hesse Street and Palmer Street

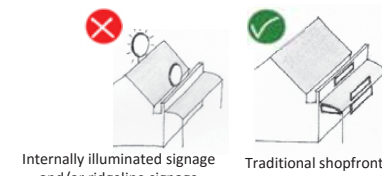
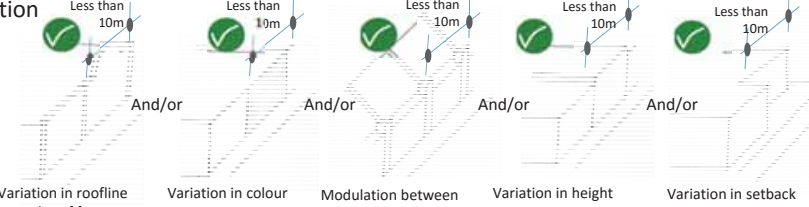
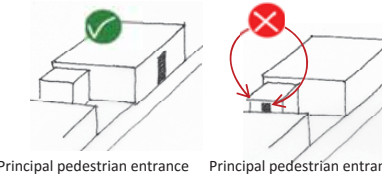
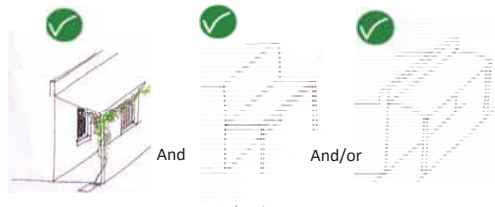
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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Building Height</p> <p>Conforming to this guideline will help ensure:</p> <p>New buildings are sympathetic to the existing scale of the town</p> <p>Trees will continue to be the main feature on the skyline when viewed from the highway</p> <p>The impact that taller buildings will have is reserved for buildings with a particularly significant function for the community</p>	 <p>Single storey</p> <p>Single storey + setback second storey or second storey incorporated into roof</p> <p>Two storey</p>	
<p>Building placement</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings are focussed on the Barwon River</p>	<p>*setbacks will require appropriate landscaping and activation such as café seating. Setbacks used for car parking will not be acceptable</p>  <p>Front and side setback</p> <p>Front setback*</p> <p>Side setback only</p> <p>No setback</p>	
<p>Roof design</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>New buildings reinforce Winchelsea's country town skyline and close grain</p>	 <p>Ridge parallel to front</p> <p>Ridge perpendicular to front</p> <p>Hipped</p> <p>Parapet</p> <p>Gable</p> <p>Flat</p>	

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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Materials and colours</p> <p>Conforming to this guideline will play an important role in ensuring that new buildings reflects the detail and texture of the preferred character and are responsive to the riverside setting.</p>	 <p>Grey, neutral or muted red in colour</p> <p>Grey, muted green, or muted red in colour</p> <p>Or</p> <p>Tile</p> <p>Metal</p> <p>Natural or muted colours</p> <p>Details such as door, verandas and window frames may be painted in a contrasting colour to reflect the existing character</p> <p>Render Or Metal Or Weatherboard Or Bluestone Brick</p>	
<p>Windows</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>new buildings look like they were intended for Winchelsea and not just imposed on the town from elsewhere</p> <p>New buildings contribute to the vitality and safety of the town.</p>	 <p>Windows and doors orientated towards the street</p> <p>And</p> <p>Mix of Commercial and domestic windows at ground floor</p> <p>And/or</p> <p>Commercial, display windows at ground floor</p> <p>And/or</p> <p>Domestic, vertically orientated windows at ground floor</p> <p>Blank facades</p>	


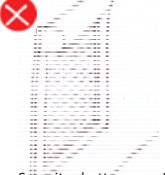





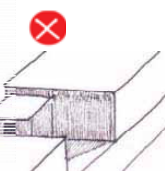
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Important aspects of development and why they are important	Appropriate and inappropriate design characteristics	Does your proposal have these appropriate characteristics? If not, how does it achieve the preferred character?
<p>Other important features</p> <p>Conforming to this guideline will contribute to ensuring:</p> <p>The building is a good fit with the town</p> <p>That new buildings offer a welcoming, interesting and comfortable experience for those walking along the adjoining footpath</p> <p>that new buildings contribute to the vitality and safety of the street</p>	<p>Advertising</p>  <p>Internally illuminated signage and/or ridgeline signage</p> <p>Traditional shopfront advertising</p>	
	<p>Articulation</p>  <p>Variation in roofline and roof form</p> <p>Variation in colour</p> <p>Modulation between sections</p> <p>Variation in height</p> <p>Variation in setback</p>	
	<p>Orientation</p>  <p>Principal pedestrian entrance visible from access road</p> <p>Principal pedestrian entrance not visible from access road</p>	
	<p>Presentation to street</p>  <p>Planting pit for vines</p> <p>Balconies</p> <p>Veranda</p>	

Part 4

Managing buildings to contribute to character and amenity

The design of development is not the only factor that will impact upon the amenity and character of Winchelsea. How we manage these buildings once they are built will also have a significant impact on how attractive, distinctive and liveable the town is. The ideas on this page relate to how you might manage your development in order to maximise the contribution that appropriately designed development might make following construction.

Important aspects of development and why they are important	Appropriate and inappropriate management techniques			Will your proposal be managed in a way that incorporates these appropriate design techniques?	
<p>Managing the building when its built</p> <p>Adopting these management techniques will contribute to ensuring:</p> <p>That new buildings offer a welcoming, and interesting experience for those walking along the adjoining footpath</p> <p>That new buildings contribute to the vitality and safety of the street</p>	Windows	 Display that allow people to look in and out from street	 Security shutters	 Windows obscured by stock or advertising when viewed from street	
<p>That landscape and nature can make a significant contribution to the towns character</p> <p>Microclimatic comfort is maintained</p>	Landscaping	 Canopy tree in front setback (where appropriate) in accordance with guidelines	 Install and tend raised beds	 Install and tend vines in landscaping pits	
	Lighting	 Lighting under verandas	 unilluminated entrances		

Planning and Environment Act 1987

SURF COAST PLANNING SCHEME

AMENDMENT C134SURF

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by the Surf Coast Shire Council, which is the planning authority for this amendment.

Land affected by the amendment

The amendment applies to all land zoned Commercial 1 and the majority of General Residential 1 zoned land (abutting the Princes Highway) in the township of Winchelsea as shown in map 1 below.

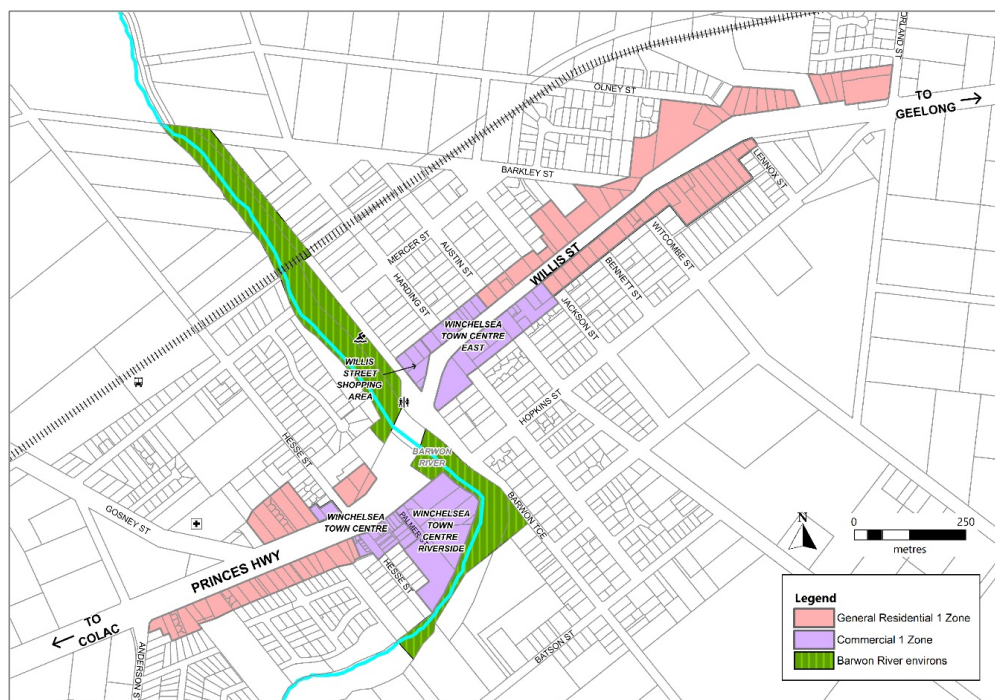


Figure 1: Land affected by Amendment C134surf

What the amendment does

The amendment protects the distinctive country town character of Winchelsea through the implementation of the *Winchelsea Town Centre and Highway Design Guidelines, 2019*.

Specifically, the Amendment:

- Amends Planning Scheme Map No. 8DDO to apply new Design and Development Overlay Schedules 27, 28, 29, 30 and 31 to all commercial land within the town centre and residential land abutting the highway.
- Amends Clause 02.04-4 of the Municipal Planning Strategy to insert a new Winchelsea commercial area precinct plan.

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- Amends Clause 15.01-1L-02 (Activity centre and commercial design) of the Planning Policy Framework by inserting new strategies to implement the 'Winchelsea town centre and highway design guidelines'.
- Amends Clause 15.01-1L-03 (Signs) of the Planning Policy Framework by including the guidelines as a policy document.
- Amends Clause 15.01-3L (Subdivision design in Surf Coast) of the Planning Policy Framework by inserting new strategies to ensure new subdivision layout in the Winchelsea town centre activates the Barwon River.
- Amends Clause 17.04-1L (Facilitating tourism in the Surf Coast) of the Planning Policy Framework by providing new strategies that will enhance Winchelsea as an inland tourism destination.
- Inserts 5 new Schedules (DDO27, DDO28, DDO29, DDO30 and DDO31) to Clause 43.02 to implement the guidelines.
- Amends the Schedule to Clause 72.08 within of the Operational Provisions to include a new background document titled 'Winchelsea Town Centre and Highway Design Guidelines, 2019'.
- Amends the Schedule to Clause 74.01 within of the Operational Provisions to include reference to the new DDO schedules.
- Amends the Schedule to Clause 74.02 within of the Operational Provisions to delete reference to required further work.

Strategic assessment of the amendment

Why is the amendment required?

The amendment completes further strategic work contained within the Schedule to Clause 74.02 of the Surf Coast Planning Scheme. The schedule requires the preparation of design guidelines for commercial land and the entrance to the town of Winchelsea. Council adopted the *Winchelsea Town Centre and Highway Design Guidelines* in 2019 and a planning scheme amendment is required to implement the adopted guidelines.

The amendment seeks to ensure the distinctive country town character of Winchelsea as described in the guidelines is protected and enhanced. The guidelines build on the vision for the township contained within the place-making plan 'Growing Winchelsea, 2015'. The guidelines were prepared by Inclusive Design in consultation with the Winchelsea community, including traders groups, Growing Winch Inc. and the local primary school.

The amendment applies five Design and Development Overlay Schedules, requiring all development within the town centre and all new commercial development abutting the highway to respond to the defined preferred character. The guidelines encourage innovative design and provides multiple design options to allow for greater flexibility.

How does the amendment implement the objectives of planning in Victoria?

The amendment implements the objectives of planning in Victoria (sections 4(1) and 12(1)(a) of the *Planning and Environment Act 1987*) by providing for the fair, orderly, economic and sustainable use and development of land within the town centre and along the highway. The amendment formalises an urban design document that aims to stimulate the town of Winchelsea as a tourist destination with a distinctive historic charm, celebrating the picturesque setting on the Barwon River.

How does the amendment address any environmental, social and economic effects?

Environmental

Amendment C134surf implements guidelines that will enhance the pedestrian experience within the township. The built form encouraged through the guidelines will result in active streetscapes, pedestrian friendly and human scale development. The proposed overlay schedules encourage the planting of canopy trees and vines to help green the streetscape.

Social and Economic

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The guidelines encourage vibrancy and activity within the town centre with the intention of activating the Barwon River environs and preserving the historic country town feel. There was strong community support for the guidelines during their development in 2019.

Does the amendment address relevant bushfire risk?

The township of Winchelsea is not considered to be in a high bushfire risk area. It is not affected by the Bushfire Management Overlay but is designated a Bushfire Prone Area, as is most of Victoria. The amendment does not include changes to the planning scheme that would increase bushfire risk in Winchelsea or that would impact on current applicable bushfire regulations.

Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The Amendment is consistent with the Ministerial Direction on the Form and Content of Planning Schemes under section 7(5) of the *Planning and Environment Act 1987*. It also complies with the requirements of Minister's Direction No. 11 Strategic Assessment of amendments.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The Amendment supports and implements Clause 11 (Settlement). It is consistent with Clause 11.03-1S 'Activity centres', supporting the focus on business, shopping, working, leisure and community facilities within the Winchelsea town centre. The Amendment reinforces the importance of creating a vibrant, concentrated, accessible activity centre.

The Amendment acknowledges the environmental and landscape values of Winchelsea as required by Clause 12 (Environmental and Landscape Values), ensuring new development within the town centre is orientated towards the Barwon River environs. The Amendment takes into consideration environmental risks, such as flooding and bushfire, set out in Clause 13 (Environmental Risks).

The Amendment promotes development consistent with the valued country village and historical character of Winchelsea, consistent with the direction of Clause 15 (Built Environment and Heritage).

The Amendment encourages urban design features and building design outcomes that will contribute to the sense of place and cultural identity of Winchelsea, consistent with Clauses 15.01-1S (Urban design) and 15.01-2S (Building design). The Amendment establishes the preferred neighbourhood character as a low scale country town with a strong historic heritage in line with Clause 15.01-5S (Neighbourhood character).

How does the amendment support or implement the Municipal Planning Strategy?

The amendment supports and implements the Municipal Planning Strategy (MPS).

Clause 02.03-1 (Settlement) establishes Winchelsea as one of two major growth nodes in the Surf Coast Shire.

Clause 02.03-5 (Built environment and Heritage) highlights that Winchelsea features a number of valued heritage buildings. Amendment C134surf seeks to balance both strategic directions by enhancing the look and appeal of the town centre to ensure as it grows, the valued character is preserved and celebrated.

02.03-7 (Economic development) outlines the importance of Winchelsea's historical and country village character noting that it provides an opportunity for further tourism growth for the town. The amendment builds upon this strategic direction by encouraging responsive design to activate the Barwon River frontage and consolidate the four different township precincts for a more walkable and inviting visitor experience.

The amendment amends the MPS by inserting a new map into Clause 02.04 (Strategic Framework Maps) dividing the town centre into four separate precincts. Different design outcomes are sought in the different precincts to be implemented through the DDO schedules being applied through the amendment.

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The proposed changes to the Planning Policy Framework are consistent with the strategic directions for Winchelsea contained within the MPS. The amendment does not change the strategic directions of the MPS but aligns and builds upon current policy direction.

Does the amendment make proper use of the Victoria Planning Provisions?

The Amendment makes proper use of the Victoria Planning Provisions through aligning with the MPS and strengthening local policy for clearer decision making. The Design and Development Overlay is the appropriate tool to guide the design and built form of new development.

How does the amendment address the views of any relevant agency?

The Amendment will not directly impact on any government agency. The amendment will be exhibited to all relevant agencies and referral authorities in accordance with the requirements of the *Planning and Environment Act 1987*.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The Amendment is not expected to have any impact upon the objectives, strategies and decision making principles of the *Transport Integration Act 2010*.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The Amendment is not expected to have any significant impact on the resource and administrative costs of Council. A planning permit is required for most buildings and works under the Commercial 1 Zone and the proposed DDO schedules will not introduce any new permit triggers. A planning permit is not required for a dwelling or extension to a dwelling on a lot greater than 300 square metres under the General Residential Zone and the new DDO31 to be applied along the highway also includes this exemption. The Amendment will therefore not increase the number of planning permit applications received by Council.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Surf Coast Shire website at <https://www.surfcoast.vic.gov.au/Home>

And

The amendment is available for public inspection, free of charge, during office hours at the following places:

Surf Coast Shire Council, 1 Merrijig Drive, Torquay.

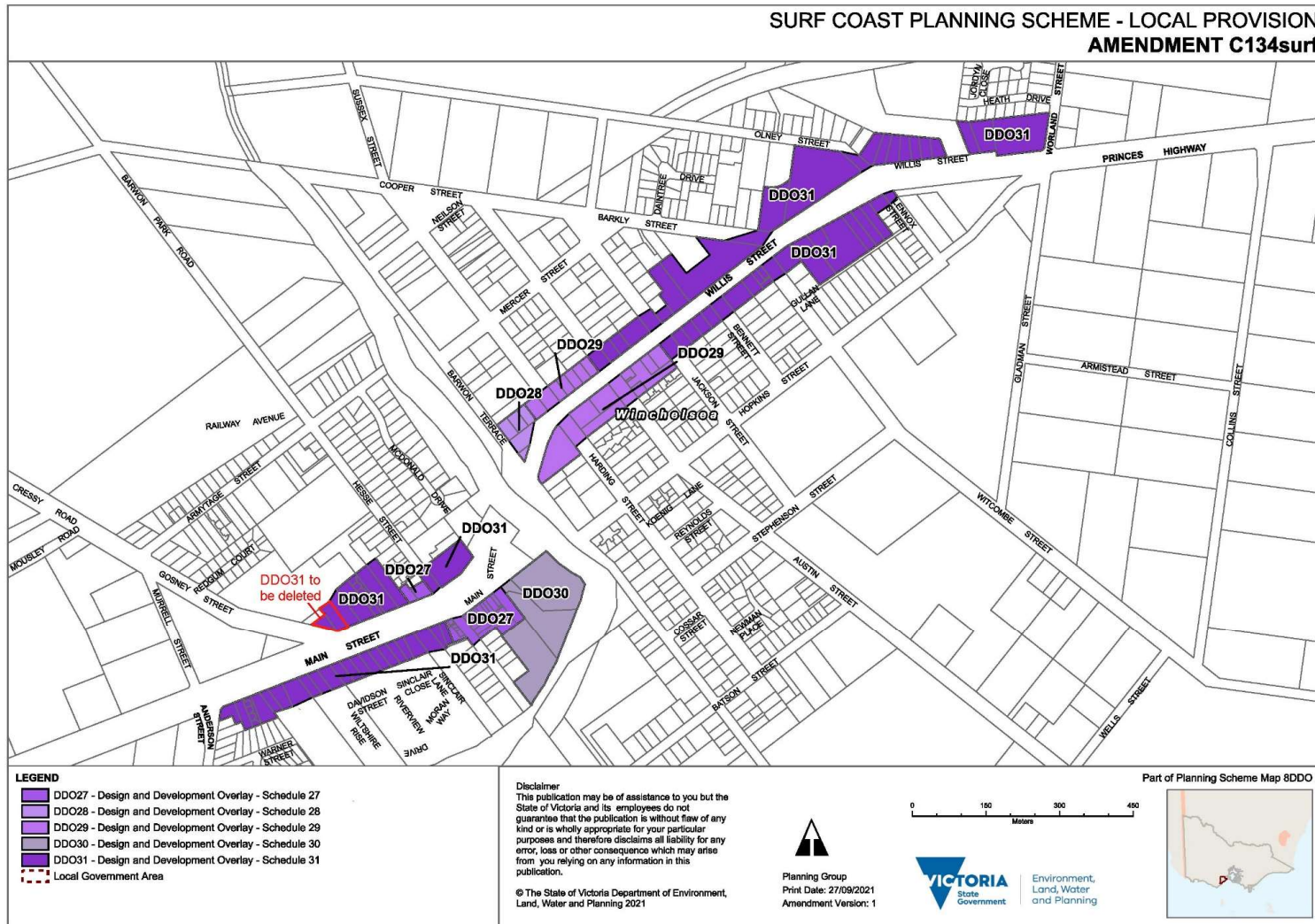
The amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at www.planning.vic.gov.au/public-inspection.

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ATTACHMENT 1 - Mapping reference table

Location	Land /Area Affected	Mapping Reference
Winchelsea	Town centre and residential land abutting the highway	Surf Coast C134 001ddoMap08 Authorisation

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SURF COAST PLANNING SCHEME

02.04

10/06/2021
C136surf

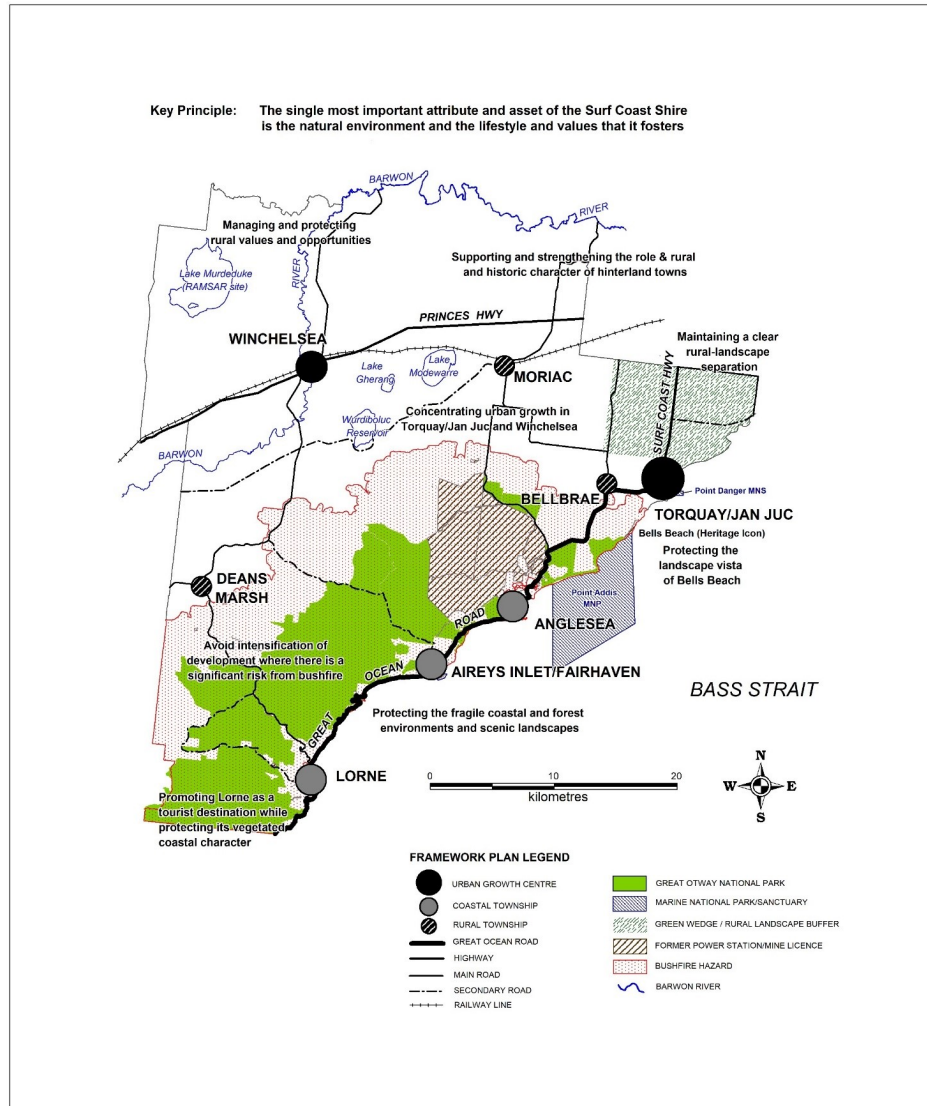
STRATEGIC FRAMEWORK PLANS

The plans contained in Clause 02.04 are to be read in conjunction with the strategic directions in Clause 02.03.

02.04-1

10/06/2021
C136surf

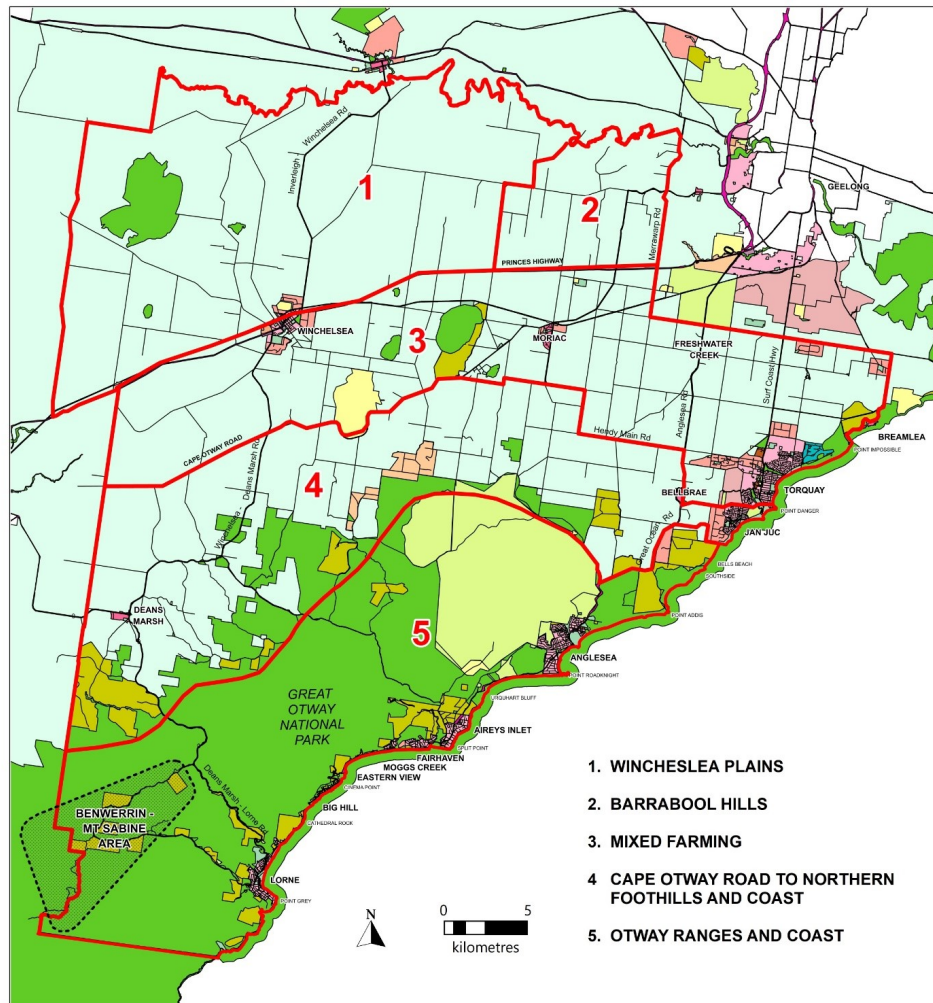
Municipal strategic framework plan



SURF COAST PLANNING SCHEME

02.04-2
10/06/2021
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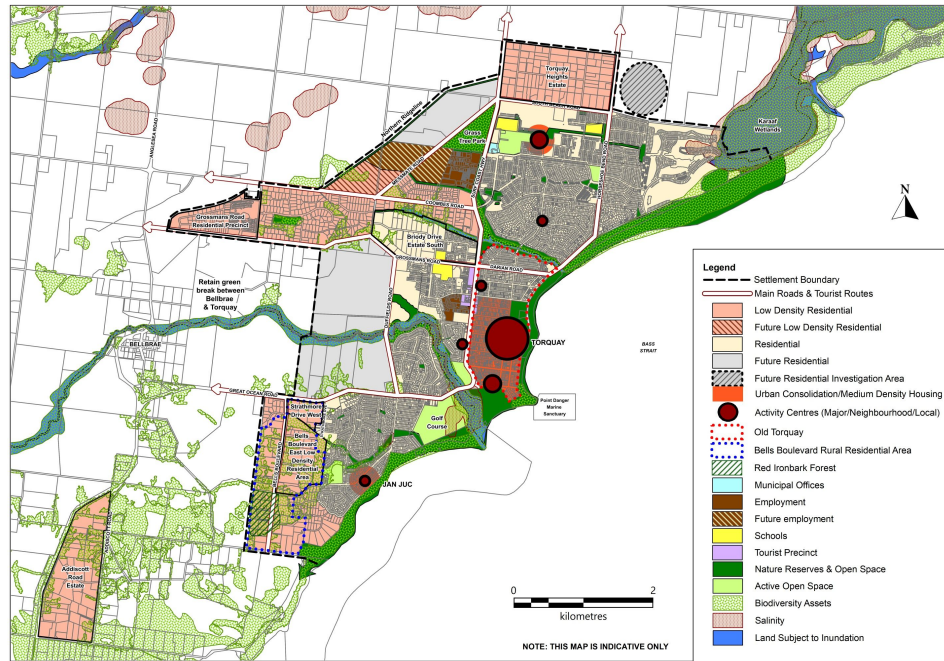
Landscape precincts plan



SURF COAST PLANNING SCHEME

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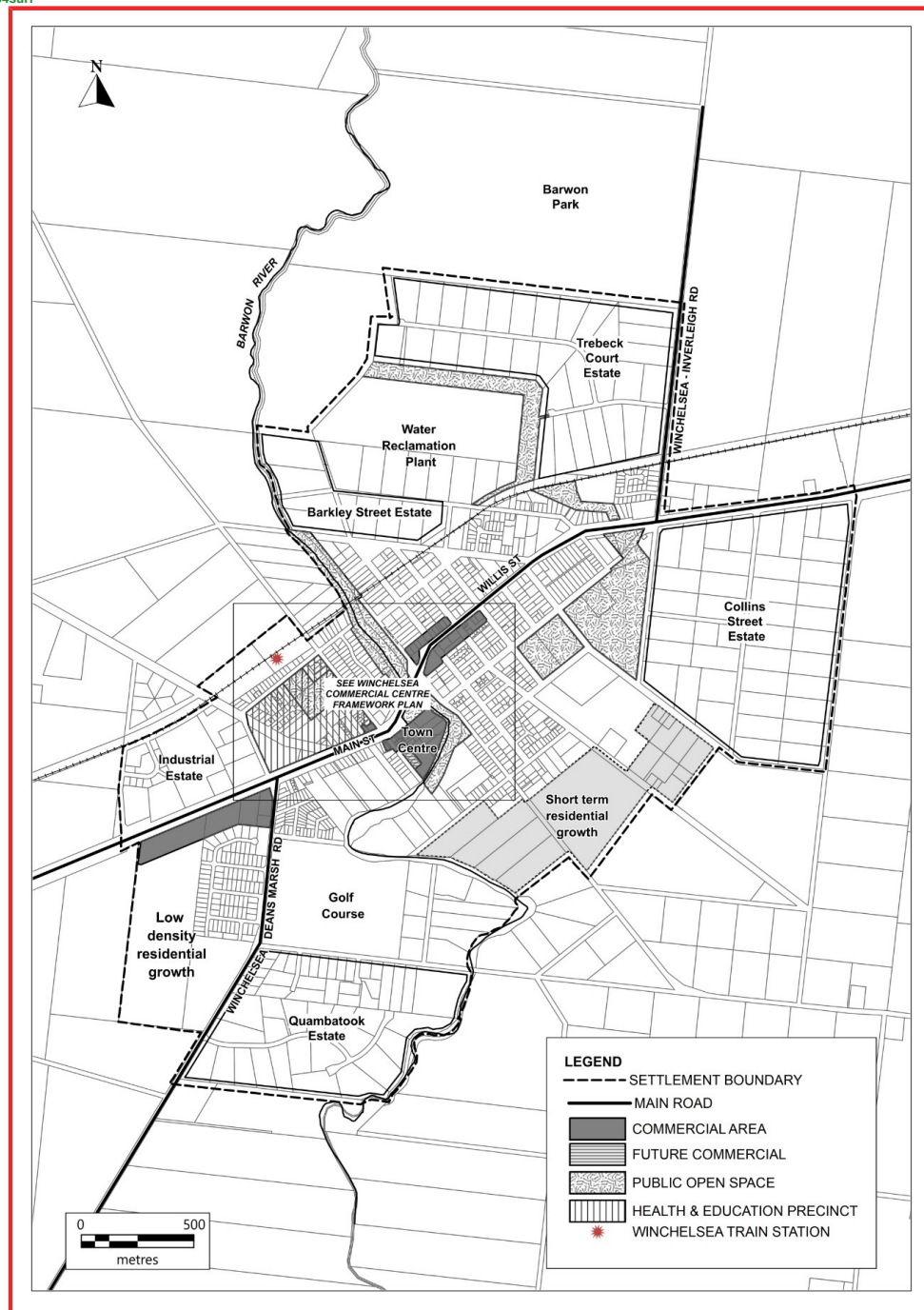
Torquay-Jan Juc framework plan



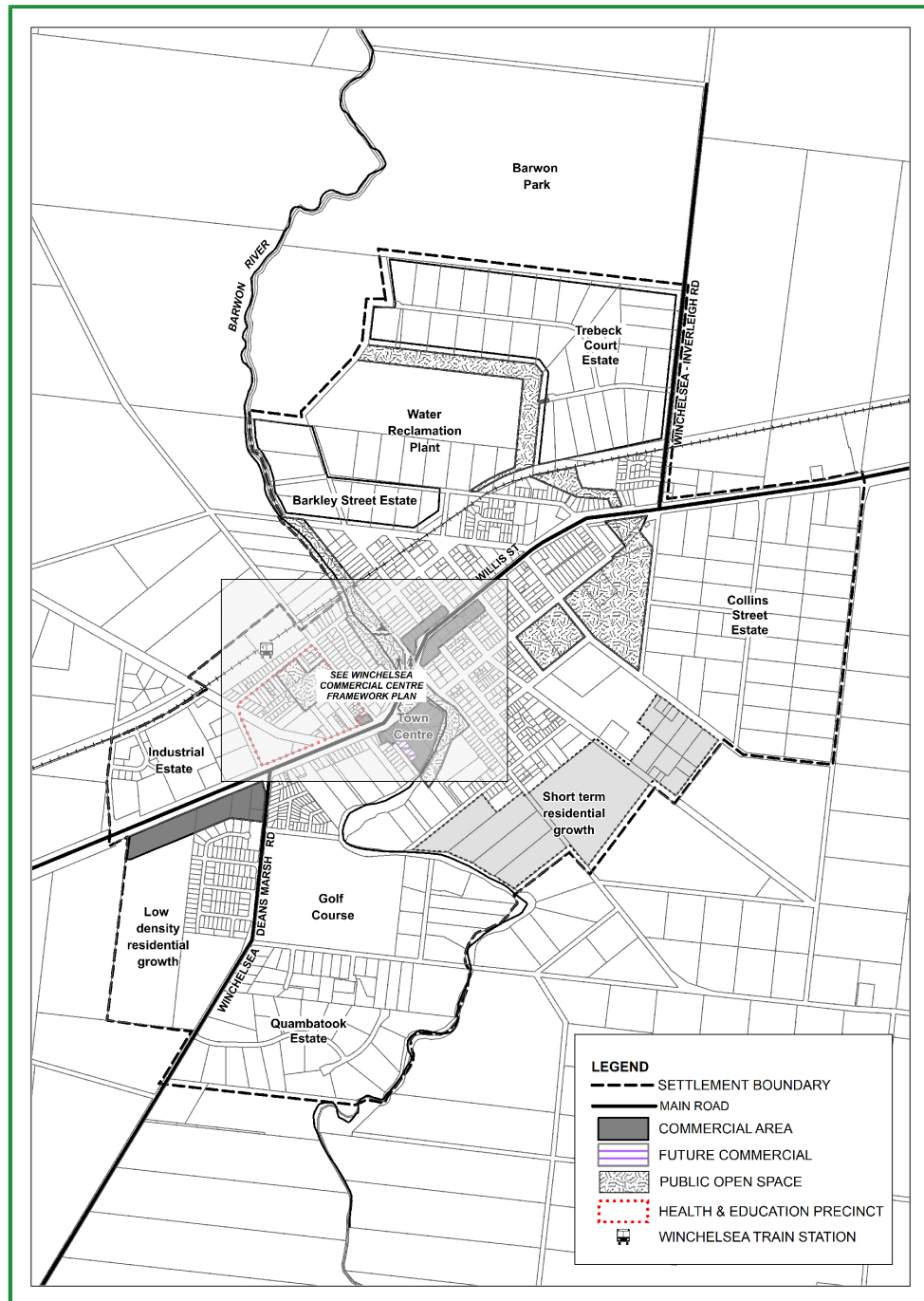
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02.04-4 Winchelsea framework plan

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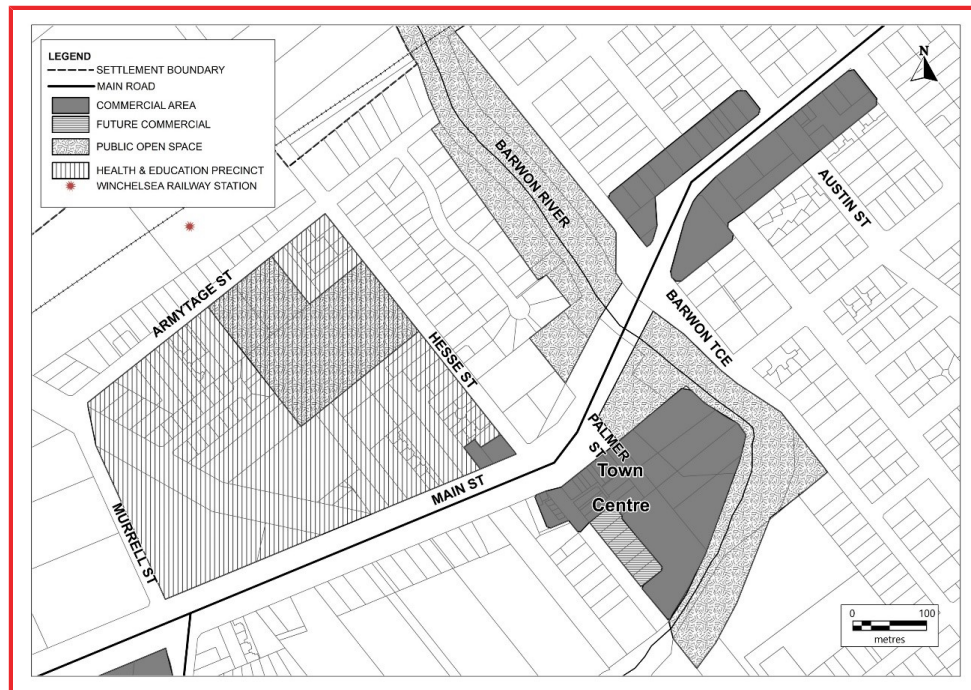


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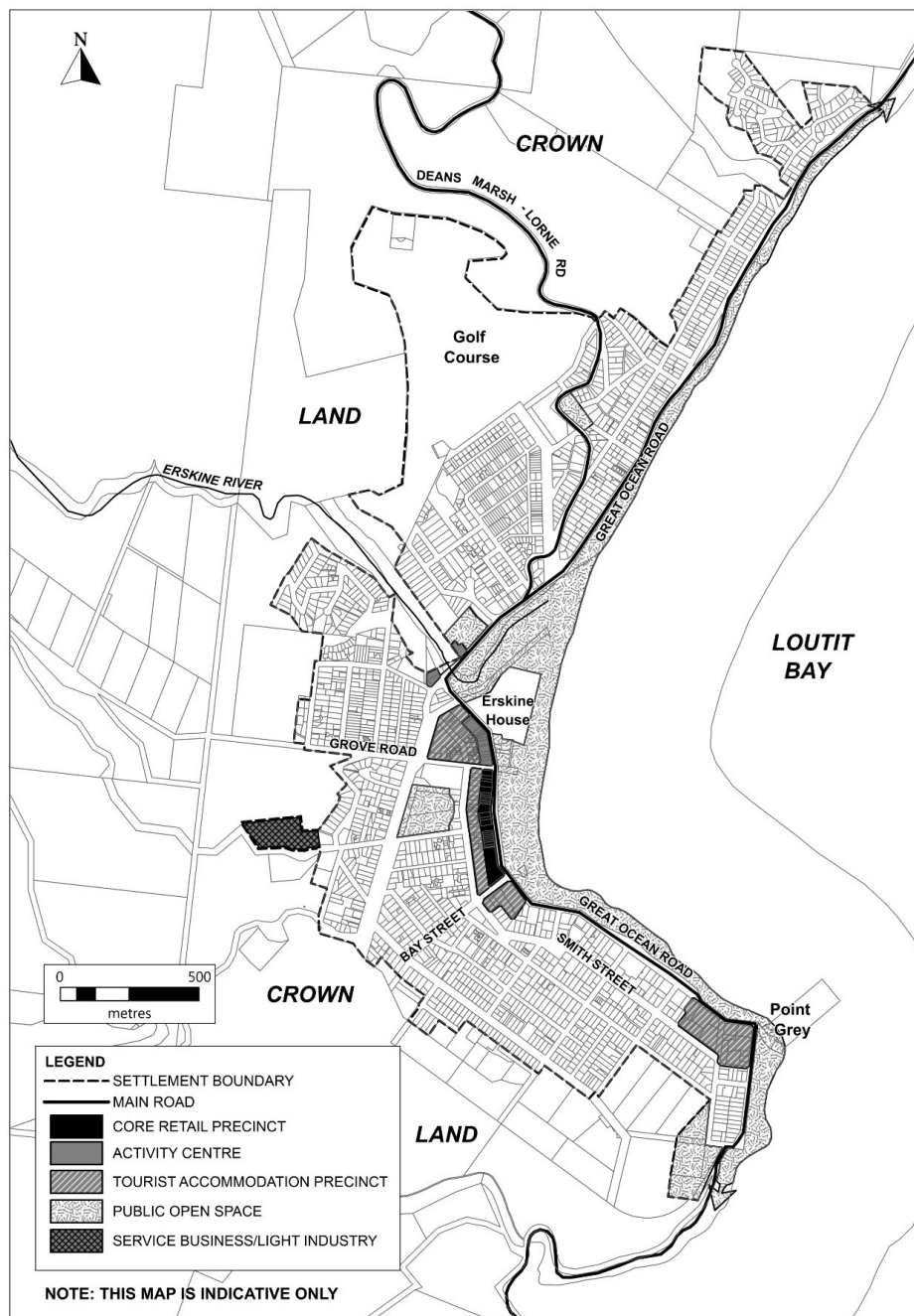
Winchelsea commercial centre framework plan



SURF COAST PLANNING SCHEME

02.04-5 Lorne framework plan

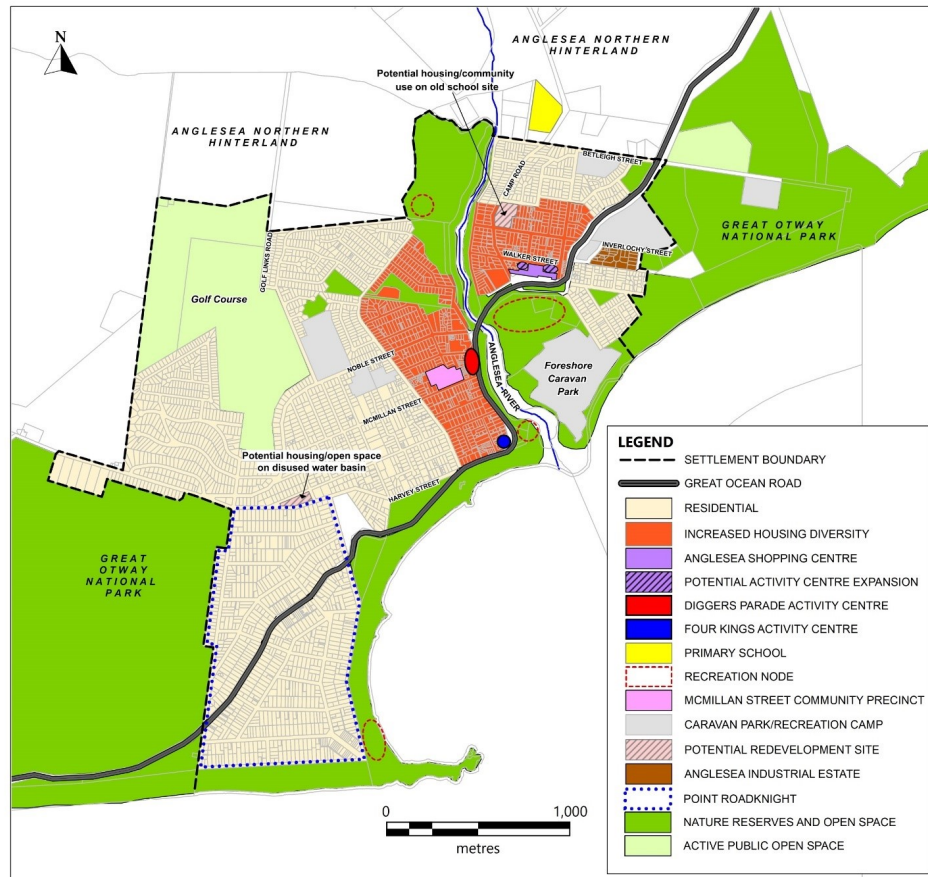
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SURF COAST PLANNING SCHEME

02.04-6 Anglesea framework plan

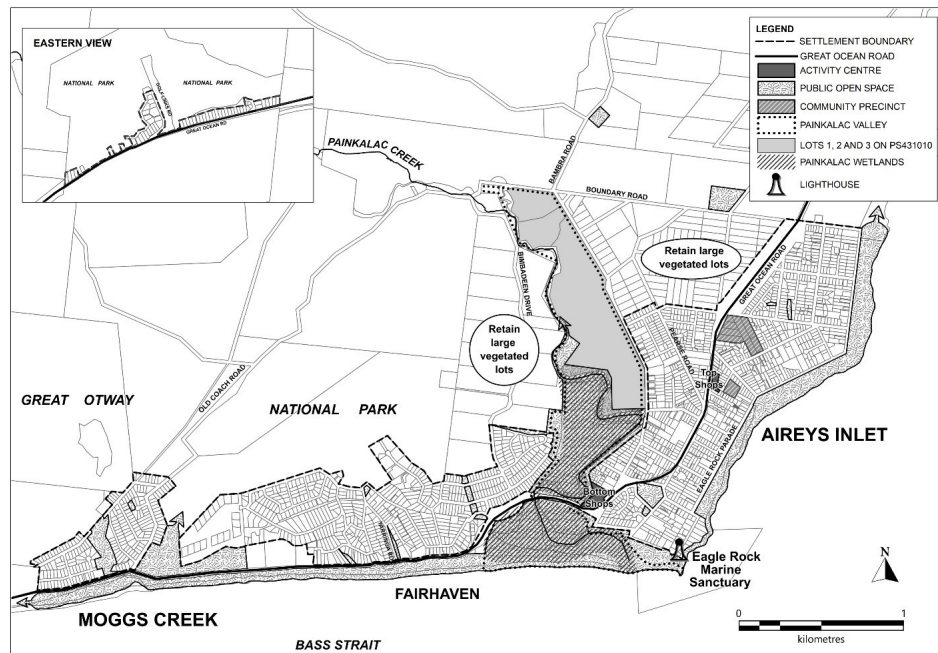
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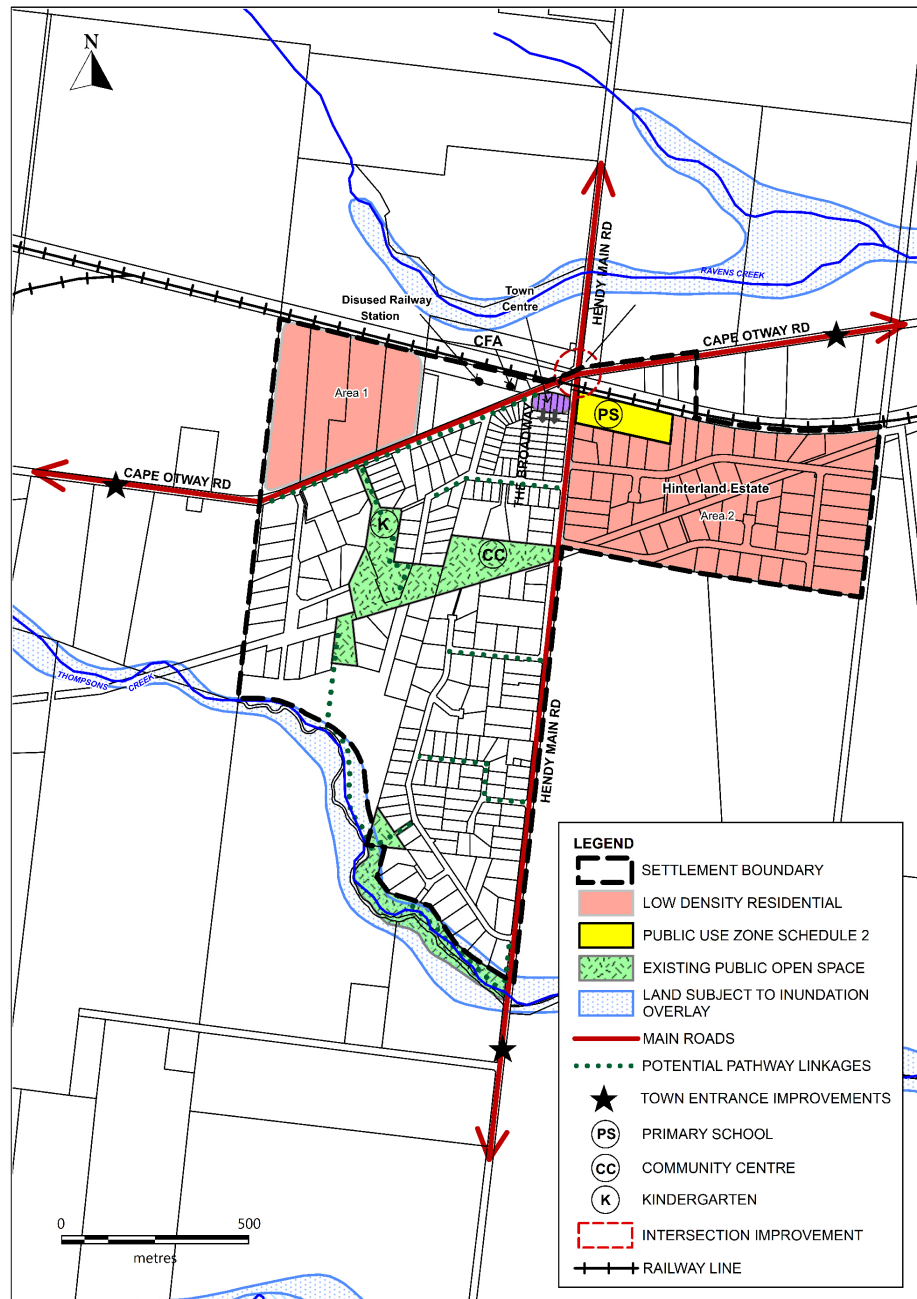
02.04-7 Aireys Inlet to Eastern View framework plan

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SURF COAST PLANNING SCHEME

02.04-8 Moriac framework plan
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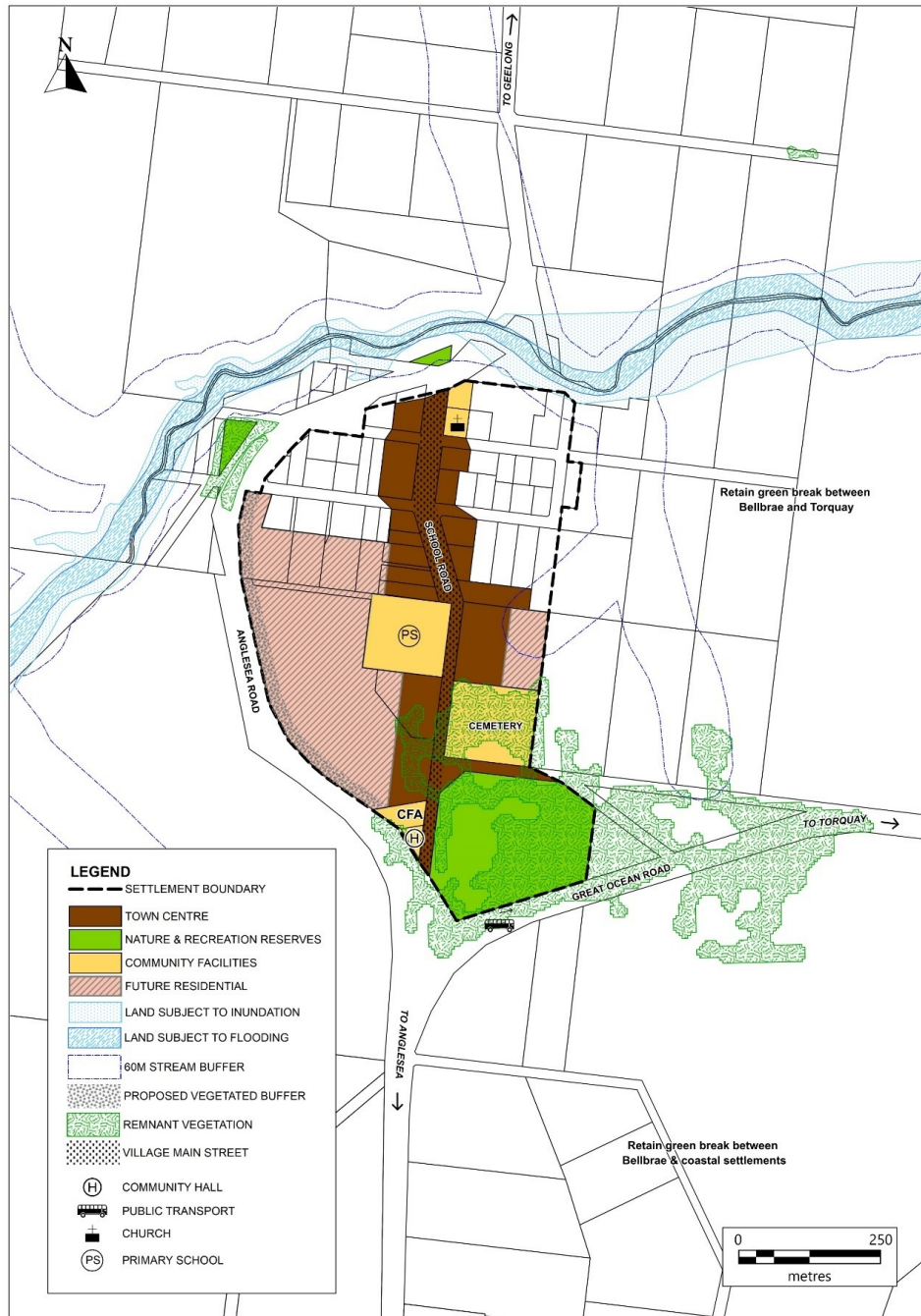


SURF COAST PLANNING SCHEME

02.04-9

Bellbrae framework plan

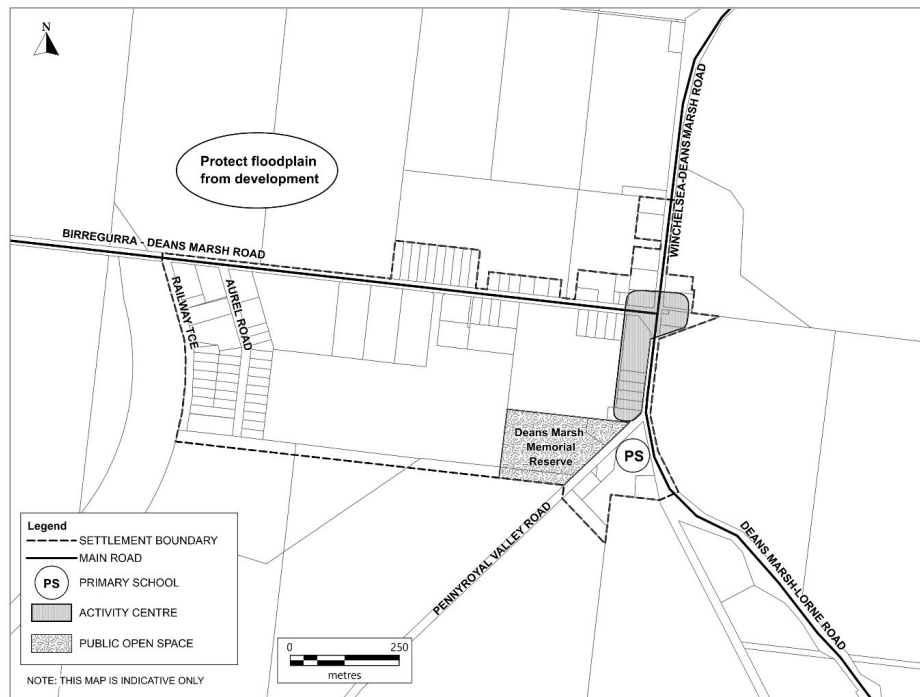
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SURF COAST PLANNING SCHEME

02.04-10 Deans Marsh framework plan

10/06/2021
C136surf



SURF COAST PLANNING SCHEME

15.01 BUILT ENVIRONMENT

31/07/2018
VC148

SURF COAST PLANNING SCHEME

15.01-1S

31/07/2018
VC148

Urban design

Objective

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies

Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.

Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.

Ensure the interface between the private and public realm protects and enhances personal safety.

Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.

Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.

Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.

Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.

Promote good urban design along and abutting transport corridors.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

SURF COAST PLANNING SCHEME

15.01-1L-01 Design in Deans Marsh

10/06/2021
C136surf

Strategies

Orient development in Deans Marsh so it has active frontages to public streets and natural landscape features.

Site and design development in Deans Marsh and the surrounding rural land to protect the scenic values of the township entries, including by:

- Maintaining the dominance of the natural landscape from main road corridors outside the township.
- Delineating the boundary between urban development and the natural landscape beyond to ensure the township has a definite visual edge.
- Locating signs away from township entries wherever possible.

Policy document

Consider as relevant:

- *Deans Marsh Structure Plan* (Surf Coast Shire, 2008)

SURF COAST PLANNING SCHEME

15.01-1L-02 Activity centre and commercial design

10/06/2021
C436surf Proposed C134surf

Strategies

Design mixed use development so that uses with high public interaction, such as retail, are located on ground floor and offices and apartments are located on upper floors.

Encourage flexible built form that is adaptable to changing needs.

Limit the visual impact of large at-grade car parks from main roads by locating them to the side or rear of buildings.

Provide car parking spaces in all centres to meet the projected usual demand, not peak seasonal demand.

Maximise opportunities for:

- Basement and roof top parking.
- On-street parking.
- The sharing of car parking areas between uses within a centre.
- The creation of surface carparks away from the public realm, accessed by purpose designed laneways.

Aireys Inlet strategies

Set aside an area for outdoor dining and shade trees at the shop front edge of activity centres in Aireys Inlet.

Site and design commercial development adjacent to the Painkalac Creek in Aireys Inlet to respect the open scenic landscape character of Painkalac Creek.

Winchelsea strategies

Encourage uses compatible with the historic character (e.g. antique shops) in Winchelsea to locate in the 'Town Centre East' precinct and day to day services to locate within the 'Town Centre' precinct identified in the Winchelsea commercial centre framework plan in Clause 02.04.

Encourage a mix of cafe's and tourist type commercial developments fronting onto the Barwon River in Winchelsea.

Design commercial development in Winchelsea to:

- Respect and enhance the country village character or heritage theme (including pitched roofs, wide eaves, ~~or~~ heritage colours and materials and verandahs), particularly along the Princes Highway and in the town centre along Main Street.
- Be predominantly low rise, ensuring upper level development is designed to complement the preferred low scale country village character, and ensuring trees remain the main feature of the skyline when viewed from the highway.
- Have active frontages to public streets and the Barwon River reserve, by ensuring windows and entry doors are orientated towards the street and avoiding large unvaried blank walls on a street frontage.
- Provide outdoor dining spaces that overlook the Barwon River.
- Respect, complement and maintain the prominence of heritage buildings and places within the streetscape and their contribution to the streetscape character through height, setbacks and scale of new built form. Upper level development should maintain the contribution of heritage buildings to the streetscape character of Winchelsea when viewed from the public realm.
- Locate landscaping works within flood affected areas (subject to the approval of the floodplain manager).

SURF COAST PLANNING SCHEME

- Facilitate and encourage the 'greening' of the town centre through the planting of vines on veranda posts and the planting of canopy trees within the streetscape and where front setbacks are proposed.
- Encourage the use of landscaping to create a visually appealing entry through the town along the Highway.
- Contribute to and improve the pedestrian environment and prioritise pedestrian amenity.

~~Set aside an area for outdoor dining and shade trees at the shop front edge of activity centres in Aireys Inlet. Policy document~~

~~Site and design commercial development adjacent to the Painkalae Creek in Aireys Inlet to respect the open scenic landscape character of Painkalae Creek. Consider as relevant:~~

~~*Winchelsea town centre and highway design guidelines* (Surf Coast Shire, 2019)~~

SURF COAST PLANNING SCHEME

15.01-1L-03 Signs

~~10/06/2021~~
C436surf Proposed C134surf

Strategies

Discourage the display of large, illuminated signs associated with electronic gaming activities.

Design and position signs to maintain the long term health of vegetation and minimise removal of or disturbance to vegetation.

Design commercial signs in Winchelsea to complement the country village or heritage theme.

Discourage signs in Winchelsea's Commercial 1 Zone that obscure the shopfront display or the architectural integrity of shopfronts.

Policy document

Consider as relevant:

- *Winchelsea Town Centre and Highway Design Guidelines* (Surf Coast Shire, 2019)
- *Winchelsea Townscape Study* (Mark McWha Pty Ltd, 1995)

SURF COAST PLANNING SCHEME

15.01-1L-04 Streetscapes and landscaping

10/06/2021
C136surf

Objective

To promote the development of co-ordinated and visually attractive streetscapes and landscapes in residential, commercial and industrial areas.

Strategies

Encourage vegetation species that are:

- Low maintenance with low water requirements.
- Of a sufficient height and spread to provide shade and assist in reducing the urban heat island effect.
- Respectful to the streetscape character.
- Indigenous, particularly in streets, nature reserves and open spaces that directly connect to areas of high ecological value.
- Not a weed species identified in the incorporated document *Weeds of the Surf Coast Shire* (Surf Coast Shire, 2013).

Select vegetation species that deliver a preferred street character in Torquay-Jan Juc and Winchelsea, consisting of a mix of native and exotic species.

Develop The Esplanade in Torquay in a manner that is consistent with its role in providing access to the foreshore and being the visual link between the town and the coast.

Encourage tree species in Winchelsea's heritage areas that respect the historic character, including species identified in the *Winchelsea Townscape Study* (Mark McWha Pty Ltd, 1995).

Break up large areas of parking with landscaping and shade trees.

Support street lights and furniture that respect the streetscape and neighbourhood character.

Limit the use of non-indigenous vegetation species except:

- Where it is used to provide continuity in the streetscape of existing avenues.
- In Torquay-Jan Juc and Winchelsea, where a mix of indigenous, native and exotic tree species is encouraged.

Policy guideline

Consider as relevant:

- Planting trees at a ratio of one tree to every four spaces in parking areas (including on street parking).

SURF COAST PLANNING SCHEME

15.01-2S

20/12/2021
VC174

Building design

Objective

To achieve building design outcomes that contribute positively to the local context and enhance the public realm.

Strategies

Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas.

Ensure development provides safe access and egress for pedestrians, cyclists and vehicles.

Ensure development provides landscaping that responds to its site context, enhances the built form and creates safe and attractive spaces.

Encourage development to retain existing vegetation.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)

SURF COAST PLANNING SCHEME

15.01-3S

31/07/2018
VC148

Subdivision design

Objective

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

Strategies

In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

- Creating compact neighbourhoods that have walkable distances between activities.
- Developing activity centres in appropriate locations with a mix of uses and services and access to public transport.
- Creating neighbourhood centres that include services to meet day to day needs.
- Creating urban places with a strong sense of place that are functional, safe and attractive.
- Providing a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of different groups of people.
- Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
- Protecting and enhancing native habitat.
- Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
- Reduce car dependency by allowing for:
 - Convenient and safe public transport.
 - Safe and attractive spaces and networks for walking and cycling.
 - Subdivision layouts that allow easy movement within and between neighbourhoods.
 - A convenient and safe road network.
- Being accessible to people with disabilities.
- Creating an urban structure and providing utilities and services that enable energy efficiency, resource conservation, integrated water management and minimisation of waste and air pollution.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

SURF COAST PLANNING SCHEME

15.01-3L Subdivision design in Surf Coast

10/06/2021 - 10/06/2021
C436surf Proposed C134surf

Torquay-Jan Juc strategies

Ensure subdivision layout establishes lots for medium density housing in areas close to activity centres and lower densities in areas that contain significant vegetation or are visually prominent.

Encourage recycled water infrastructure (third pipe).

Design urban arterial roads and collector streets to present as parkways or avenues that link key destinations.

Design local streets to present as an extension of the open space system through the planting of large shade trees.

Design the street network, particularly in new estates, to reflect the coastal character of the area by applying innovative engineering solutions, such as surface treatment, footpath, kerb and channel design.

Replicate the interconnected, grid based street network of Old Torquay (identified on the Torquay-Jan Juc framework plan in Clause 02.04) in infill developments.

Design subdivisions to respond to the area's natural features and establish a natural environment character throughout the development area.

Winchelsea strategy

Design subdivisions to contribute to the country village character of Winchelsea by providing wide streets, open spaces, and adequate space for front gardens with a generous street setback.

Ensure subdivision of land adjacent to the Barwon River will facilitate the orientation of future commercial development towards the river environs.

Ensure subdivision within the commercial areas creates a pattern of fine grain development, enabling a mixture of shops, cafe's and businesses to activate the town centre.

Coastal towns strategies

Set aside land in subdivisions in Lorne for footpaths.

Design and construct new roads and footpaths in Lorne, Anglesea and Aireys Inlet to Eastern View, to achieve an informal appearance, with an emphasis on:

- Retaining vegetation in road verges, including curving road pavements to avoid vegetation.
- Using alternatives to concrete kerb and channel drainage, such as grassed swale drains.
- Encouraging surfaces and finishes that have an informal appearance, including gravel roads and accessways.

Moriac strategy

Encourage lot sizes that respect the town's rural character and enables provision of onsite waste water infrastructure.

Moriac policy guidelines

Consider as relevant:

- A minimum lot size of 0.4 hectares in the township.
- Minor variations to the minimum lot size of 0.4 hectares in the township where all waste water and septic tank effluent can be disposed of within the boundaries of the lot.

SURF COAST PLANNING SCHEME

15.01-4S

31/07/2018
VC148

Healthy neighbourhoods

Objective

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

Strategies

Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:

- Connected, safe, pleasant and attractive walking and cycling networks that enable and promote walking and cycling as a part of daily life.
- Streets with direct, safe and convenient access to destinations.
- Conveniently located public spaces for active recreation and leisure.
- Accessibly located public transport stops.
- Amenities and protection to support physical activity in all weather conditions.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)

SURF COAST PLANNING SCHEME

15.01-5S

09/10/2020
VC169

Neighbourhood character

Objective

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Strategies

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

- Pattern of local urban structure and subdivision.
- Underlying natural landscape character and significant vegetation.
- Neighbourhood character values and built form that reflect community identity.

SURF COAST PLANNING SCHEME

15.01-5L-01 Coastal towns preferred neighbourhood character

10/06/2021
C136surf

Policy application

This policy applies to the coastal settlements of Anglesea, Aireys Inlet to Eastern View and Lorne.

General strategies

Encourage building design, form, materials, features and colours that respects the low density coastal character of each town.

Maintain and enhance the vegetated landscape and encourage its dominance over the built environment.

Encourage a reasonable sharing of views of scenic landscape features from private land.

Lorne strategies

Maintain the informal streetscape character through:

- Informal landscaping with an emphasis on indigenous vegetation and tall canopy trees.
- The general absence of solid fencing.
- Driveway surfaces and finishes that are informal in appearance, including gravel, dark coloured concrete and exposed aggregate.

Protect and enhance the tall gum tree canopy and its role in providing a backdrop and canopy cover to the town and a border to the water's edge around Louttit Bay.

Conserve and enhance the preferred character of recessive built form within a tall canopy treed setting.

Reinstate the preferred character of a tall canopy treed setting in areas that are substantially cleared of vegetation.

Encourage development that provides openness between properties.

Protect the views between the ocean and Mountjoy Parade for its contribution to the character of the town.

Anglesea strategies

Preserve and enhance the non-suburban coastal character of Anglesea and retain its sense of houses dispersed in a bush setting.

Design buildings to have small footprints to allow space around buildings for landscaping.

Screen buildings with vegetation to achieve a sense of privacy.

Discourage solid fencing and encourage the use of post and wire fences or no fences at all.

Design and site development on prominent sites at Four Kings Activity Centre and Diggers Parade Activity Centre (identified on the Anglesea framework plan in Clause 02.04) to respect the heritage value of adjoining traditional beach houses on the Great Ocean Road.

Aireys Inlet to Eastern View strategies

Encourage the protection of indigenous remnant understorey and tree canopy dominated by Ironbark, Messmate, Manna Gum, Moonah and Drooping Sheoak trees.

Encourage informal fencing on property boundaries.

Protect the ambience of the night sky from artificial illumination, such as from signs and tennis courts.

Protect the dominance and visual presence of the Split Point Lighthouse and associated buildings on Eagle Rock Bluff.

SURF COAST PLANNING SCHEME

Limit the scale and intensity of buildings around the Split Point Lighthouse so that development does not intrude on views to the lighthouse or compete with its visual presence.

Protect the scenic open landscape character of the Painkalac Valley by avoiding vegetation removal close to the creek and wetlands.

SURF COAST PLANNING SCHEME

15.01-5L-02 Torquay-Jan Juc preferred neighbourhood character

10/06/2021
C136surf

Policy application

This policy applies to an application to construct or extend one or more dwellings or subdivide land in a residential zone in Torquay and Jan Juc as shown on the Torquay-Jan Juc residential development framework plan to this clause.

Objective

To ensure development achieves architectural and urban design outcomes consistent with the preferred character of the residential areas of Torquay-Jan Juc.

All precincts strategies

Retain and enhance landscaping and trees as a major element in the appearance and character of Torquay-Jan Juc's residential environments.

Provide contemporary coastal architecture with a lightweight appearance, visually interesting well-articulated facades, simple detailing and roof forms, and a variety of lightweight materials and natural colours.

Provide visually recessive garages that are set back behind the building line or to the rear of dwellings so as not to dominate the streetscape or building façade.

Retain the openness of front gardens to the street by avoiding the use of front fences or by providing low or open style front fences, except in the General residential (standard density) precinct where all front fencing should be avoided.

Minimise adverse amenity impacts on adjoining properties by way of visual bulk.

Provide a landscape treatment that enhances the overall appearance of the development and the streetscape, including by siting development to maintain the predominant pattern of front setbacks in the street to allow for space to retain or plant canopy trees and shrubs.

Urban consolidation precinct strategy

Facilitate medium and higher density development that is respectful of the key elements of original building stock, including the low rise coastal character of the original fibro and weatherboard beach shacks, Californian bungalows and other Interwar and Postwar buildings.

Urban consolidation precinct policy guideline

Consider as relevant:

- A preference for development of up to 2 storeys (7.5 metres), with the option for 3 storeys where the development:
 - Has minimal amenity impacts on the streetscape and adjoining land uses (e.g. commercial, open space).
 - Is site responsive.
 - Achieves housing diversity by supplying smaller dwellings with one or two bedrooms.

General residential (mixed density) precinct strategies

Maintain the existing garden character formed by single and double storey detached houses in a garden setting.

Support infill development at a height that respects the scale of the surrounding area.

Provide setbacks to both side boundaries to maintain a sense of spaciousness around dwellings.

Respect older building styles and scales without replicating them.

SURF COAST PLANNING SCHEME

General residential (mixed density) precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

General residential (standard density) precinct strategies

Maintain the existing character typified by dwellings predominantly of single and double storey scale.

Support contemporary dwellings within landscaped gardens.

Retain and enhance existing vegetation, including canopy trees, with a mixture of traditional coastal and indigenous species to strengthen the visual connection of the area with the coast.

Maintain consistent setbacks from the front and side boundaries.

Use articulation, including a variety of materials and finishes to provide visual interest.

General residential (standard density) precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

Bush residential precinct strategies

Provide space around dwellings to retain and plant vegetation, in particular indigenous canopy trees and large shrubs.

Encourage landscaping to achieve bushy front gardens.

Support development of a low-scale and modest form.

Where the topography is hilly, design buildings to follow the contours of the land.

Site buildings, including those taking advantage of ocean views, so that they do not dominate the streetscape.

Bush residential precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

Residential growth precinct strategies

Establish a landscaped and built form character that reflects Torquay-Jan Juc's preferred coastal character and integrates with surrounding areas.

Encourage the planting of indigenous and other coastal vegetation around dwellings.

Plant street trees to unify the appearance of the area and add a sense of spaciousness and leafiness in greenfield subdivisions.

Residential growth precinct policy guideline

Consider as relevant:

- A preference for development of up to 2 storeys (7.5 metres) with the option of 3 storey development where it is in or close to activity centres and public open space.

Low density residential precinct strategy

Maintain the existing low density, single dwelling character.

Low density residential precinct policy guideline

Consider as relevant:

SURF COAST PLANNING SCHEME

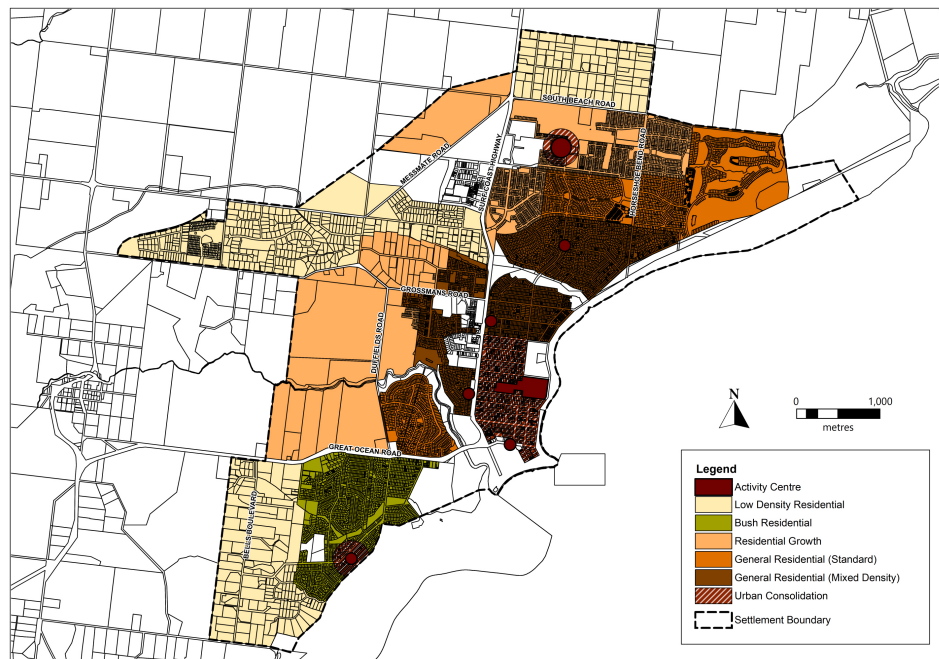
- A maximum development height of 2 storeys (7.5 metres).

Policy documents

Consider as relevant:

- *Sustainable Futures Plan Torquay-Jan Juc 2040* (Surf Coast Shire, 2014)
- *Torquay-Jan Juc Neighbourhood Character Study Review* (Surf Coast Shire, 2012)
- *Torquay-Jan Juc Neighbourhood Character Study & Vegetation Assessment* (Surf Coast Shire, 2006)

Torquay-Jan Juc residential development framework plan



SURF COAST PLANNING SCHEME

15.01-6S

31/07/2018
VC148

Design for rural areas

Objective

To ensure development respects valued areas of rural character.

Strategies

Ensure that the siting, scale and appearance of development protects and enhances rural character.

Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.

Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

SURF COAST PLANNING SCHEME

15.01-6L

10/06/2021
C136surf

Design for rural areas

Objective

To protect and maintain open and uncluttered rural landscapes, including vistas from main road corridors.

Strategies

Encourage the siting and design of new buildings to:

- Nestle into the landscape.
- Be modest in scale.
- Complement existing farm structures.
- Avoid locating on hilltops and ridges.

Encourage indigenous revegetation around buildings, wetlands and along waterways to blend development with the surrounding landscape.

Encourage buildings on the site to adopt a clustered development pattern rather than being dispersed throughout the landscape.

Design and site buildings in the Barrabool Hills landscape precinct (as identified on the Landscape precincts plan in Clause 02.04) to foster the historic rural landscape qualities of the area.

Minimise the visual impact of timber plantations on tourist roads.

Policy guideline

Consider as relevant:

- A minimum 20 metre wide native vegetation landscape buffer from any timber production use along a Category 1 or Category 2 road or any other tourist road.

SURF COAST PLANNING SCHEME

17.04 **TOURISM**
31/07/2018
VC148

SURF COAST PLANNING SCHEME

17.04-1S

31/07/2018
VC148

Facilitating tourism

Objective

To encourage tourism development to maximise the economic, social and cultural benefits of developing the state as a competitive domestic and international tourist destination.

Strategies

Encourage the development of a range of well-designed and sited tourist facilities, including integrated resorts, accommodation, host farm, bed and breakfast and retail opportunities.

Seek to ensure that tourism facilities have access to suitable transport.

Promote tourism facilities that preserve, are compatible with and build on the assets and qualities of surrounding activities and attractions.

Create innovative tourism experiences.

Encourage investment that meets demand and supports growth in tourism.

Policy guidelines

Consider as relevant:

- Any applicable regional tourism development strategy.

Policy documents

Consider as relevant:

- *Tourism Investment Guidelines – Your Guide to Tourism Investment in Victoria* (Tourism Victoria, 2008)

SURF COAST PLANNING SCHEME

17.04-1L Facilitating tourism in Surf Coast

10/06/2021
C436surf Proposed C134surf



General strategies

Direct tourism use and development to land within settlement boundaries or in locations with easy access to existing infrastructure, except where it is located in the Cape Otway Road Australia (CORA) Sports, Tourism and Accommodation Development.

Discourage tourism use and development on land outside settlement boundaries that is subject to the Significant Landscape Overlay Schedule 1 or where the removal of indigenous vegetation cannot be avoided or minimised.

Discourage tourist development in the Benwerrin-Mt Sabine area, Bells Beach viewshed and Point Addis.

Encourage use and development that will increase visitor length of stay and increase visitor numbers in the off-peak period.

Encourage tourism uses and development to incorporate ecologically sustainable design.

Encourage low scale eco-tourism operations and ancillary uses.

Limit the intensity and scale of tourism facilities and activities so that they respond to their natural setting and avoid adverse visual impact on the natural environment and rural landscape, except where they are located in the Cape Otway Road Australia (CORA) Sports, Tourism and Accommodation Development.

Design non-agricultural based tourism accommodation to complement the site's natural features and processes.

Facilitate the provision of infrastructure to support the tourism industry.

Encourage agriculture based tourism development in the rural hinterland to assist in the diversification of the rural economy.

Encourage tourism development in a non-urban zone to be:

- Located near existing townships.
- Sited and designed to avoid conflict with existing rural uses.

Limit non-agricultural based tourism development to nature and adventure based tourist activities that provide accommodation, except for key strategic tourist destinations such as the Cape Otway Road Australia (CORA) Sports, Tourism and Accommodation Development.

Limit non-agricultural based tourism development to the Lorne coastal hinterland or other selected rural areas.

Encourage provision of caravan parks as affordable visitor accommodation.

Coastal towns strategies

Encourage the establishment of sustainable tourism activities in the Lorne hinterland where:

- Bushfire risk will not be increased.
- Environmental assets identified through the *Surf Coast Shire Biodiversity Mapping Project 2014* (The Surf Coast Shire, 2014) will not be significantly impacted.

Encourage tourist accommodation in Lorne's Tourist Accommodation Precincts along Smith Street and at the eastern end of Point Grey, as indicated on the Lorne framework plan in Clause 02.04.

Promote opportunities for nature and adventure based tourism use and development in Anglesea and Aireys Inlet to Eastern View.

Retain the caravan parks and school camps in Anglesea as a provider of low cost visitor accommodation.

SURF COAST PLANNING SCHEME

Promote opportunities for tourist accommodation in Aireys Inlet to Eastern View that are sited and located to respond to its location and natural setting.

Rural towns strategies

Support the establishment of tourism based commercial development in Winchelsea that is associated with its historic buildings.

Encourage uses compatible with tourism in Winchelsea to locate in the commercial areas indicated on the Winchelsea commercial- centre framework plan in Clause 02.04 that are:

- ~~Between~~ Heritage and antique focused in Town centre east (between the Barwon River and Austin Street north of Willis Street).
- ~~In the Winchelsea Town Centre~~ Local produce sales and restaurant focused in the Riverside precinct.

Facilitate opportunities for Barwon Park to develop as a tourism and events hub for Winchelsea.

Facilitate low scale tourist accommodation and enterprises in Bellbrae that add to the scenic values and appeal of the area.

Encourage bed and breakfasts and other forms of tourist accommodation in the Deans Marsh township to cater for visitors seeking a retreat from urban areas.

SURF COAST PLANNING SCHEME

17.04-2S

03/02/2022
VC199

Coastal and maritime tourism and recreation

Objective

To encourage a diverse range of strategically located and well-designed coastal and maritime tourism and recreational opportunities that strengthen people's connection with the marine and coastal environment.

Strategies

Support safe and sustainable recreation and tourism development including ecotourism, tourism and major maritime events that:

- Responds to identified demand.
- Minimises impact on environmental and cultural values.
- Minimises impact on other users.
- Minimises direct and cumulative impacts.
- Maintains public safety.
- Responds to the carrying capacity of the site.
- Minimises exposure to coastal hazard risks and risks posed by climate change.

Ensure a diverse range of accommodation options and coastal experiences are provided for and maintained.

Ensure sites and facilities are accessible to all.

Ensure tourism development, within non-urban areas, demonstrates a tourist accommodation need and supports a nature-based approach.

Ensure development is of an appropriate scale, use and intensity relative to its location and minimises impacts on the surrounding natural, visual, environmental and coastal character.

Develop a network of maritime precincts around Port Phillip and Western Port that serve both local communities and visitors.

Maintain and expand boating and recreational infrastructure around the bays in maritime precincts at Frankston, Geelong, Hastings, Hobsons Bay, Mordialloc, Mornington, Patterson River, Portarlington, Queenscliff, St Kilda, Stony Point/Cowes and Wyndham.

Support a sustainable network of facilities for recreational boating and water-based activities that respond to:

- Identified demand.
- Use and safety considerations.
- The carrying capacity of the location.
- Coastal processes.
- Environmental values.

Strategically plan and operate ports to complement each other in the context of the broader economy, transport networks and the maritime and coastal environments within which they are regulated.

Provide public access to recreational facilities and activities on land and water.

Policy guidelines

Consider as relevant:

- *Coastal Spaces Landscape Assessment Study* (Department of Sustainability and Environment, 2006)
- *Gippsland Boating Coastal Action Plan 2013 - Gippsland Coastal Board*

SURF COAST PLANNING SCHEME

- *Recreational Boating Facilities Framework July 2014 - Central Coastal Board*
- *Western Boating Coastal Action Plan 2010 - Western Coastal Board*

Policy documents

Consider as relevant:

- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Siting and Design Guidelines on the Victorian Coast* (Department of Environment, Land, Water and Planning, 2020)
- *Victorian Coastal Strategy* (Victorian Coastal Council, 2014)

SURF COAST PLANNING SCHEME

17.04-2L Coastal tourism and recreation

10/06/2021
C136surf

Strategy

Encourage coastal dependent recreational and tourism activities that complement and promote the coast's natural and cultural values.

SURF COAST PLANNING SCHEME

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Proposed C134surf

SCHEDULE 27 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO27**.

WINCHELSEA TOWN CENTRE

1.0 Design objectives

--/---
Proposed C134surf

- To encourage development that enhances the historic small town country character of Winchelsea.
- To encourage development that complements and maintains the visual prominence of heritage places.
- To create a commercial space that has the layout of a traditional shopping strip.
- To encourage built form and subdivision design that enhances the public realm.
- To encourage built form that prioritises pedestrian amenity and creates a vibrant and walkable town centre.

2.0 Buildings and works

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Proposed C134surf

A permit is not required to:

- Install an automated teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.

A permit is required to construct a fence on a boundary with street frontage (laneways exempted).

REQUIREMENTS

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

BUILDING HEIGHT AND SETBACKS

The height and setback of buildings should meet the requirements listed in Table 1.

Table 1: Preferred building heights and setbacks

Preferred maximum building height	2 storeys (no more than 9 metres)
Preferred maximum street wall height	Single storey (no more than 5 metres)
Preferred street wall front setback	0 metres
Preferred street wall side setback	0 metres
Preferred upper level front setback	2 metres

Service equipment/structures may exceed the preferred height provided that the equipment or structure (other than solar panels) occupies less than 50 per cent of the roof area.

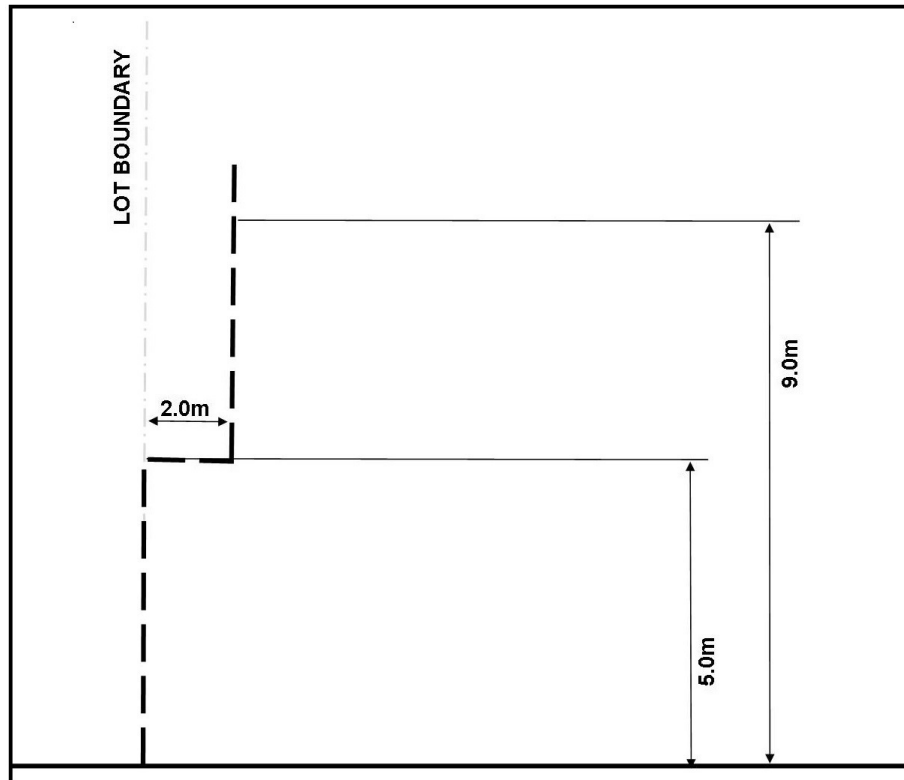
The preferred street wall setbacks may be varied where:

- The variation is required to provide an outdoor dining area, retail display or other commercial space associated with a use on the same site: and

SURF COAST PLANNING SCHEME

- The outdoor space contains at least one tree and is not able to be used for carparking. Balconies may intrude into the preferred upper level front setback.

FIGURE 1: UPPER LEVEL STREET WALL SETBACK REQUIREMENTS



BUILDING AND ROOF DESIGN

Upper level development should be designed to:

- Be visually subordinate to heritage buildings when viewed from the public realm.
- Complement the preferred low scale country village character.
- Be visually recessive, having regard to height, massing, finishes and colours.

Development should provide for a varied skyline that includes a mix of pitched roofs and parapets.

MATERIALS AND COLOURS

Development should:

- Use external materials that reflect the heritage character of Winchelsea such as weatherboard, bluestone, render or metal.
- Use heritage colours where painted finishes are proposed that feature contrasting colours in details such as doors, verandahs and window frames.

STREETSCAPE PRESENTATION

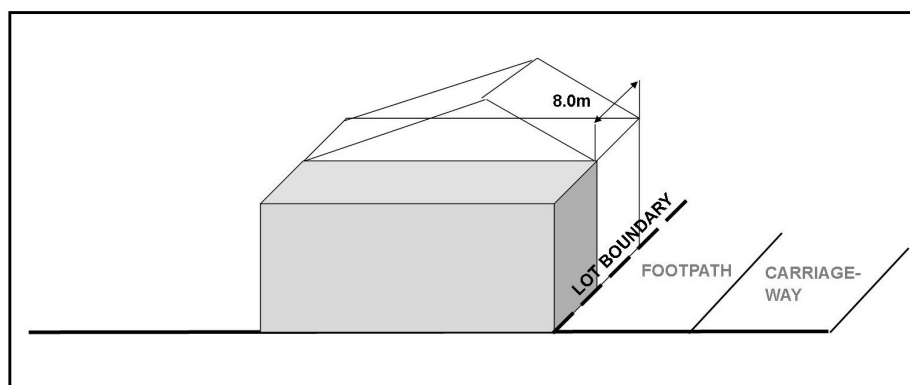
Development should:

- Be designed to include continuous verandas over the street with planting pits provided at the base of veranda posts to enable the planting of vines.

SURF COAST PLANNING SCHEME

- Include at least one canopy tree where outdoor spaces (including outdoor dining areas, retail display or other commercial activities) are proposed.
- Ensure windows and entry doors are orientated towards the street.
- Avoid large unvaried blank walls on a street frontage (laneways accepted).
- Ensure the principal pedestrian entry point is visible from the street.
- Provide an interesting, safe and active streetscape for those walking along the adjoining footpath.
- Provide for a varied and interesting streetscape by breaking up the massing of built form through a variation of colour, roof design, facade detailing and building height at an optimum width of 8 metres.

FIGURE 2: PREFERRED BUILDING VARIATION REQUIREMENTS



VEHICULAR ACCESS, CAR PARKING AND LOADING AREAS

New vehicle crossovers should be avoided except where providing access onto a laneway.

3.0

Proposed C134surf

Subdivision

A permit to subdivide land must meet the following requirements:

Lots created by subdivision:

- Must be capable of containing an existing building, or supporting a new building, that will meet the built form objectives and requirements of this overlay schedule.
- Should be capable of meeting the vehicular access and parking requirements contained within this overlay schedule.

4.0

Proposed C134surf

Signs

Sign requirements are at Clause 52.05. All land located within the Winchelsea town centre is in Category 3.

5.0

Proposed C134surf

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A neighbourhood and site description and design response which demonstrates how the proposal achieves the design objectives and requirements of this schedule.

SURF COAST PLANNING SCHEME

6.0

Decision guidelines

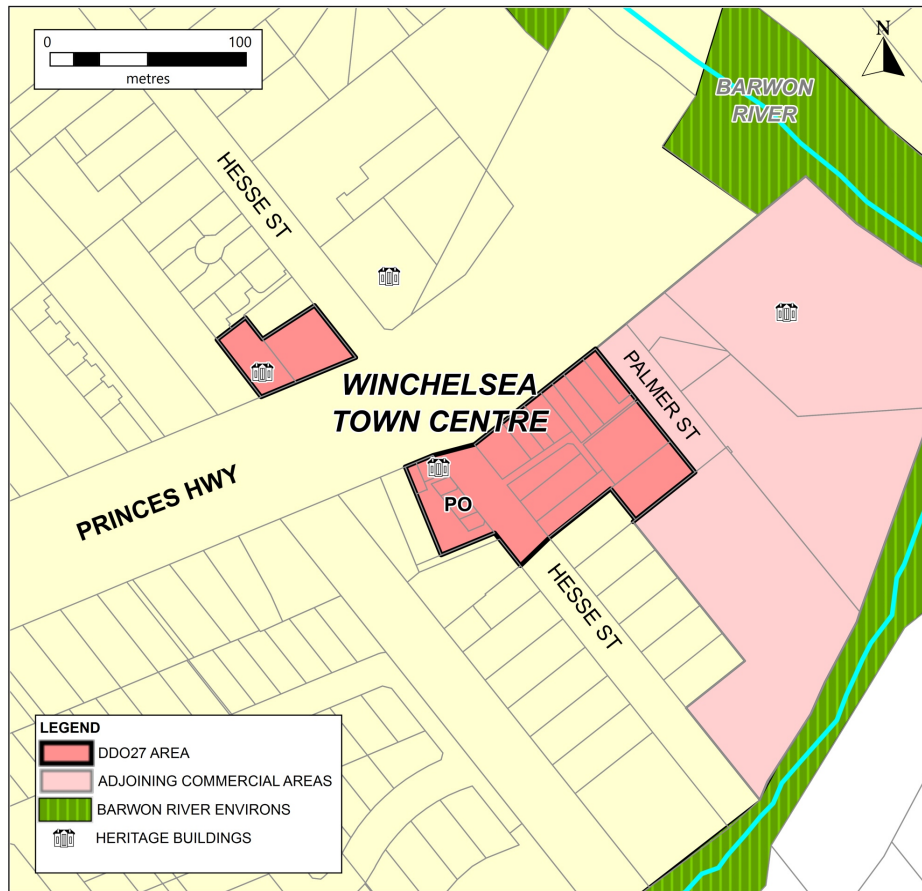
Proposed C134surf

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the requirements in Clause 2.0 and Clause 3.0 of this schedule are met.
- The profile and impact of development along the main street when viewed from the Princes Highway.
- The design of the streetscape interface along the primary street frontage.
- Whether development achieves a fine grain, traditional shop front character.
- Whether heritage buildings retain their dominance when viewed from the public realm.
- Whether upper level development is visually recessive and does not dominate or visually overwhelm the streetscape.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to and the setting of:
 - The Shire hall.
 - The Colonial bank.
 - The former Post office.

SURF COAST PLANNING SCHEME

MAP 1 WINCHELSEA TOWN CENTRE CONTEXT PLAN



SURF COAST PLANNING SCHEME

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Proposed C134surf

SCHEDULE 28 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO28**.

WILLIS STREET SHOPPING AREA

1.0 Design objectives

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Proposed C134surf

- To encourage development that enhances the historic small town country character of Winchelsea.
- To encourage development that complements and maintains the visual prominence of heritage places.
- To encourage development that provides a transition between town centre east and the river environs.
- To encourage built form and subdivision design that enhances the public realm and the Barwon River environs.
- To encourage built form that prioritises pedestrian amenity and creates a vibrant and walkable town centre.

2.0 Buildings and works

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Proposed C134surf

A permit is not required to:

- Install an automated teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.

A permit is required to construct a fence on a boundary with street frontage (laneways accepted).

REQUIREMENTS

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

BUILDING HEIGHT AND SETBACKS

The height and setback of buildings should meet the requirements listed in Table 1.

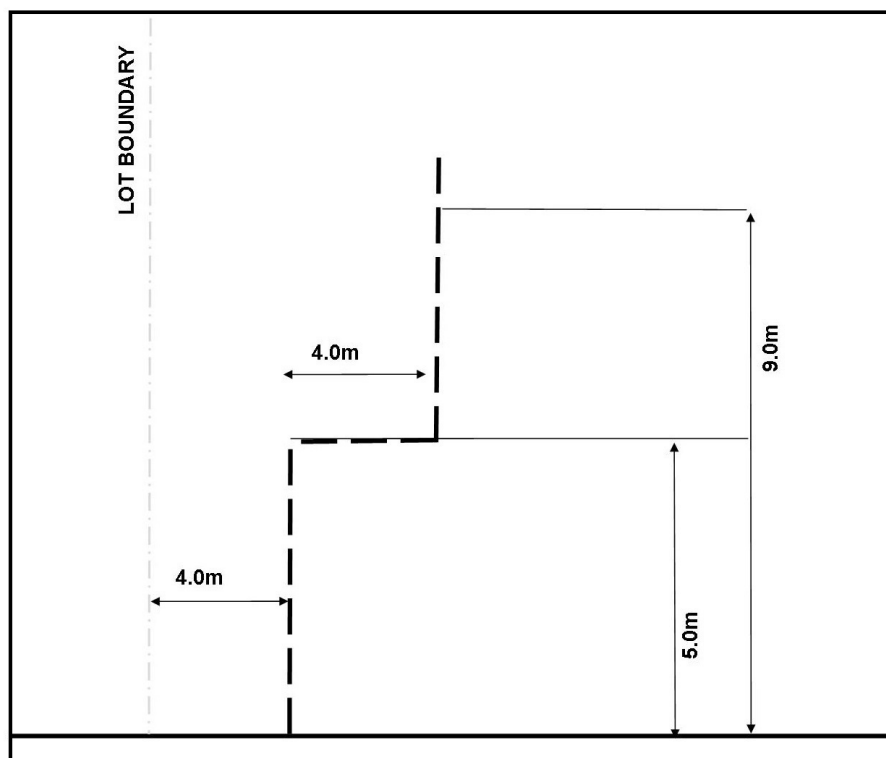
Table 1: Preferred building heights and setbacks

Design element	Design requirement
Preferred maximum building height	2 storeys (no more than 9 metres)
Preferred maximum street wall height	Single storey (no more than 5 metres)
Preferred minimum street wall front setback	4 metres
Preferred minimum street wall side setback	2 metres
Preferred upper level front setback	4 metres

Service equipment/structures may exceed the preferred maximum building height provided that the equipment or structure (other than solar panels) occupies less than 50 per cent of the roof area. Balconies may intrude into the preferred upper level front setback.

SURF COAST PLANNING SCHEME

FIGURE 1: UPPER LEVEL STREET WALL SETBACK REQUIREMENTS



BUILDING AND ROOF DESIGN

Upper level development should be designed to:

- Be visually subordinate to heritage buildings when viewed from the public realm.
- Complement the Barwon River environs and the preferred low scale country village character.
- Be visually recessive, having regard to height, massing, finishes and colours.

Development should provide for a varied skyline that includes a mix of pitched roofs and parapets.

MATERIALS AND COLOURS

Development should:

- Use external materials that reflect the heritage character of Winchelsea such as weatherboard, bluestone, render or metal.
- Use heritage colours where painted finishes are proposed that feature contrasting colours in details such as doors, verandahs and window frames.

STREETSCAPE PRESENTATION

Development should:

- Provide an active and attractive interface with the public realm through landscaping and/or alfresco seating.
- Ensure fences abutting a street frontage encourage interaction with the public realm and are not more than 1 metre in height.
- Include at least one canopy tree where outdoor spaces (including outdoor dining areas, retail display or other commercial activities) are proposed.

SURF COAST PLANNING SCHEME

- Ensure windows and entry doors are orientated towards the street.
- Avoid large unvaried blank walls on a street frontage (laneways accepted).
- Ensure the principal pedestrian entry point is visible from the street and/or the Barwon River.
- Provide an interesting, safe and active streetscape for those walking along the adjoining footpath.
- Provide for a varied and interesting streetscape by breaking up the massing of built form through a variation of colour, roof design, facade detailing and building height at an optimum width of 10 metres.

FIGURE 2: PREFERRED STREETSCAPE PRESENTATION

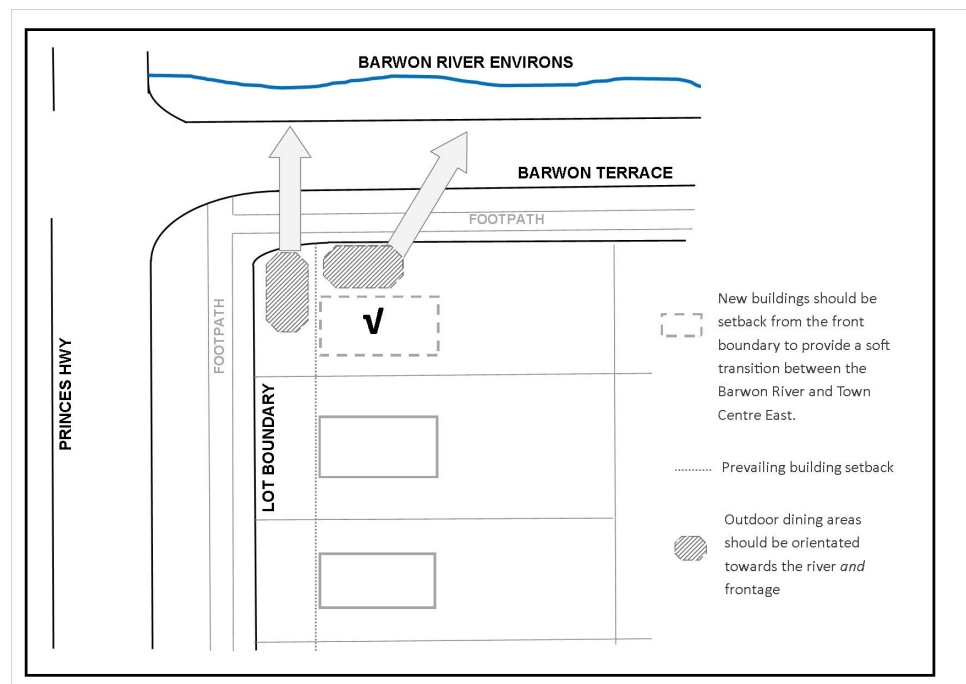
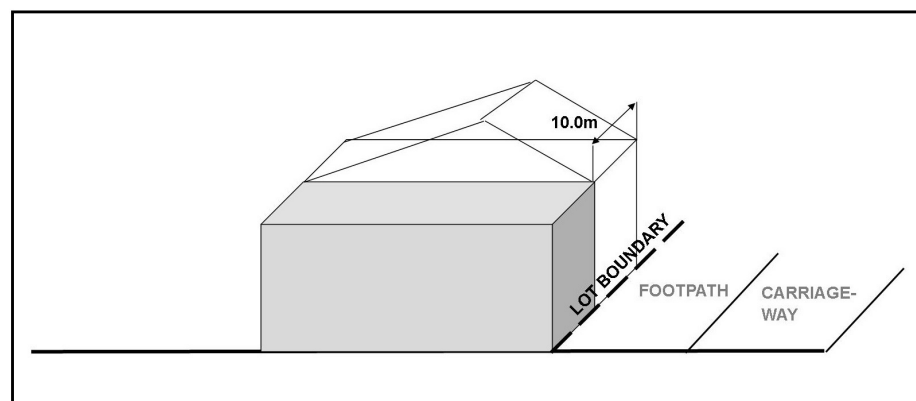


FIGURE 3: PREFERRED BUILDING VARIATION REQUIREMENTS



SURF COAST PLANNING SCHEME

VEHICULAR ACCESS, CAR PARKING AND LOADING AREAS

Vehicle car parking should be located to the rear of the site, away from the public realm.

3.0 Subdivision

Proposed C134surf

A permit to subdivide land must meet the following requirements:

Lots created by subdivision:

- Must be capable of containing an existing building, or supporting a new building, that will meet the built form objectives and requirements of this overlay schedule.
- Should be capable of meeting the vehicular access and parking requirements contained within this overlay schedule.

4.0 Signs

Proposed C134surf

Sign requirements are at Clause 52.05. All land located within the Willis street area is in Category 3.

5.0 Application requirements

Proposed C134surf

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A neighbourhood and site description and design response which demonstrates how the proposal achieves the design objectives and requirements of this schedule.

6.0 Decision guidelines

Proposed C134surf

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the requirements in Clause 2.0 and Clause 3.0 of this schedule are met.
- The profile and impact of development when viewed from the Princes Highway and Barwon River environs.
- The design of the streetscape interface along the primary and river street frontage.
- Whether heritage buildings retain their dominance when viewed from the public realm.
- Whether upper level development is visually recessive and does not dominate or visually overwhelm the streetscape.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to and the setting of:
 - The Barwon River
 - The Former Winchelsea Public Library
 - The Globe Theatre

SURF COAST PLANNING SCHEME

MAP 1 WILLIS STREET CONTEXT PLAN



SURF COAST PLANNING SCHEME

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Proposed C134surf

SCHEDULE 29 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO29**.

WINCHELSEA TOWN CENTRE EAST

1.0 Design objectives

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Proposed C134surf

To encourage development that enhances the historic small town country character of Winchelsea.

To encourage development that complements and maintains the visual prominence of heritage places.

To encourage development that creates continuity and extends the shopping strip experience east and west of the Barwon River .

To encourage built form and subdivision design that enhances the public realm and the Barwon River environs.

To encourage built form that prioritises pedestrian amenity and creates a vibrant and walkable town centre.

2.0 Buildings and works

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Proposed C134surf

A permit is not required to:

- Install an automated teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.

A permit is required to construct a fence on a boundary with street frontage (laneways accepted).

REQUIREMENTS

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

BUILDING HEIGHT AND SETBACKS

The height and setback of buildings should meet the requirements listed in Table 1.

Table 1: Preferred building heights and setbacks

Design element	Design requirement
Preferred maximum building height	2 storeys (no more than 9 metres)
Preferred maximum street wall height	Single storey (no more than 5 metres)
Preferred street wall front setback	0 metres
Preferred street wall side setback	0 metres
Preferred upper level front setback	4 metres

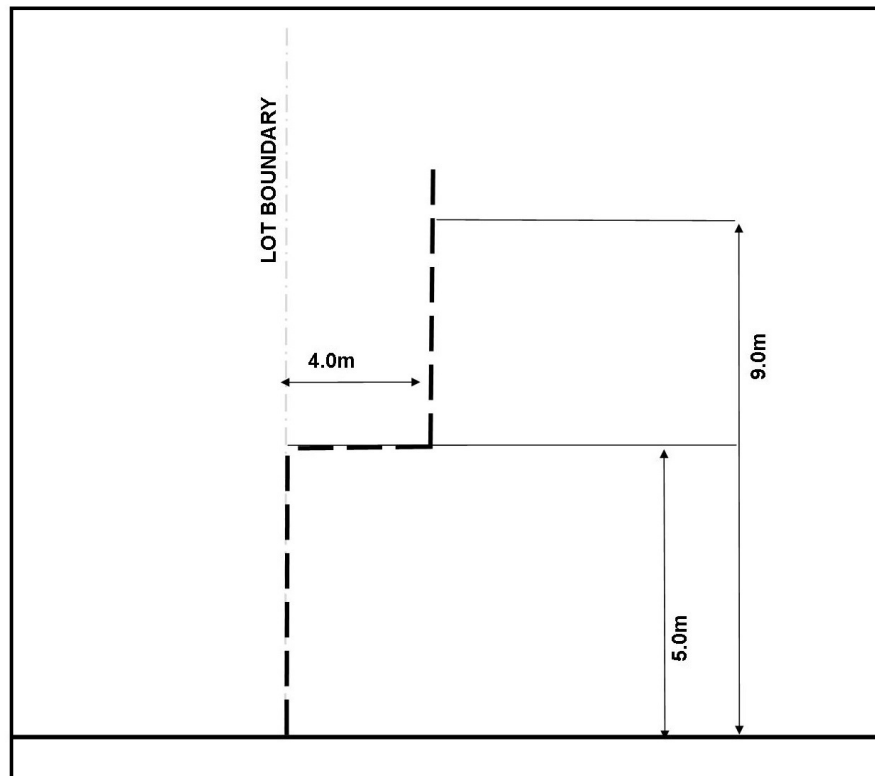
Service equipment/structures may exceed the preferred maximum building height provided that the equipment or structure (other than solar panels) occupies less than 50 per cent of the roof area.

The preferred street wall setbacks may be varied where:

SURF COAST PLANNING SCHEME

- The variation is required to provide an outdoor dining area, retail display or other commercial space associated with a use on the same site; and
 - The outdoor space contains at least one tree and is not able to be used for carparking.
- Balconies may intrude into the preferred upper level front setback.

FIGURE 1: UPPER LEVEL STREET WALL SETBACK REQUIREMENTS



BUILDING AND ROOF DESIGN

Upper level development should be designed to:

- Be visually subordinate to heritage buildings when viewed from the public realm.
- Complement the preferred low scale country village character.
- Be visually recessive, having regard to height, massing, finishes and colours.

Development should provide for a varied skyline that includes a mix of pitched roofs and parapets.

MATERIALS AND COLOURS

Development should:

- Use external materials that reflect the heritage character of Winchelsea such as weatherboard, bluestone, render or metal.
- Use heritage colours where painted finishes are proposed that feature contrasting colours in details such as doors, verandahs and window frames.

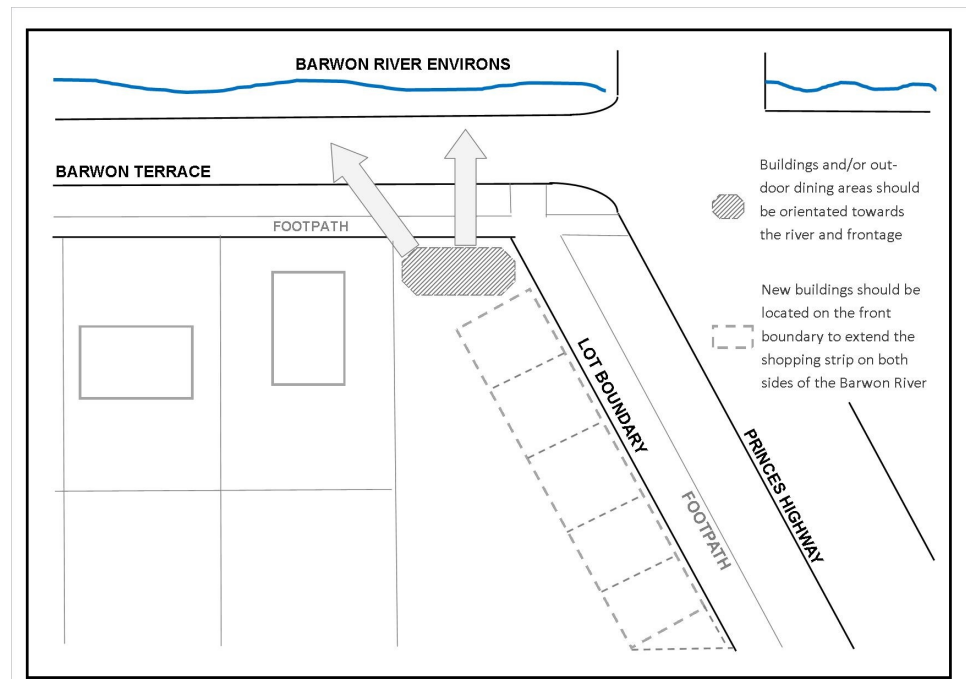
STREETScape PRESENTATION

Development should:

SURF COAST PLANNING SCHEME

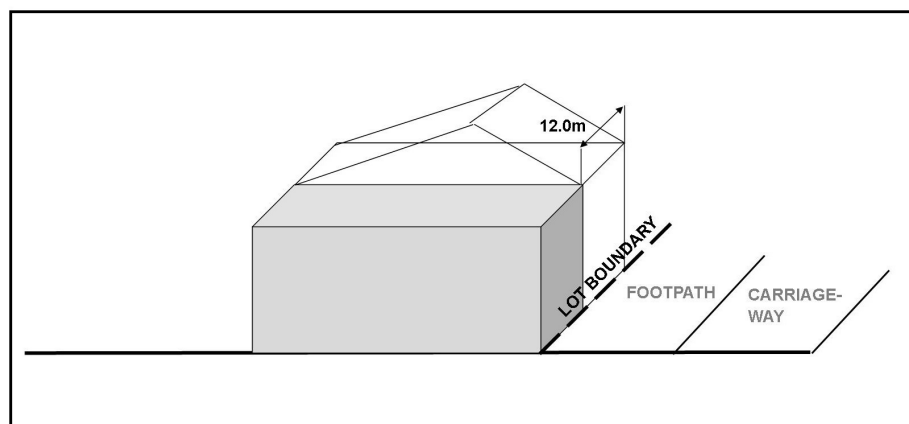
- Be designed to include continuous verandas over the street with planting pits provided at the base of veranda posts to enable the planting of vines.
- Include at least one canopy tree where outdoor spaces (including outdoor dining areas, retail display or other commercial activities) are proposed.
- Ensure windows and entry doors are orientated towards the street.
- Avoid large unvaried blank walls on a street frontage (laneways accepted).
- Ensure the principal pedestrian entry point is visible from the street and/or the Barwon River.
- Ensure fences abutting a street encourage interaction with the public realm and are not more than 1m in height.
- Provide an interesting, safe and active streetscape for those walking along the adjoining footpath, through built form or landscaping and alfresco seating.
- Provide for a varied and interesting streetscape by breaking up the massing of built form through a variation of colour, roof design, facade detailing and building height at an optimum width of 12m.

FIGURE 2: PREFERRED STREETSCAPE PRESENTATION



SURF COAST PLANNING SCHEME

FIGURE 3: PREFERRED BUILDING VARIATION REQUIREMENTS



VEHICULAR ACCESS, CAR PARKING AND LOADING AREAS

New vehicle crossovers should be avoided except where providing access onto a laneway.

3.0

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Proposed C134surf

Subdivision

A permit to subdivide land must meet the following requirements:

Lots created by subdivision;

- Must be capable of containing an existing building, or supporting a new building, that will meet the built form objectives and requirements of this overlay schedule.
- Should be capable of meeting the vehicular access and parking requirements contained within this overlay schedule.

4.0

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Proposed C134surf

Signs

Sign requirements are at Clause 52.05. All land located within the Winchelsea Town Centre East is in Category 3.

5.0

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Proposed C134surf

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A neighbourhood and site description and design response which demonstrates how the proposal achieves the design objectives and requirements of this schedule.

6.0

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Proposed C134surf

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the requirements in Clause 2.0 and Clause 3.0 of this schedule are met.
- The profile and impact of development when viewed from the Princes Highway and Barwon River environs.
- The design of the streetscape interface along the primary and river street frontage, as appropriate.

SURF COAST PLANNING SCHEME

- Whether heritage buildings retain their dominance when viewed from the public realm.
- Whether upper level development is visually recessive and does not dominate or visually overwhelm the streetscape.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to and the setting of:
 - The Globe Theatre.
 - St. Thomas Anglican church.
 - The former Winchelsea public library.
 - The Winchelsea Hotel.
 - Murrell's Store.
 - Shinners cafe and dwelling.
 - Former Timon Schroeter's store.

MAP 1 WINCHELSEA TOWN CENTRE EAST CONTEXT PLAN



SURF COAST PLANNING SCHEME

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Proposed C134surf

SCHEDULE 30 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO30**.

WINCHELSEA TOWN CENTRE RIVERSIDE

1.0 Design objectives

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Proposed C134surf

To encourage development that enhances the historic small town country character of Winchelsea.
To encourage development that complements and maintains the visual prominence of heritage places.

To create a commercial and community hub that fronts onto the Barwon River environs.

To encourage built form and subdivision design that enhances the public realm, particularly the interface with the Barwon River.

To encourage built form that prioritises pedestrian amenity and creates a vibrant and walkable town centre.

2.0 Buildings and works

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Proposed C134surf

A permit is not required to:

- Install an automated teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground level is maintained as an entry or window with clear glazing.

A permit is required to construct a fence on a boundary with street frontage (laneways accepted).

REQUIREMENTS

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

BUILDING HEIGHT AND SETBACKS

The height and setback of buildings should meet the requirements listed in Table 1.

Table 1: Preferred building heights and setbacks

Design element	Design requirement
Preferred maximum building height	2 storeys (no more than 9 metres)
Preferred maximum street wall height	Single storey (no more than 5 metres)
Preferred street wall front setback	0 - 4 metres
Preferred street wall side setback	0 - 2 metres

Service equipment/structures may exceed the preferred maximum building height provided that the equipment or structure (other than solar panels) occupies less than 50 per cent of the roof area.

The preferred street wall setbacks may be varied where:

- The variation is required to provide an outdoor dining area, retail display or other commercial space associated with a use on the same site;
- The outdoor space contains at least one tree and is not able to be used for carparking; and

SURF COAST PLANNING SCHEME

- The variation is required to provide a landscaped setting that engages with the Barwon River environs.

Balconies may intrude into the preferred upper level front setback.

BUILDING AND ROOF DESIGN

Upper level development should be designed to:

- Be visually subordinate to heritage buildings when viewed from the public realm.
- Complement the preferred low scale country village character.
- Be visually recessive, having regard to height, massing, finishes and colours.
- Be orientated towards the Barwon River environs to provide for active surveillance.

Development should provide for a varied skyline that includes a mix of pitched roofs and parapets.

MATERIALS AND COLOURS

Development should:

- Use external materials that reflect the heritage character of Winchelsea such as weatherboard, bluestone, render or metal.
- Use heritage colours where painted finishes are proposed that feature contrasting colours in details such as doors, verandahs and window frames.

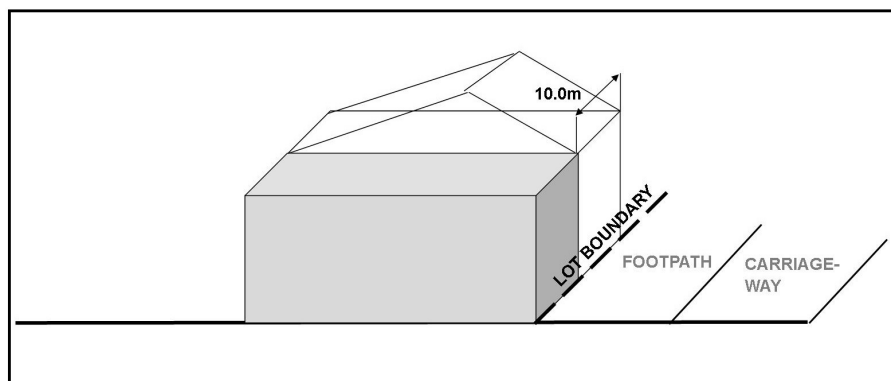
STREETSCAPE PRESENTATION

Development should:

- Include at least one canopy tree where outdoor spaces (including garden settings, outdoor dining areas, retail display or other commercial activities) are proposed.
- Ensure windows and entry doors are orientated towards the street and/or the street that overlooks the Barwon River.
- Avoid large unvaried blank walls on a street frontage (laneways accepted).
- Ensure the principal pedestrian entry point is visible from the street and/or the Barwon River street.
- Provide an interesting, safe and active streetscape for those walking along the adjoining footpath.
- Provide for a varied and interesting streetscape by breaking up the massing of built form through a variation of colour, roof design, facade detailing and building height at an optimum width of 10 metres.

SURF COAST PLANNING SCHEME

FIGURE 1: PREFERRED BUILDING VARIATION REQUIREMENTS



VEHICULAR ACCESS, CAR PARKING AND LOADING AREAS

New vehicle crossovers should be avoided except where providing access onto a laneway.

3.0

Proposed C134surf

Subdivision

A permit to subdivide land must meet the following requirements:

Lots created by subdivision;

- Must be capable of containing an existing building, or supporting a new building, that will meet the built form objectives and requirements of this overlay schedule.
- Should be capable of meeting the vehicular access and parking requirements contained within this overlay schedule.

4.0

Proposed C134surf

Signs

Sign requirements are at Clause 52.05. All land located within the Winchelsea Town Centre Riverside is in Category 3.

5.0

Proposed C134surf

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A neighbourhood and site description and design response which demonstrates how the proposal achieves the design objectives and requirements of this schedule.

6.0

Proposed C134surf

Decision guidelines

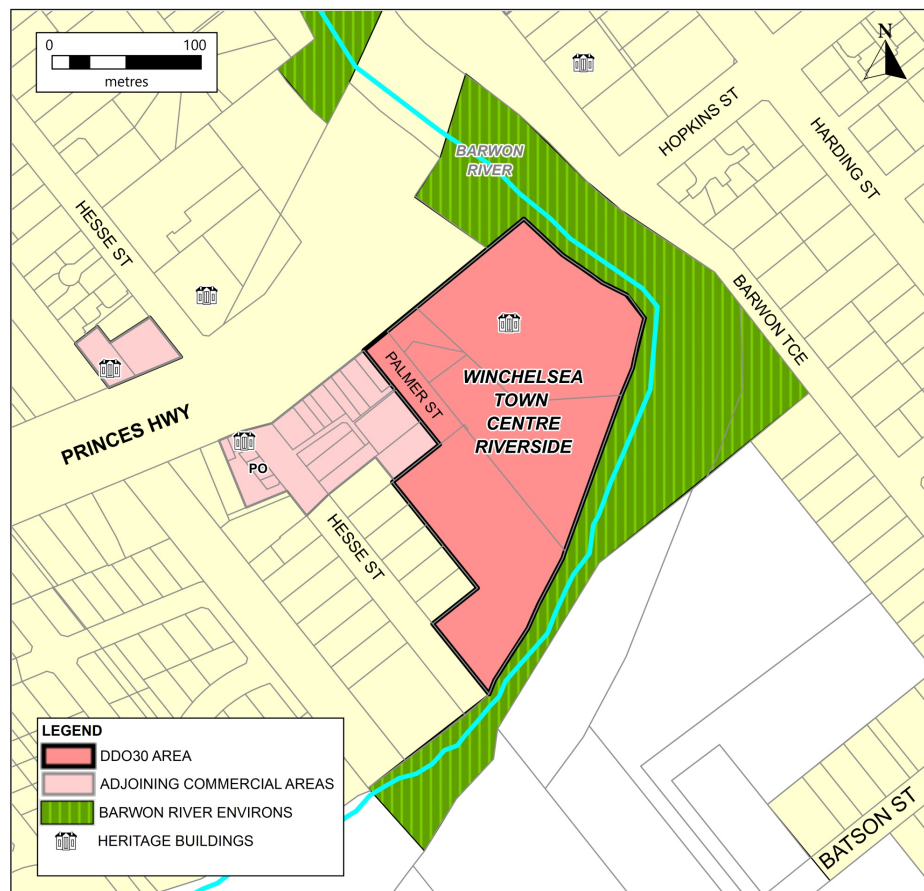
The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the requirements in Clause 2.0 and Clause 3.0 of this schedule are met.
- The profile and impact of development along the Main street when viewed from the Princes Highway.
- The design of the streetscape interface along the primary street frontage.
- Whether heritage buildings retain their dominance when viewed from the public realm.

SURF COAST PLANNING SCHEME

- Whether upper level development is visually recessive and does not dominate or visually overwhelm the streetscape.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.
- The impact of development on views to and the setting of:
 - The Barwon River
 - The Barwon Hotel

MAP 1 WINCHELSEA TOWN CENTRE RIVERSIDE CONTEXT PLAN



SURF COAST PLANNING SCHEME

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Proposed C134surf

SCHEDULE 31 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO31**.

PRINCES HIGHWAY AND WINCHELSEA TOWN ENTRY

1.0 Design objectives

---/---
Proposed C134surf

- To encourage development that enhances the historic small town country character of Winchelsea.
- To encourage development that complements and maintains the visual prominence of heritage places.
- To encourage the use of landscaping to create a visually appealing entry through the town.
- To encourage built form that prioritises pedestrian amenity.

2.0 Buildings and works

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Proposed C134surf

- A permit is not required to:
 - Construct or extend a dwelling.

REQUIREMENTS

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

BUILDING HEIGHT AND SETBACKS

The height and setback of buildings should meet the requirements listed in Table 1.

Table 1: Preferred building heights and setbacks

Design element	Design requirement
Preferred maximum building height	2 storeys (no more than 9 metres)
Preferred maximum street wall height	Single storey (no more than 5 metres)
Preferred street wall front setback	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.
Preferred minimum street wall side setback	2 metres
Preferred upper level front setback	4 metres

Service equipment/structures may exceed the preferred maximum building height provided that the equipment or structure (other than solar panels) occupies less than 50 per cent of the roof area.

Balconies may intrude into the preferred upper level front setback.

BUILDING AND ROOF DESIGN

Upper level development should be designed to:

- Be visually subordinate to heritage buildings when viewed from the public realm.
- Ensure trees continue to be the main feature on the skyline when viewed from the Princes Highway.
- Complement the preferred low scale country village character.

Development should provide for a varied skyline that includes a mix of pitched roofs and parapets.

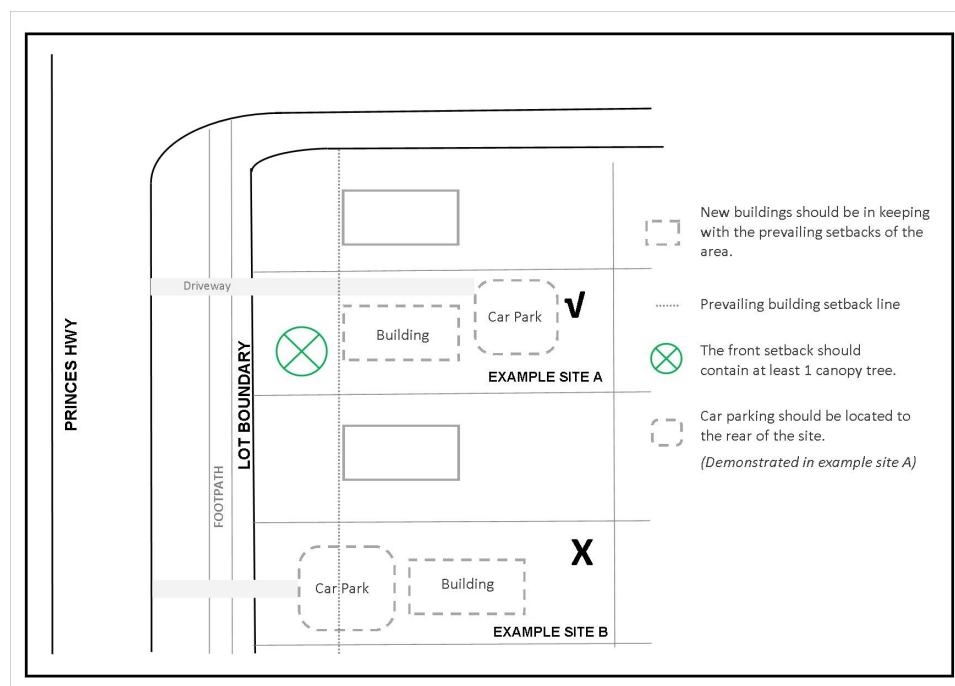
SURF COAST PLANNING SCHEME

STREETSCAPE PRESENTATION

Development should:

- Include at least one canopy tree within the front setback.
- Ensure windows and entry doors are orientated towards the street.
- Avoid large unvaried blank walls on a street frontage (laneways accepted).
- Ensure the principal pedestrian entry point is visible from the street.
- Avoid carparking within the front setback.

FIGURE 1: PREFERRED STREETSCAPE PRESENTATION



VEHICULAR ACCESS, CAR PARKING AND LOADING AREAS

Carparking should be located to the rear of the site, accessed via a laneway or along the side boundary of the property.

3.0

Proposed C134surf

Subdivision

A permit to subdivide land must meet the following requirements:

Lots created by subdivision:

- Must be capable of containing an existing building, or supporting a new building, that will meet the built form objectives and requirements of this overlay schedule.
- Should be capable of meeting the vehicular access and parking requirements contained within this overlay schedule.

4.0

Proposed C134surf

Signs

Sign requirements are at Clause 52.05. All land along the Princes Highway is in Category 4.

SURF COAST PLANNING SCHEME

5.0 Application requirements

Proposed C134surf

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A neighbourhood and site description and design response which demonstrates how the proposal achieves the design objectives and requirements of this schedule.

6.0 Decision guidelines

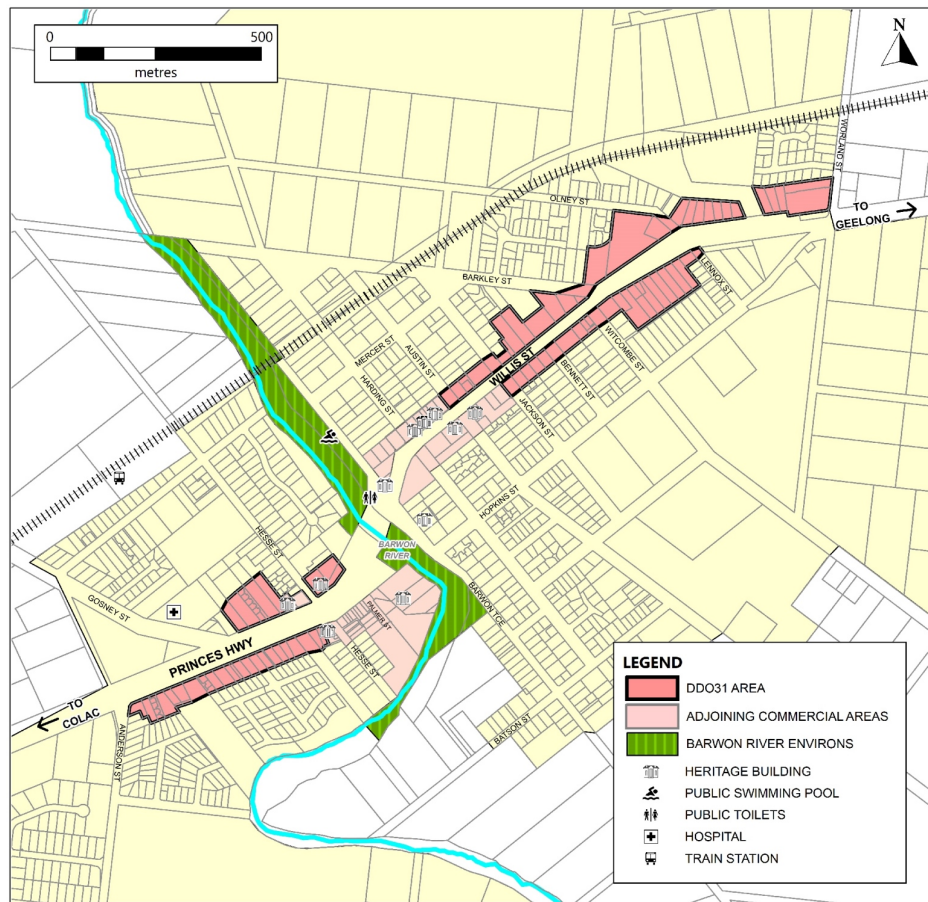
Proposed C134surf

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the requirements in Clause 2.0 and Clause 3.0 of this schedule are met.
- The profile and impact of development when viewed from the Princes Highway.
- The design of the streetscape interface along the primary street frontage.
- Whether heritage buildings retain their dominance when viewed from the public realm.
- Whether upper level development is visually recessive and does not dominate or visually overwhelm the streetscape.
- Whether a variation to the front setback will provide a more attractive interface with the streetscape, enhancing the town entry.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.

SURF COAST PLANNING SCHEME

MAP 1 WINCHELSEA HIGHWAY AND TOWN ENTRY CONTEXT PLAN



SURF COAST PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

1.0 Background documents

10/06/2024
C436surf Proposed C134surf

Name of background document	Amendment number - clause reference
<i>Aireys Inlet to Eastern View Neighbourhood Character Study and Vegetation Assessment</i> (Surf Coast Shire, 2004)	C18
<i>Aireys Inlet to Eastern View Structure Plan</i> (Surf Coast Shire & AXOS Urban, 2015)	C110
<i>Anglesea Futures Land Use Framework</i> (Department of Environment, Land, Water and Planning, 2018)	C129surf
<i>Anglesea Great Ocean Road Study</i> (Planisphere, 2016)	C97
<i>Anglesea Neighbourhood Character Study</i> (Surf Coast Shire, 2003)	C16
<i>Anglesea Streetscape Project</i> (Mexted Rimmer Associates, Andrews Consulting & Huw Hulse, 1996)	C97
<i>Anglesea Structure Plan</i> (Surf Coast Shire, 2012)	C79
<i>Barrabool Uniting (formerly Presbyterian) Church & Manse: Heritage Assessment</i> (Dr David Rowe Authentic Heritage Services Pty Ltd, 2014)	C103
<i>Bellbrae Stormwater Master Plan: Proposed Re-Zoning West of School Road</i> (Surf Coast Shire, 2013)	C74
<i>Bellbrae Structure Plan</i> (Surf Coast Shire, 2010)	C74
<i>Biodiversity Mapping Project</i> (Surf Coast Shire, Department of Environment and Primary Industries & Corangamite Catchment Management Authority, 2014)	C96
<i>Comprehensive Strategy Plan for Torquay/Jan Juc</i> (Henshall Hansen Associates, 1996)	NPS1
<i>Deans Marsh Structure Plan</i> (Surf Coast Shire, 2008)	C67
<i>The Great Ocean Road Region Landscape Assessment Study</i> (Planisphere, 2003)	C68
<i>Growing Winchelsea – Shaping Future Growth</i> (Surf Coast Shire, 2015)	C120
<i>Improving Our Waterways: Victorian Waterway Management Strategy</i> (Department of Environment and Primary Industries, 2013)	C85
<i>Indigenous Planting Guide for Rural Areas within the Surf Coast Shire</i> (Surf Coast Shire, 2003)	C49
<i>Indigenous Planting Guide for Urban Coastal Areas within the Surf Coast Shire</i> (Surf Coast Shire, 2003)	C16
<i>Landscape Assessment Study North of the Princes Highway: Background Report</i> (Planisphere, 2007)	C68
<i>Landscaping Your Surf Coast Garden For Bushfire</i> (Surf Coast Shire, 2012)	C96
<i>Lorne Neighbourhood Character Study</i> (Surf Coast Shire, 2006)	C34

SURF COAST PLANNING SCHEME

Name of background document	Amendment number - clause reference
<i>Lorne Strategy Plan Review</i> (Environmental Resources Management Aust & Maunsell Australia, revised 2004)	C34
<i>Moriac Structure Plan</i> (Surf Coast Shire, 2010)	C80
<i>Open Space Strategy 2016 – 2025</i> (Ross Planning, 2015)	C96
<i>Pathways Strategy 2012 Review Part A: Process, Background Policies and Recommendations</i> (Surf Coast Shire, 2012)	C96
<i>Regional Bushfire Planning Assessment, Barwon South-West Region</i> (Department of Planning and Community Development, 2012)	C96
<i>Remnant Roadside Vegetation of the Surf Coast Shire</i> (Peter Moulton, Mark Trengove & Geoff Clark, 1997)	NPS1
<i>A Review of Domestic Wastewater Management in Bellbrae</i> (Van de Graaff and Associates, Geocode & LandSafe, 2010)	C74
<i>Rural Environment Study: Report on Environmental Resources</i> (Ecology Australia, 1996)	NPS1
<i>Salinity Management Overlay Project Cover Report</i> (EnPlan-DBA, Dalhaus Environmental Geology & Chris Harty and Environmental Management, 2006)	C38
<i>Spring Creek Catchment Plan</i> (Spring Creek Catchment Committee & EnPlan Australia Pty Ltd, 2003)	C74
<i>Spring Creek Urban Growth Framework Plan Working Paper 3 Landscape and Urban Form</i> (Hansen Partnership, 2008)	C74
<i>Surf Coast Housing Policy Project</i> (Planisphere, 2006)	C39
<i>Surf Coast Places of Cultural Significance Study: Report on Stage 1 Volume 1 – Methods and Results</i> (Context P/L & Dr Carlotta Kellaway, 1998)	C74
<i>Surf Coast Playground Strategy</i> (Surf Coast Shire, 2011)	C96
<i>Surf Coast Shire Gaming Policy Framework</i> (Coomes Consulting Group, 2008)	C72
<i>Surf Coast Shire Places of Cultural Significance Study: Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005)	C15
<i>Surf Coast Shire – Salinity Management Overlay: Salinity Occurrences and Mapping Background Report No 4</i> (Dahlhaus Environmental Geology Pty Ltd, 2006)	C38
<i>Surf Coast Shire Rural Land Use Strategy</i> (RG Ashby & Co, 1997)	NPS1
<i>Surf Coast Shire Rural Residential and Rural Living Strategy</i> (AGC Woodward-Clyde, 1997)	NPS1
<i>Surf Coast Shire Rural Strategy</i> (RCMG, 2007)	C68
<i>Surf Coast Shire Urban Tree and Vegetation Policy</i> (Surf Coast Shire, 2006)	C96
<i>Sustainable Futures Plan Torquay-Jan Juc 2040</i> (Surf Coast Shire, 2014)	C66

SURF COAST PLANNING SCHEME

Name of background document	Amendment number - clause reference
<i>Thompson Creek Catchment Plan</i> (Thompsons Creek Catchment Committee, 1998)	NPS1
<i>Torquay and Jan Juc Structure Plan</i> (Surf Coast Shire, 2007)	C37
<i>Torquay-Jan Juc Neighbourhood Character Study and Vegetation Assessment</i> (Surf Coast Shire, 2006)	C37
<i>Torquay-Jan Juc Neighbourhood Character Study Review</i> (Surf Coast Shire, 2012)	C66
<i>Torquay/Jan Juc Retail Strategy</i> (Tim Nott, 2011)	C66
<i>Torquay North Outline Development Plan</i> (Surf Coast Shire, 2012)	C66
<i>Torquay North-West Outline Development Plan</i> (The Planning Group & Essential Economics, 2002)	C6
<i>Torquay Town Centre Parking and Access Strategy 2011-16</i> (Surf Coast Shire, 2011)	C66
<i>Tree Species Selection Criteria for the 'Torquay North' Development Plan Area</i> (Surf Coast Shire, 2010)	C96
<i>Winchelsea Growth Area Outline Development Plan</i> (Surf Coast Shire, 2011)	C120
<i>Winchelsea Industrial Estate Master Plan</i> (Surf Coast Shire, 2010)	C120
<i>Winchelsea Townscape Study</i> (Mark McWha Pty Ltd, 1995)	NPS1
<i>Winchelsea Town Centre and Highway Design Guidelines</i> (Inclusive design, 2019)	C134

SURF COAST PLANNING SCHEME

10/06/2021
C136surf

SCHEDULE TO CLAUSE 74.01 APPLICATION OF ZONES, OVERLAYS AND PROVISIONS

1.0 Application of zones, overlays and provisions

10/06/2021
C136surf

Proposed C134surf

This planning scheme applies the following zones, overlays and provisions to implement the Municipal Planning Strategy and the objectives and strategies in Clauses 11 to 19:

- General Residential Zone, Low Density Residential Zone and Township Zone to facilitate residential opportunities in all towns.
- Urban Growth Zone to land west of Duffields Road, Torquay-Jan Juc.
- Commercial 1 Zone to activity centres in Torquay-Jan Juc, Anglesea, Aireys Inlet, Lorne and Winchelsea.
- Commercial 2 Zone to commercial land on the Princes Highway, Winchelsea.
- Industrial 1 Zone to the industrial estate in Winchelsea.
- Industrial 3 Zone to industrial estates in Torquay, Anglesea and Lorne.
- Special Use Zone (Schedule 1) to the Alcoa Lease Area.
- Special Use Zone (Schedule 2) to the Anglesea Vehicle Proving Ground
- Special Use Zone (Schedule 3) to residential lots in the Anglesea heathland.
- Special Use Zone (Schedule 4) to the Torquay community development precinct.
- Special Use Zone (Schedules 5 and 8) to tourism focus areas in Torquay and Anglesea.
- Special Use Zone (Schedule 6) to the refuse disposal area in Lorne.
- Special Use Zone (Schedule 7) to Anglesea Golf Course and Lorne Golf Club.
- Special Use Zone (Schedule 9) to Christian College Campus, Jan Juc.
- Comprehensive Development Zone (Schedule 2) to the Sands Torquay Estate.
- Comprehensive Development Zone (Schedule 3) to the Cape Otway Road Australia (CORA) Sports, Tourism and Accommodation Development at Modewarre.
- Farming Zone (Schedule 1) to specify minimum lot areas and building setbacks.
- Rural Living Zone to land in Gherang and Wensleydale.
- Rural Conservation Zone (Schedule) to specify conservation values and minimum subdivisional area.
- Public Use Zone to local government, health, waste, resource recovery, transport and education facilities.
- Public Park and Recreation Zone to areas of public recreation and open space.
- Public Conservation and Resource Zone to public land with conservation values.
- Road Zone (Schedules 1 and 2) to significant roads.
- Neighbourhood Character Overlay (Schedules 1, 2 and 3) to coastal towns from Anglesea to Lorne.
- Design and Development Overlay (Schedule 1) to new residential subdivisions in Torquay.
- Design and Development Overlay (Schedules 2 and 6) to Bell Street and the Torquay town centre.
- Design and Development Overlay (Schedule 4) to the commercial and tourist areas in Lorne.
- Design and Development Overlay (Schedule 5) to industrial land.

SURF COAST PLANNING SCHEME

- Design and Development Overlay (Schedule 7) to land adjacent to the Surf Coast Highway, Torquay.
- Design and Development Overlay (Schedule 8) to residential land surrounding Torquay Central.
- Design and Development Overlay (Schedule 9) to commercial land in Anglesea town centre.
- Design and Development Overlay (Schedules 10, 12 and 19) to coastal towns from Anglesea to Lorne.
- Design and Development Overlay (Schedule 11) to Low Density and Rural Conservation Zone land in coastal settlements from Aireys Inlet to Eastern View.
- Design and Development Overlay (Schedule 13) to Coastal Boulevards, Torquay-Jan Juc.
- Design and Development Overlay (Schedule 15) to Aireys Inlet commercial areas.
- Design and Development Overlay (Schedule 16) to the Municipal Precinct, Torquay.
- Design and Development Overlay (Schedule 17) to the Commercial 2 Zone, Winchelsea.
- Design and Development Overlay (Schedule 18) to the Deans Marsh township.
- Design and Development Overlay (Schedule 20) to Old Torquay South.
- Design and Development Overlay (Schedule 21) to Old Torquay North, Wombah Park and Church Estate, Torquay.
- Design and Development Overlay (Schedule 22) to Jan Juc.
- Design and Development Overlay (Schedule 23) to the activity centre in Torquay North.
- Design and Development Overlay (Schedule 24) to the Bellbrae township.
- Design and Development Overlay (Schedule 25) to tourism precincts at Four Kings and Diggers Parade, Anglesea.
- Design and Development Overlay (Schedule 26) to land at 85 Grossmans Road, Torquay.
- Design and Development Overlay (Schedule 27) to the Commercial 1 Zone, Winchelsea.
- Design and Development Overlay (Schedule 28) to the Commercial 1 Zone, Winchelsea.
- Design and Development Overlay (Schedule 29) to the Commercial 1 Zone, Winchelsea.
- Design and Development Overlay (Schedule 30) to the Commercial 1 Zone, Winchelsea.
- Design and Development Overlay (Schedule 31) to the General Residential Zone abutting the Princes Highway, Winchelsea
- Heritage Overlay to protect heritage buildings, places, trees and streetscapes.
- Significant Landscape Overlay (Schedule 1) to hinterland areas at Bells Beach, Point Addis, Anglesea, Big Hill and Lorne.
- Significant Landscape Overlay (Schedule 3 and 4) to Anglesea and Lorne.
- Significant Landscape Overlay (Schedule 5) to land adjacent to the Barwon River, Winchelsea.
- Significant Landscape Overlay (Schedule 6) to Old Torquay and Jan Juc.
- Significant Landscape Overlay (Schedule 7) to land north of Spring Creek, Bellbrae.
- Environmental Significance Overlay (Schedule 1) to waterways and wetlands.
- Environmental Significance Overlay (Schedule 2) to special water supply catchment areas.
- Environmental Significance Overlay (Schedules 4 and 5) to land in Torquay-Jan Juc, Anglesea, Aireys Inlet, Fairhaven, Moggs Creek and Lorne.
- Vegetation Protection Overlay (Schedule 1) to significant vegetation.
- Floodway Overlay and Land Subject to Inundation Overlay to flood prone land.

SURF COAST PLANNING SCHEME

- Salinity Management Overlay to areas of salinity.
- Bushfire Management Overlay to areas where there is potential for extreme bushfire behaviour.
- Bushfire Management Overlay (Schedule 1) to Aireys Inlet, Jan Juc, Lorne, Torquay BAL-12.5 areas.
- Bushfire Management Overlay (Schedule 2) to Aireys Inlet, Anglesea, Lorne BAL-29 areas.
- Parking Overlay (Schedules 1 - 3) to land on the Surf Coast Highway and central Torquay and to the Torquay North Activity Centre.
- Development Contributions Plan Overlay (Schedule 1 and 2) to land in Torquay-Jan Juc.
- Restructure Overlay (RO1, RO2, RO3) to poorly configured lots in Anglesea, Lorne and Deans Marsh townships.
- Development Plan Overlay (Schedule 3) to guide the development of the West Coast Business Park, Torquay.
- Development Plan Overlay (Schedules 4 - 6, 8 and 10 - 14) to guide development of residentially zoned land.
- Development Plan Overlay Schedule 7 to Torquay Town Centre between Payne and Pearl Streets.
- Development Plan Overlay (Schedule 9) to guide the development of land zoned Commercial 2 Zone in Winchelsea.
- Public Acquisition Overlay to land reserved for Category 1 roads and the Eastern Reserve extension in Winchelsea.
- Environmental Audit Overlay to potentially contaminated land in Winchelsea, Torquay and Lorne.
- Schedule to Clause 52.17 Native Vegetation to exempt the removal of native vegetation in specified locations and to identify scheduled weeds within the Shire.
- Schedule to Clause 52.28 Gaming to prohibit the installation or use of gaming machines in nominated areas within the Shire and to prohibit a gaming machine in a strip shopping centre in all strip shopping centres in the Shire.
- Schedule to Clause 52.32 Wind Energy Facility to specify the prohibition of a wind energy facility on all land within five kilometres of the high water mark of the coast.
- Schedule to Clause 52.33 Post Boxes and Dry Stone Walls to specify a permit requirement for dry stone walls on all land north west of the Barwon River.
- Schedule to Clause 53.01 Public Open Space Contribution and Subdivision to specify the contribution that must be made by a person who proposes to subdivide land.

SURF COAST PLANNING SCHEME

10/06/2021
C136surf

SCHEDULE TO CLAUSE 74.02 FURTHER STRATEGIC WORK

1.0 Further strategic work

10/06/2021
C136surf Proposed C134surf

Complete assessing the heritage significance of nominated heritage sites and undertake a further

- scoping study to determine any additional places of potential significance.
- Review:
 - The appropriateness of subdividing land in the Thompsons Creek catchment area to 40 hectares subject to meeting conditions specified in the Schedule to the Farming Zone.
 - Schedule 13 to the Design and Development Overlay Coastal Boulevards as it applies to land within Old Torquay in light of Old Torquay's role as an urban consolidation area to accommodate future growth.
- Investigate:
 - The potential to increase lot densities within the Bells Boulevard East Low Density Residential Area.
 - The potential for increasing housing densities in the Low Density Residential area between Strathmore Drive, Great Ocean Road, Bells Boulevard and the upper tributary of Jan Juc Creek.
 - The potential for low density residential development or sustainable tourist accommodation on sites identified as investigation areas in Lorne, considering bushfire risks, access and the need to protect significant biodiversity assets on the site.
 - The potential to develop land north of Coombes Road, west of Messmate Road up to the northern ridge line, for rural residential development subject to a supply and demand analysis.
 - The potential for urban growth to the north-east of Torquay to facilitate growth beyond 2030.
 - The potential for increased densities at the Collins Street Low Density Residential Estate, Winchelsea if initiated by landowners.
 - The need for and feasibility of expanding the town centre along Hesse Street (west side), Winchelsea.
 - The feasibility of developing an employment precinct north of the railway line in the Cressy Road area, Winchelsea.
 - The location of a possible school precinct in Winchelsea.
 - Zone/overlay responses for low density residential development in the investigation areas that are contiguous with the urban edge of Lorne.
- Establish the exact settlement boundary on the northern ridgeline of Torquay when specific development opportunities are investigated with the aim of avoiding any visual intrusion of development north of the ridgeline.
- Prepare:
 - ~~Updated urban design guidelines for the Princess Highway corridor and the Winchelsea Town Centre.~~
 - A precinct structure plan for the Winchelsea Town Centre (including all land in the Commercial 1 Zone east and west of the Barwon River and the intervening Crown Land).
 - A vegetation management plan to protect and enhance the avenue of oak trees along the Winchelsea/Deans Marsh Road.

SURF COAST PLANNING SCHEME

- A Winchelsea Development Contributions Plan for the provision of new community facilities and infrastructure.
- Design guidelines to guide future development of the Moriac Town Centre.
- Introduce planning controls to protect and enhance identified biodiversity sites and corridors in Moriac.

4.2 Amendment C140 - Correctional Amendment

Author's Title:	Principal Strategic Planner
General Manager:	Chris Pike, General Manager
Department:	Integrated Planning
Division:	Place Making and Environment
Attachments:	<ol style="list-style-type: none">1. C 140 Explanatory Report [4.2.1 - 11 pages]2. C 140 Instruction Sheet [4.2.2 - 2 pages]3. C 140 Planning Maps [4.2.3 - 49 pages]4. C 140 Ordinances [4.2.4 - 60 pages]5. C 140 Surf Coast Heritage Study Stage 2 B Statements of Significance updated 2021 [4.2.5 - 47 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

Council's Strategic Land Use Planning team routinely maintains a running list of planning scheme anomalies that identifies minor irregularities in the planning scheme like inaccurate mapping, zoning anomalies, spelling and numbering errors, and unclear wording. Annually or biennially, these are brought together to form a 'correctional amendment' (also sometimes referred to as an anomalies amendment). While many of the adjustments are minor, it remains important to do these regular amendments to ensure that the planning scheme continues to be an effective decision-making tool.

Amendment C140 is such an amendment, making a number of minor changes, including the rezoning of land identified for public open space and boundary corrections. In addition, the amendment proposes to expand the extent of the existing Heritage Overlay (HO) applied to the former Orchard Bakery and dwelling at 44 Main Street, Winchelsea, and to 'turn on' the provision in the HO schedule (for this site) that allows prohibited uses to be considered. The changes to 44 Main Street would encourage the continued use and maintenance of the heritage place and also, further enable consideration of the planning permit application made on behalf of Hesse Rural Health which seeks to run an op shop from the site.

Amendment C140 was publicly exhibited for a period of one month from 27 January 2022 to 28 February 2022. While five submissions were received, only three of these raised concerns or requested changes, and all concerns have since been resolved.

Consequently, there are no outstanding issues resulting from exhibition of the amendment, and Council can consider adoption of the amendment with the changes suggested by submitters.

Outcome Statement

It is important for Council to maintain an up to date, well-functioning planning scheme as required under the Planning and Environment Act 1987. Amendment C140 corrects errors and anomalies in the planning scheme which will improve its performance. During exhibition of the amendment five submissions were received, all of which have been resolved subject to minor changes to the amendment. The changes are considered acceptable.

Key benefits	Key risks
Correcting known inaccuracies in the scheme contributes to the maintenance of the Surf Coast Planning Scheme, ensuring that it continues to be an effective planning decision making tool.	There are no demonstrated risks associated with adopting the amendment which will reduce risk by correcting errors in the planning scheme.
<p>Extending the coverage of the Heritage Overlay at 44 Main Street, Winchelsea to encompass most of the rear yard is in keeping with the original recommendation, and better recognises the heritage values of former Orchard Bakery and dwelling.</p> <p>'Turning on' the provision in the Heritage Overlay Schedule to allow consideration of otherwise prohibited uses, will increase the potential for the heritage building at 44 Main Street to be used. The building is currently vacant: encouraging it to be used will help to ensure its ongoing maintenance and therefore, the longevity of the heritage place.</p>	
The combination of changes at 44 Main Street would enable further consideration of a planning permit application for the use and	

Key benefits	Key risks
development of the land for an op shop; a use that would otherwise be prohibited.	
Rezoning land reserved for future open space and correcting boundary issues (e.g. Winchelsea) will reduce the need for planning permits for any works on those sites and will better reflect the use of the land.	

Finance and Resource Implications

All submitter concerns have been resolved and the amendment C140 will not need to be referred to an independent planning panel. The budget allocation for the Correctional Amendment is therefore adequate to ensure that the planning scheme amendment may be followed through to its conclusion. The amendment does not propose to introduce new planning permit triggers and will not place an increased burden on council resources.

Community Engagement

Amendment C140 was publicly exhibited for a period of one month from 27 January 2022 to 28 February 2022. In addition to notices that were sent to Ministers and authorities, notices were sent to all landowners directly affected by the amendment, and to community groups that might have an interest in the amendment. Notice was also placed in the Government Gazette, and in the Winchelsea Star on 25 January 2022 and the Surf Coast Times newspaper on 27 January 2022. The amendment was made available for viewing on the Council website and the Department of Environment, Land, Water and Planning website.

The process provided an opportunity for the public and stakeholders to review and comment on the amendment. A total of five submissions were received and all submissions were formally acknowledged. Three of the submissions raised concerns: of these, two submissions requested changes to maps: one submission requested amended wording of one of the ordinances, and one submission requested minor changes to the Explanatory Report.

All of the requested changes are considered to be reasonable. The proposed changes have resolved the outstanding concerns and this was confirmed in writing by each of the three submitters. The submitter concerns and the proposed responses are set out in detail below in this report.

Recommendation

That Council:

1. Adopts Amendment C140, with changes, as shown in Appendices 1-5.
2. Forwards Amendment C140 to the Victorian Minister for Planning for approval in accordance with Section 31 of the Planning and Environment Act 1987.

Motion

Moved Cr Gazzard, Seconded Cr Pattison

That Council:

1. Adopts Amendment C140, with changes, as shown in Appendices 1-5.
2. Forwards Amendment C140 to the Victorian Minister for Planning for approval in accordance with Section 31 of the Planning and Environment Act 1987.

Motion

Moved Cr Wellington, Seconded Cr Schonfelder

That Council defers the item to the next Council Meeting.

LOST 2|5

For	Against	Abstained
Cr Schonfelder Cr Wellington	Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Stapleton	Nil

Amendment

Moved Cr Wellington, Seconded Cr Schonfelder

That Council:

1. Adopts Amendment C140, with changes, as shown in Appendices 1-5 subject to:
 - 1.1. at least 60 percent of the site area being made available for the planting of vegetation, regardless of any areas already taken up for driveways, gravel areas, paving, decks, swimming pools and tennis courts.
2. Forwards Amendment C140 to the Victorian Minister for Planning for approval in accordance with Section 31 of the Planning and Environment Act 1987.

LOST 2|5

For	Against	Abstained
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Cr Schonfelder Cr Wellington	Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Stapleton	Nil
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Council Resolution

Moved Cr Gazzard, Seconded Cr Pattison

That Council:

1. Adopts Amendment C140, with changes, as shown in Appendices 1-5.
2. Forwards Amendment C140 to the Victorian Minister for Planning for approval in accordance with Section 31 of the Planning and Environment Act 1987.

CARRIED 6|1

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Stapleton Cr Wellington	Cr Schonfelder	Nil

Alternative Options

Alternative Option 1 – Adopt amendment C140 without the proposed changes

This option is not recommended by officers as the changes are necessary and justified.

Alternative Option 2 – Abandon amendment C140

This option is not recommended by officers as there is insufficient justification to abandon the amendment and the amendment will improve the operation of the Surf Coast Planning Scheme.

Report

Background

The planning scheme is a dynamic document which is constantly being updated and changed. Some of those changes, for example, new State Government plans and strategies; land ownership changes; and overlapping amendments, can result in minor anomalies in the planning scheme.

These anomalies are most often identified by officers working with or on the planning scheme and Council's strategic planning team routinely maintains a running list that identifies minor planning scheme irregularities like inaccurate mapping, zoning anomalies, spelling and numbering errors, and unclear wording. Annually or biennially, these are brought together to form a 'correctional amendment' (also sometimes referred to as an anomalies amendment). While many of the adjustments are minor, it remains important to do these regular amendments to ensure that the planning scheme continues to be an effective decision-making tool.

Amendment C140 is one such amendment and it proposes to make a number of minor corrections -- many being mapping changes.

In addition, the amendment also proposes to expand the extent of the existing Heritage Overlay (HO) applied to the former Orchard Bakery and dwelling at 44 Main Street, Winchelsea, and to 'turn on' the provision in the HO schedule (for this site) that allows prohibited uses to be considered. This provision is generally used where a heritage listed building is less suitable for permissible uses due to its former use, building form or its location, and is at risk of falling into disrepair as a consequence. Of relevance, planning scheme amendment GC183 (Implementation of Stage 2C Heritage Study) that was adopted by the Council in March 2022, introduces a new policy that requires planning permit applications that draw on this provision to demonstrate that there will be an enduring conservation benefit for the heritage asset.

The changes to 44 Main Street would allow further consideration of the planning permit application made on behalf of Hesse Rural Health which seeks to run an op shop from the site.

A detailed description of the amendment and the affected sites is set out in the appended Explanatory Report. However, in summary the amendment proposes to:

- Delete the Public Acquisition Overlay and rezone land in Witcombe Street, Winchelsea that was acquired by Council for the purpose of extending Eastern Reserve.
- Apply two overlays and rezone land in Wadawurrung Way (Wurdi Baierr Stadium) that has been transferred to the Department of Education.
- Apply two overlays and rezone (part) land at the site of the Jan Juc Pre-School.
- Apply three overlays and rezone land at 6 Sutherland Court: the anomaly arose from a boundary realignment.
- Delete redundant overlays from developed land in Torquay.
- Extend the existing Heritage Overlay (HO) at 44 Main Street, Winchelsea to cover a greater portion of the former Orchard Bakery and dwelling site.

- ‘Turn on’ the provision in the HO Schedule for 44 Main Street, Winchelsea that allows the consideration of otherwise prohibited uses.
- Correct minor mapping inaccuracies (multiple sites).
- Correct minor errors, omissions and unclear wording in multiple ordinances.

Discussion

At its meeting on 23 November 2021, Council resolved to request authorisation to prepare and exhibit Planning Scheme Amendment C140.

The amendment was subsequently exhibited for a period of one month from 27 January 2022 to 28 February 2022. Five submissions resulted from the public exhibition process, only three of which raised concerns or requested changes.

Council officers have taken the submitter feedback on board and minor changes are proposed to the exhibited amendment documents as set out in Table 1 and as shown in the amendment documents appended to this report.

All of the submitter concerns have been resolved subject to the minor changes described in Table 1.

Table 1 – Submission Summary

Submitter Number	Summary of submitters' comments (paraphrased)	Officer Response
S1	Agrees with proposed address correction/change in the Heritage Overlay Schedule for Waverley House	The submission has been formally acknowledged: no change to the C140 documents, ordinances or maps is required.
S2	The submission recognises the sites that are the subject of the amendment that are on Wadawurrung Country. The submission also notes where the subject land is affected by an Area of Cultural Heritage Sensitivity.	The submitter has taken the time to assess the amendment in detail and has offered comments only. No change has been requested or concern raised. In the context raised by the submitter, matters relating to Cultural Heritage Sensitivity are most relevant to the planning permit process where legislative requirements apply. C140 does not alter these requirements: no change to the C140 documents, ordinances or maps is required.
S3	The submission requests that: <ul style="list-style-type: none"> • The coordinates for the Pearse Cairn in Aireys Inlet be checked to ensure that the Heritage Overlay is correctly applied. • That the change to standard A8/B13 of clause 43.05s1 - Neighbourhood Character Overlay, Schedule 1 (NCO1) did not add enough clarity and that 	The coordinates were rechecked using a GPS with a higher degree of accuracy and changes have been made to the location of the Heritage Overlay in response to the new data (see appended Map 35). The structure, content and language of the planning scheme provisions must adhere to the relevant guidance material published by the Department of Environment, Land, Water and Planning (DELWP). While the submitter's suggested wording is not proposed to be

Submitter Number	Summary of submitters' comments (paraphrased)	Officer Response
	<p>the proposed wording be further amended to read:</p> <ul style="list-style-type: none"> ○ <i>At least 60% of the site area should be made available for the planting of vegetation. Buildings, driveways, gravel areas, paving, decks, swimming pools, tennis courts and storage areas all to be located within the balance of the site area.</i> 	<p>used, the important message taken from the comment is that the proposed wording is still not clear enough. It is accepted that further clarity will be beneficial and having regard to this, minor changes to the exhibited version of the reworded standard is recommended. The proposed new wording (with additional wording underlined) is:</p> <ul style="list-style-type: none"> ○ <i>At least 60% of the site area should be available for the planting of vegetation (<u>area available for planting excludes the area of driveways, gravel, paving, decks, swimming pools and tennis courts</u>).</i> <p>The proposed changes have been discussed verbally with the submitter and were subsequently confirmed in writing.</p> <p>The submitter has responded in writing confirming that the proposed changes resolve their concerns.</p>
S4	<p>The submission was received from the EPA which had an interest in the changes proposed to (part) 2935 Princes Highway, Winchelsea which is the site of an existing service station: C140 proposes minor zoning and overlay changes to resolve a misalignment of the planning controls and the cadastral boundaries. The EPA raised the issue of Ministerial Direction Number 1 relating to potentially contaminated land.</p> <p>The EPA acknowledged the purpose of the amendment and minor nature of the changes but requested that the Explanatory Report be amended to make it clear that the requirements of Ministerial Direction Number 1 have been considered and satisfied through the amendment process.</p>	<p>The Explanatory Report (ER) has been amended and a track changes version of the ER has been appended to this report along with all other documents relevant to the C140 amendment.</p> <p>In summary, the change to the ER recognises the role of Ministerial Direction 1 (Potentially Contaminated Land) and makes it clear, that the change to the zoning and overlays on land at 2935 Princess Highway and on the adjacent road is a simple realignment of the planning controls with the cadastral boundaries.</p> <p>The EPA has been notified of the proposed changes and has confirmed in writing that the change to the ER satisfies their concerns.</p>
S5	<p>The submission generally supports the proposed changes to the Heritage Overlay as it relates to 44 Main Street (former Orchard Bakery and dwelling). The submitter has, however, requested that the proposed extent of the Heritage Overlay be marginally reduced to exclude telecommunications infrastructure at the rear of the site. Helpfully, the submitter has also provided a recent feature survey plan to support the request.</p>	<p>The request is considered reasonable and in keeping with the purpose of the proposed change.</p> <p>The additional information provided through the feature survey plan has informed a proposed change to the extent of the Heritage Overlay (see appended map 5) and the submitter has confirmed in writing that the change resolves their concerns.</p>

The proposed changes to the exhibited amendment (ie. made in response to submissions) improve the accuracy of two maps, and the clarity of the Explanatory Report and NCO1 standard A8/B13, thereby providing an improved outcome.

In addition to the proposed changes described above, it is important to note that any changes to the Heritage Overlay Schedule that have been proposed in the previously adopted planning scheme amendment GC183 (Implementation of the Stage 2C Heritage Study) will be incorporated into the C140 amendment. Should Council resolve to adopt amendment C140, the consolidation of the two amendments (GC183 and C140) will be a matter for DELWP to reconcile through the Ministerial approval process.

As submitters 1 and 2 did not raise concerns, and submitters 3-5 have confirmed in writing that the proposed changes resolve their concerns, there are no outstanding issues. Consequently, the amendment does not need to be referred to an Independent Planning Panel and Council can proceed to consider the adoption of the amendment.

Outcome Analysis

By resolving known anomalies in the Surf Coast Planning Scheme, amendment C140 improves the performance of the planning scheme.

Financial and Resource Impact Analysis

Council's budget allocation for the Correctional Amendment is adequate to ensure that the planning scheme amendment may be followed through to its conclusion. The amendment does not propose to introduce new planning permit triggers and will not place an increased burden on Council resources.

Council Plan Assessment

Theme Four - Sustainable Growth

Strategy 11 - Protect heritage and township character.

In Victoria, Planning Schemes are a legal instrument for the use, development and protection of land in the present and long-term interests of all Victorians. Amendment C140 contributes to the continued effectiveness of the scheme in its aforementioned role.

Relevant Legislation, Policy, Strategies and Plans

The amendment complies with the relevant requirements of the *Planning and Environment Act 1987*. The Victorian Planning Provisions, the Local Government Act 1989, and Ministerial Direction 1 have also been considered as relevant.

Previous Councillor and Audit and Risk Committee Consultation

This item was discussed at the following Councillor briefing prior to being presented to Council for consideration. Councillor attendance at the briefing was as follows:

Councillor Briefing Date: 5 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>Y</i>	<i>Cr Adrian Schonfelder</i>	<i>Y</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>Y</i>		

Planning and Environment Act 1987

SURF COAST PLANNING SCHEME

AMENDMENT C140surf

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by the Surf Coast Shire Council, which is the planning authority for this amendment.

The amendment has been made at the request of Surf Coast Shire Council.

Land affected by the amendment

The amendment applies to:

- Federal Street, Aireys Inlet (part Surf Coast Walk near Federal Street)
- Anglesea Borefield Precinct, Anglesea
- 22 Deans Marsh-Lorne Road, Deans Marsh
- 6-20 Pennyroyal Valley Road, Deans Marsh
- 1910 Winchelsea-Deans Marsh Road, Deans Marsh
- 2005 Winchelsea-Deans Marsh Road, Deans Marsh
- Part Government Road, Deans Marsh (adjacent to 1200 Birregurra-Deans Marsh Road)
- 4-5 Rip View Close, Jan Juc
- 111 Strathmore Drive, Jan Juc
- 113 Strathmore Drive, Jan Juc
- 113A Strathmore Drive, Jan Juc
- 115 Strathmore Drive, Jan Juc
- 115A Strathmore Drive, Jan Juc
- 115B Strathmore Drive, Jan Juc
- 115C Strathmore Drive, Jan Juc
- 115D Strathmore Drive, Jan Juc
- 89-91 Sunset Strip, Jan Juc
- 10-11 Wattle Court, Jan Juc
- CA 2033, Lorne (land adjoining 10 Howard Street, Lorne)
- 3 Deans Marsh Road, Lorne
- 180 Erskine Falls Road, Lorne
- 2680 Great Ocean Road, Lorne
- 45 Otway Street, Lorne
- 3 Waverley Avenue, Lorne
- 910 Cape Otway Road, Modewarre
- 465 Considines Road, Modewarre
- 6 Sutherland Court, Moggs Creek
- 35 Bell Street, Torquay (Torquay Foreshore)

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- 49 Bright Street, Torquay
- 51 Bright Street, Torquay
- 53 Bright Street, Torquay
- 55 Bright Street, Torquay
- 10 McFarlane Street, Torquay
- 1510 Surf Coast Highway, Torquay
- 36 Wadawurrung Way, Torquay
- Main Street Service Road, Winchelsea
- 44 Main Street, Winchelsea
- R1 on PS718344P (road reserve adjoining 2935 Princes Highway, Winchelsea)
- 2935 Princes Highway, Winchelsea
- 50 Witcombe Street, Winchelsea
- Land affected by Schedule 1 to the Neighbourhood Character Overlay, Aireys Inlet
- Land affected by Schedule 24 to the Design and Development Overlay, Bellbrae
- Land affected by Schedule 2 to the Neighbourhood Character Overlay, Lorne
- Land affected by Schedule 5 to the Special Use Zone, Torquay

~~The amendment also corrects the page numbering for Schedule 12 of the Design and Development Overlay, Lorne.~~

What the amendment does

The amendment updates the Surf Coast Planning Scheme to correct mapping and ordinance anomalies.

The amendment makes the following changes to the Surf Coast Planning Scheme:

Planning Scheme Map Changes

1. Rezone land at 50 Witcombe Street, Winchelsea from GRZ1 to PPRZ and delete the PAO4
2. Rezone part of land at 2935 Princes Highway, Winchelsea from RDZ1 to C2Z and apply the DDO17, DPO9 and EAO
3. Rezone part of land at R1 on PS718344P, Winchelsea from C2Z to RDZ1 and delete the DDO17, DPO9 and EAO
4. Rezone part of land at 36 Wadawurrung Way, Torquay from PPRZ to GRZ1 and apply the DDO1 and DPO8
5. Rezone part of land at 89-91 Sunset Strip, Jan Juc from PPRZ to GRZ1 and apply the DDO22 and SLO6
6. Delete the DDO5 from part of land at 1510 Surf Coast Highway, Torquay (Reserve No. 2 on PS 711644)
7. Amend Map Nos. 25SCO, 26SCO, 27SCO, 32SCO, 33SCO, 34SCO and 43SCO to correspond with the planning scheme map reference in the Schedule to Clause 45.12
8. Rezone part of land at 6 Sutherland Court, Moggs Creek from PPRZ to GRZ1 and apply the DDO10, ESO4 and NCO1
9. Rezone CA 2033, Lorne from GRZ1 to PUZ5, apply the HO110 and delete the DDO12, NCO2 and SLO4
10. Rezone part of land at 45 Otway Street, Lorne from GRZ1 to PPRZ and delete the DDO12, NCO2 and SLO4
11. Delete the ESO4 from part of land at 10 McFarlane Street and 49, 51, 53 and 55 Bright Street, Torquay

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12. Amend Heritage Overlay Map No. 8HO to correct the geographical location of the Heritage Overlay applied to HO141 and HO147
13. Amend Heritage Overlay Map No. 20HO to correct the geographical location of the Heritage Overlay applied to HO126
14. Amend Heritage Overlay Map No. 28HO to correct the geographical location of the Heritage Overlays applied to HO40 and HO48
15. Amend Heritage Overlay Map No. 40HO to correct the geographical location of the Heritage Overlay applied to HO92
16. Amend Heritage Overlay Map No. 42HO to correct the geographical location of the Heritage Overlay applied to HO56
17. Amend the Torquay-Jan Juc Residential Framework Plan at Clause 15.01-5L-02 to show the land as *Bush Residential*

Planning Scheme Ordinance Changes

18. Amend Schedule 5 to Clause 37.01 to include reference to Clause 58 under the Buildings and works Application requirements and Decision guidelines and to delete a redundant policy reference
19. Amend Schedule 24 to Clause 43.02 to delete the words, “less than” under clause 2.0 and add the words, “does not exceed” so that the full sentence reads, “the dwelling does not exceed two storeys and 7.5 metres in height”
20. Amend Schedule 2 to Clause 43.05 to correct the spelling of the word “complements” at clause 4.0 and “complementing” at clause 5.0
21. Amend Schedule 1 to Clause 43.05 to improve the clarity of the wording of Standard A8/B13
22. Amend the Schedule to Clause 43.01 to correct the addresses for HO43, HO46, HO48, HO75, HO92, and HO117
23. Amend the Schedule to Clause 43.01 to allow prohibited uses for HO147: the Former Orchard Bakery & associated Dwelling
24. Amend the Incorporated document, Surf Coast Shire Heritage Study, Stage 2B – Statements of Significance to correct the address of HO117: the Former Modewarre State School No. 396, and HO92: Pearse Cairn, in the Table of Contents and on pages 1 and 14
25. Amend the Schedule to Clause 72.04 to replace the incorporated document Surf Coast Shire Heritage Study, Stage 2B – Statements of Significance with an updated version.

Strategic assessment of the amendment

Why is the amendment required?

The amendment is required to correct various anomalies and minor errors (both maps and ordinances) in the Surf Coast Planning Scheme that have become apparent since the last miscellaneous amendment. This amendment is considered to be housekeeping in nature and has been prepared to tidy-up the scheme.

Reference	Description of Anomaly	Proposed Amendment
Map 8ZN, 8PAO	GRZ1 land at 50 Witcombe Street, Winchelsea is covered by a PAO to facilitate the acquisition of land by Surf Coast Shire Council for the extension of Eastern Reserve. This land has now been acquired by council and the GRZ1 zone is longer appropriate and the PAO is no longer required.	Rezone land at 50 Witcombe Street from GRZ1 to PPRZ and delete the PAO4.
Map 8ZN, 8DDO, 8DPO, 8EAO	The <u>24sqm</u> north-east tip of the privately owned land at 2935 Princes Highway, Winchelsea that is currently zoned RDZ1 is not part of the road reserve and should be	Rezone part of the land at 2935 Princes Highway, Winchelsea from RDZ1 to C2Z and apply the DDO17, DPO9 and EAO <u>thereby aligning the</u>

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Reference	Description of Anomaly	Proposed Amendment
	zoned C2Z and subject to the same overlays as the balance of the lot.	<p><u>application of the zone and overlays with cadastral boundaries.</u></p> <p><u>Ministerial Direction 1 (MD1) applies to potentially contaminated land and sets out the requirements to be met in preparing an amendment which allows land to be used for a sensitive use.</u></p> <p><u>The amendment resolves the misalignment of planning controls applied through former amendment C65 with the cadastral boundaries; that is, the change is a simple realignment that ensures that the application of the planning controls is consistent across the lot.</u></p> <p><u>The amendment, which applies the EAO to the 24sqm of subject land, has considered MD1 in this context.</u></p>
Map 8ZN, 8DDO, 8DPO, 8EAO	The C2Z portion of land adjacent to 2935 Princes Highway, Winchelsea that protrudes east into the road reserve. This land is not part of the private owned land: it is vested as a road reserve and this should be reflected in its zoning.	<p>Rezone part of R1 on PS718344P from C2Z to RDZ1 and delete the DDO17, DPO9 and EAO.</p> <p><u>As stated above, the application of zones and overlays on the site does not align with cadastral boundaries and the amendment resolves this anomaly through a simple realignment. MD1 has been considered in this context.</u></p>
Map 16ZN, 16DDO, 16DPO	Land that now forms part 36 Wadawurrung Way, Torquay was transferred from Surf Coast Shire Council to the Department of Education as part of the North Torquay Stadium development and as such, its PPRZ zoning is not consistent with the balance of the Department of Education owned land.	Rezone part of the land at 36 Wadawurrung Way from PPRZ to GRZ1 and apply the DDO1 and DPO8 so that the zone and overlays is consistent across the lot.
Map 19ZN, 19DDO, 19SLO	Land at 10-11 Wattle Court and 89-91 Sunset Strip, Jan Juc is owned by Surf Coast Shire Council and part of the land is used for the Jan Juc Preschool. The preschool straddles two land titles and two zones. Planning permit 19/0162 permits the resubdivision of the lots to bring the preschool into a single lot. In doing this, the lot will straddle two zones, being GRZ1 and PPRZ.	Rezone part of the land at 89-91 Sunset Strip, Jan Juc that will form part of the Jan Juc Preschool at 10-11 Wattle Court, from PPRZ to GRZ1 and apply the DDO22 and SLO6.
Map 20DDO	Part of the land at 1510 Surf Coast Highway, Torquay was rezoned from INZ3 to PPRZ in a previous anomalies amendment but at that time, the amendment neglected to remove the DDO5 from the PPRZ land. The DDO5 relates to built form in industrial areas and it should therefore, be removed from the PPRZ land.	Delete the DDO5 from part of the land at 1510 Surf Coast Highway, Torquay (Reserve No. 2 on PS 711644).

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Reference	Description of Anomaly	Proposed Amendment
Map 25SCO, 26SCO, 27SCO, 32SCO, 33SCO, 34SCO, 43SCO	The designation of the SCO1 and SCO4 have been transposed on the planning scheme maps.	Amend the maps to correspond with the planning scheme map reference in the Schedule to Clause 45.12 for the SCO1 and SCO4.
Map 39ZN, 39DDO, 39ESO, 39NCO	While most of the land at 6 Sutherland Court, Moggs Creek is zoned GRZ1, a small portion of the land that adjoins the Reserve is zoned PPRZ.	Rezone that part of 6 Sutherland Court zoned PPRZ to GRZ1 and apply the DDO10, ESO4 and NCO1.
Map 43ZN, 43DDO, 43HO, 43NCO, 43SLO	CA 2033 was formerly part of Howard Street (Government Road) which was closed and the land added to the adjoining land reserved for Cemetery purposes. The Crown allotment is still zoned GRZ1 and should be rezoned to reflect its use as part of the Lorne Cemetery and be subject to the same overlays as the remainder of the cemetery land.	Rezone land at CA 2033 from GRZ1 to PUZ5, apply the HO110, and delete the DDO12, NCO2 and SLO4.
Map 43ZN, 43DDO, 43NCO, 43SLO	The north-west corner of Stribling Reserve at 45 Otway Street, Lorne is zoned GRZ1 and subject to the BMO, DDO12, NCO2 and SLO4. The remainder of the Reserve is appropriately zoned PPRZ and subject to a BMO. Because the north west corner forms part of Stribling Reserve, it should be zoned to reflect its purpose and continue to recognise the bushfire risk through the continued application of the BMO.	Rezone part of the land at 45 Otway Street from GRZ1 to PPRZ and delete the DDO12, NCO2 and SLO4.
Map 8HO	The heritage place recognised under HO141 is <i>Bills Water Trough</i> in Main Street, Winchelsea. While HO141 recognises the significance of the Trough, the overlay is misaligned and fails to properly cover the heritage place. This needs to be corrected.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 8HO	The heritage place recognised under HO147 is the <i>Former Orchard Bakery and associated Dwelling</i> at 44 Main Street, Winchelsea. While HO147 recognises the significance of the buildings, the overlay does not cover the whole of the site in line with the original recommendation. Works to install infrastructure associated with the adjoining hospital have occurred on the rear most portion of the site; however, the land around the buildings remains free of development and should be covered by the HO.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 20HO	The heritage place recognised under HO126 is the <i>Torquay Foreshore Precinct</i> in Torquay. The Precinct covers land between Point Danger and Yellow Bluff and is bounded by The Esplanade to the west. Its significance	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.

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Reference	Description of Anomaly	Proposed Amendment
	<p>includes role as a historic location for coastal recreation, its landscape and commemorative values denoted by open grassed areas, line of Norfolk Island pines, mature Cypress (and other trees), bluestone retaining walls near the foreshore, and memorials and memorabilia.</p> <p>While HO126 recognises the significance of the Foreshore, the overlay fails to properly cover the heritage place, excluding important elements like the mature pines and the bluestone retaining wall nearest the foreshore. This needs to be corrected.</p>	
Map 28HO	The heritage place recognised under HO40 is the bridge and all land within 20 metres each side of the bridge in Deans Marsh. While HO40 recognises the significance of the bridge, the overlay is misaligned and fails to cover the bridge itself. This needs to be corrected.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 28HO	The heritage place recognised under HO48 is the <i>Yan Yan Gurt Woolshed</i> in Deans Marsh. While HO48 recognises the significance of the Woolshed, the overlay is misaligned and fails to properly cover the building. This needs to be corrected.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 40HO	The heritage place recognised under HO92 is <i>Pearse Cairn</i> in Aireys Inlet. The Cairn lies within the Split Point Lighthouse Precinct and while HO92 recognises the significance of the Cairn, the overlay is misaligned and fails to properly cover the heritage place. This needs to be corrected.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 42HO	The heritage place recognised under HO56 is the <i>Cumberland River Picnic Shelter</i> . While HO56 recognises the significance of the Picnic Shelter, the overlay is misaligned and fails to properly cover the building. This needs to be corrected.	Amend the map to correct the geographical location of the Heritage Overlay relative to the heritage place.
Map 20ESO	The ESO4 was applied prior to the subdivision of land at 1505 & 1535 Surf Coast Highway, Torquay to protect native vegetation. Since that time, the land has been developed and some of the native vegetation lawfully removed. As a result, the ESO4 now covers some cleared areas and should be removed. In particular, as the ESO4 triggers a permit for buildings and works, the overlay should be removed from private land where no remnant native vegetation exists.	Amend the map to remove the ESO4 from the properties at 10 McFarlane Street and 49-55 Bright Street and from the road (not the reserve) immediately in from of these properties.
Clause 15.01-5L-02	Torquay-Jan Juc Residential Framework Plan: Land at pt 111, pt 113, 115, 115A & 115B Strathmore Drive and Pt 4-5 Rip View Close, Jan Juc is incorrectly shown as Low Density Residential on the Torquay-Jan Juc	Amend the Torquay-Jan Juc Residential Framework Plan at Clause 15.01-5L to show the land as Bush Residential.

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Reference	Description of Anomaly	Proposed Amendment
	Residential Development Framework Plan: the land is actually zoned GRZ1.	
Reference (Clause)	Description of Ordinance Anomaly	Proposed Amendment
37.01s5	The SUZ5 references clauses 54 and 55 <i>for all types of accommodation</i> but not clause 58. Clause 58 was introduced after the drafting of the SUZ5 and is the appropriate clause for assessing apartment developments in the SUZ5.	Amend clause 4.0 of 37.01s5 (buildings and works) to include reference to clause 58 as follows: <u>Application requirements</u> <ul style="list-style-type: none"> Clause 54, 55 or 58 as appropriate. <u>Decision guidelines</u> <ul style="list-style-type: none"> The objectives and standards of Clauses 54, 55 or 58, as appropriate, should be used to assess amenity standards for all types of Accommodation
37.01s5	The application requirements under clause 4.0 of the SUZ5 refer to the Streetscape and Landscaping Policy (Clause 22). This clause was removed with the introduction of the new Surf Coast Planning Policy Framework introduced by Amendment C136surf.	Amend clause 4.0 of 37.01s5 (buildings and works) to delete the redundant policy reference.
43.02s24	The buildings and works exemption at clause 2.0 refers to a dwelling being “less than two storeys and 7.5 metres in height”. Taken literally, the provision suggests that only single storey dwellings are exempt from requiring a permit when in fact, the provision seeks to exempt dwellings that do not exceed two storeys.	Amend the wording of clause 2.0 of 43.02s24 (Buildings and works) to read: <ul style="list-style-type: none"> the dwelling <u>does not exceed</u> two storeys and 7.5 metres in height
43.05s2	At modified standards A8 and B13, the word “complements” is incorrectly spelt as compliments. At clause 43.05-5 of the schedule, the word “complementing” is incorrectly spelt as complimenting.	Amend the schedule to correct the spelling error: there are three locations where the spelling error has been made. <ul style="list-style-type: none"> Clause 4.0 of 43.05s2 (standards A8 and B13): replace compliments with complements Clause 5.0 of 43.05s2 (Landscaping): replace complimenting with complementing
43.05s1	At modified standard A8/B13 of clause 43.05s1, the standard includes that: <i>At least 60% of the site area (excluding the area of driveways, gravel, paving, decks, swimming pools and tennis courts) should be available for the planting of vegetation [emphasis added].</i> The meaning of this clause is not clear to all users of the scheme. If read literally, the standard might be interpreted as meaning that the 60% referred to excludes driveways, decks etc when the standard actually seeks	Clarify the meaning of standard A8/B13 of clause 43.05s1 by moving the bracketed content to the end of the sentence and <u>by adding the words, “area available for planting and</u> changing the word, “excluding” to “excludes” so that it reads: <i>At least 60% of the site area should be available for the planting of vegetation (area available for planting excludes the area of driveways,</i>

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Reference	Description of Anomaly	Proposed Amendment
	<p>to ensure that 60% of the site area is available for planting and that the areas available for planting cannot include driveways, decks and the like.</p> <p>The wording of this standard needs to be clearer in its meaning so that users of the scheme can more easily interpret what is required through the standard.</p>	<p><i>gravel, paving, decks, swimming pools and tennis courts).</i></p>
43.01 Schedule	<p>The heritage place recognised by HO43 is the Deans Marsh Uniting (formerly Methodist) Church and hall. The Schedule to the Heritage Overlay lists the address as 22 Deans Marsh-Lorne Road & Pennyroyal Valley Road (cnr), Deans Marsh. However, the heritage place and the overlay that applies is at 6 Pennyroyal Valley Road, Deans Marsh.</p> <p>The Schedule to Clause 43.01 needs to be amended to show correct address.</p>	<p>Amend the Schedule to Clause 43.01 to show the correct address for HO43, being:</p> <ul style="list-style-type: none"> 6 Pennyroyal Valley Road, Deans Marsh
43.01 Schedule	<p>The heritage place recognised by HO46 is the Deans Marsh Public Hall & Recreation Reserve. The Schedule to the Heritage Overlay lists the address as 6-20 Pennyroyal Valley Road, Deans Marsh. However, the heritage place and the overlay that applies is at 10-20 Pennyroyal Valley Road, Deans Marsh.</p> <p>The Schedule to Clause 43.01 needs to be amended to show correct address.</p>	<p>Amend the Schedule to Clause 43.01 to show the correct address for HO46, being:</p> <ul style="list-style-type: none"> 10-20 Pennyroyal Valley Road, Deans Marsh
43.01 Schedule	<p>The heritage place recognised by HO48 is the Yan Yan Gurt Woolshed in Deans Marsh. The Schedule to the Heritage Overlay lists the address as 1910 Winchelsea-Deans Marsh Road, Deans Marsh. However, the heritage place and the overlay that applies is at 2005 Winchelsea-Deans Marsh Road, Deans Marsh.</p> <p>The Schedule to Clause 43.01 needs to be amended to show correct address.</p>	<p>Amend the Schedule to Clause 43.01 to show the correct address for HO48, being:</p> <ul style="list-style-type: none"> 2005 Winchelsea-Deans Marsh Road, Deans Marsh
43.01 Schedule	<p>The heritage place recognised by HO75 is Waverley House in Lorne. The Schedule to the Heritage Overlay lists the address as 3 Waverley Avenue, Lorne. However, the heritage place and the overlay that applies is at 3 Deans Marsh Road, Lorne.</p> <p>The Schedule to Clause 43.01 needs to be amended to show correct address.</p>	<p>Amend the Schedule to Clause 43.01 to show the correct address for HO75, being:</p> <ul style="list-style-type: none"> 3 Deans Marsh Road, Lorne
43.01 Schedule	<p>The heritage place recognised by HO117 is the Former Modewarre State School No. 396. The Schedule to the Heritage Overlay lists the address as 910 Cape Otway Road, Modewarre. However, the heritage place and the overlay that applies is at 465 Considines Road, Modewarre.</p>	<p>Amend the Schedule to Clause 43.01 to show the correct address for HO117, being:</p> <ul style="list-style-type: none"> 465 Considines Road, Modewarre

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Reference	Description of Anomaly	Proposed Amendment
	The Schedule to Clause 43.01 needs to be amended to show correct address.	
43.01 Schedule	The heritage place recognised by HO92 is <i>Pearse Cairn</i> in Aireys Inlet. The Schedule to the Heritage Overlay lists the address as Federal Drive, Aireys Inlet when in fact the address is Federal <u>Street</u> , Aireys Inlet.	Amend the Schedule to Clause 43.01 to show the correct address for HO92, being: <ul style="list-style-type: none"> Federal Street, Aireys Inlet
43.01 Schedule	The <i>Former Orchard Bakery & associated Dwelling</i> recognised by HO147 is located on Main Street (the Princes Highway), Winchelsea. The buildings are valued heritage assets; however, the zero setback of the bakery in a busy location make the buildings less desirable as dwellings in spite of their residential zoning. If the buildings remain vacant, there is a risk that the condition of the buildings will further deteriorate. Currently, the schedule does not allow consideration of non-conforming (prohibited) uses; allowing such uses has the potential to give the buildings a purpose and encourage the maintenance and repairs needed to preserve the heritage place.	Amend the Schedule to Clause 43.01 to allow prohibited uses to be considered for HO147.
	Incorporated document, Surf Coast Shire Heritage Study, Stage 2B – Statements of Significance The addresses in the Incorporated document for HO117 and HO92 are incorrect as set out above and must be corrected to align with the Schedule to Clause 43.01.	Amend the Incorporated document, <i>Surf Coast Shire Heritage Study, Stage 2B – Statements of Significance</i> to correct the address of: <ul style="list-style-type: none"> HO117 in the Table of Contents and on page 14 to 465 Considines Road, Modewarre HO92 in the Table of Contents and on page 1 to Federal Street, Aireys Inlet

How does the amendment implement the objectives of planning in Victoria?

The amendment ensures that the planning scheme provisions are clear and can be correctly applied to land so that it can be used and developed in accordance with the *Planning and Environment Act 1987*.

How does the amendment address any environmental, social and economic effects?

The amendment is a correctional amendment and will not have any significant environmental, social or economic effects.

Does the amendment address relevant bushfire risk?

The amendment is a correctional amendment, addressing known anomalies and minor errors in the planning scheme. The amendment will not increase the risk to human life.

Does the amendment comply with the requirements of any Minister’s Direction applicable to the amendment?

The amendment is consistent with the Ministerial Direction on the Form and Content of Planning Schemes under section 7(5) of the Act.

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The amendment addresses the requirements of Ministerial Direction No. 11 which seeks to ensure a comprehensive strategic evaluation is undertaken by a planning authority. This is provided in the explanatory report.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment is consistent with the Planning Policy Framework (PPF). The changes proposed are correctional, addressing known anomalies and minor errors in the scheme and as such, there are no implications for the PPF.

How does the amendment support or implement the Municipal Planning Strategy?

The changes proposed are correctional, addressing known anomalies and minor errors in the scheme and as such, there are no implications for the MPS.

Does the amendment make proper use of the Victoria Planning Provisions?

The amendment makes proper use of the Victoria Planning Provisions (VPPs) by improving the clarity, accuracy and therefore, effectiveness of existing planning scheme provisions.

How does the amendment address the views of any relevant agency?

Consultation with relevant agencies will be undertaken as part of the exhibition process.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment is not expected to have any impact on the provisions of the Transport Integration Act 2010.

Resource and administrative costs

What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?

The amendment does not introduce new planning provisions: the corrections will have no significant impact on the resource and administrative costs of the responsible authority.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Surf Coast Shire website at www.surfcoast.vic.gov.au

AND

The amendment is available for public inspection, free of charge, during office hours at the Surf Coast Shire Municipal Offices, 1 Merrijig Drive, Torquay.

The amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at www.planning.vic.gov.au/public-inspection.

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by 28 February 2022.

A submission must be sent to:

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Coordinator Strategic Planning
Surf Coast Shire
PO Box 350
Torquay Vic 3228

or emailed to info@surfcoast.vic.gov.au

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: 2 May 2022
- panel hearing: 30 May 2022

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Planning and Environment Act 1987

SURF COAST PLANNING SCHEME

AMENDMENT C140surf

INSTRUCTION SHEET

The planning authority for this amendment is the Surf Coast Shire Council.

The Surf Coast Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 49 attached map sheets.

Zoning Maps

1. Amend Planning Scheme Map Nos. 8ZN, 16ZN, 19ZN, 39ZN and 43ZN in the manner shown on the 6 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".

Overlay Maps

2. Amend Planning Scheme Map Nos. 8HO, 20HO, 28HO, 40HO, 42HO and 43HO in the manner shown on the 13 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
3. Amend Planning Scheme Map Nos. 8DDO, 16DDO, 19DDO, 20DDO, 39DDO and 43DDO in the manner shown on the 8 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
4. Amend Planning Scheme Map Nos. 8DPO and 16DPO in the manner shown on the 3 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
5. Amend Planning Scheme Map No. 8EAO in the manner shown on the 2 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
6. Amend Planning Scheme Map No. 8PAO in the manner shown on the 1 attached map marked "Surf Coast Planning Scheme, Amendment C140surf".
7. Amend Planning Scheme Map Nos. 19SLO and 43SLO in the manner shown on the 3 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
8. Amend Planning Scheme Map Nos. 20ESO and 39ESO in the manner shown on the 2 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
9. Amend Planning Scheme Map Nos. 25SCO, 26SCO, 27SCO, 32SCO, 33SCO, 34SCO and 43SCO in the manner shown on the 8 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".
10. Amend Planning Scheme Map Nos. 39NCO and 43NCO in the manner shown on the 3 attached maps marked "Surf Coast Planning Scheme, Amendment C140surf".

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

11. In **Planning Policy Framework** – replace Clause 15.01-5L-02 with a new Clause 15.01-5L-02 in the form of the attached document.
12. In **Zones** – Clause 37.01, replace Schedule 5 with a new Schedule 5 in the form of the attached document.

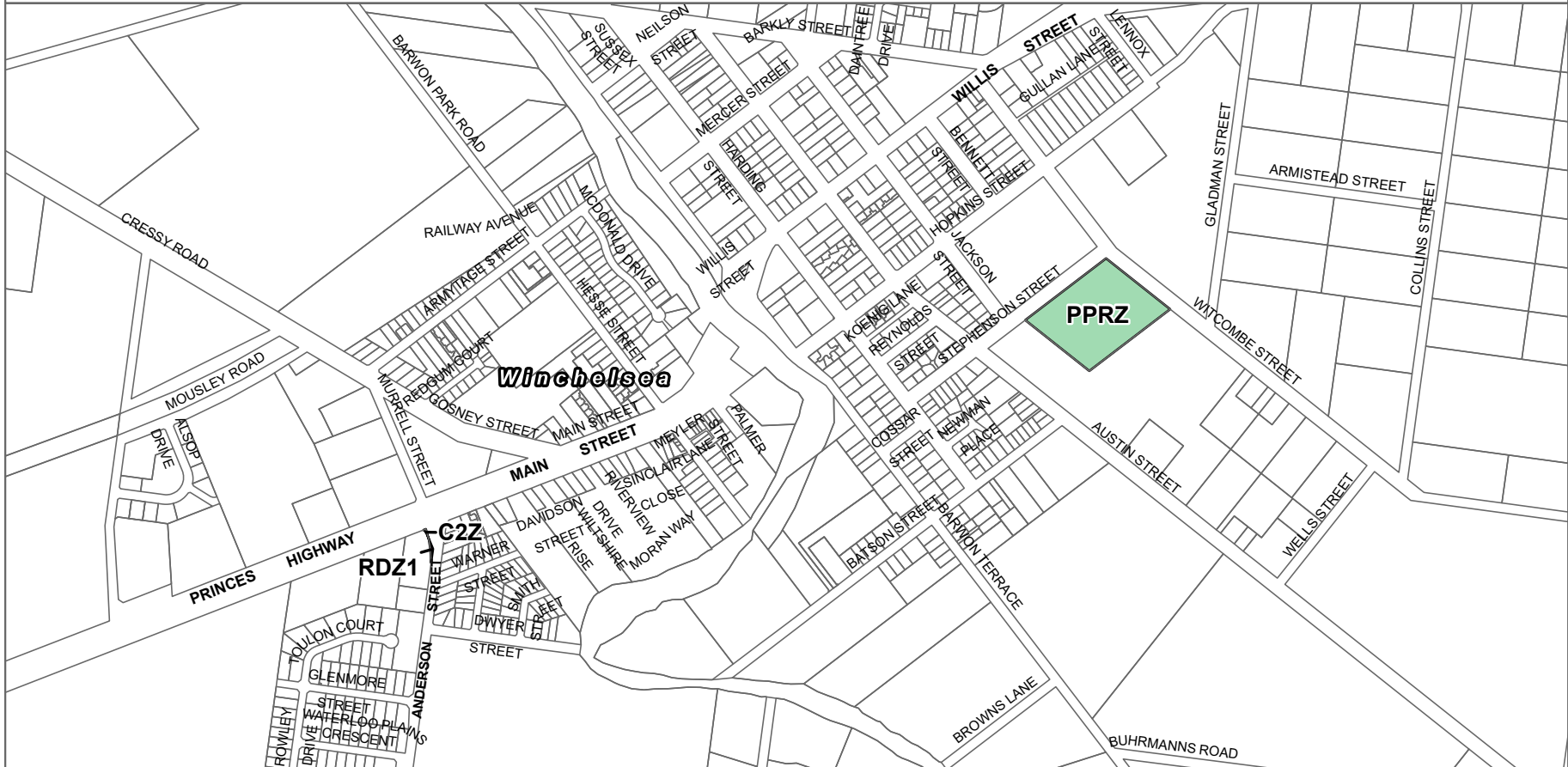
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13. In **Overlays** – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
14. In **Overlays** – Clause 43.02, replace Schedule 24 with a new Schedule 24 in the form of the attached document.
15. In **Overlays** – Clause 43.05, replace Schedule 1 with a new Schedule 1 in the form of the attached document.
16. In **Overlays** – Clause 43.05, replace Schedule 2 with a new Schedule 2 in the form of the attached document.
17. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.

End of document

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**SURF COAST PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C140surf**



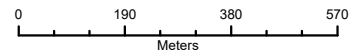
LEGEND

- C2Z - Commercial 2 Zone
- PPRZ - Public Park and Recreation Zone
- RDZ1 - Road Zone-Category 1
- Local Government Area

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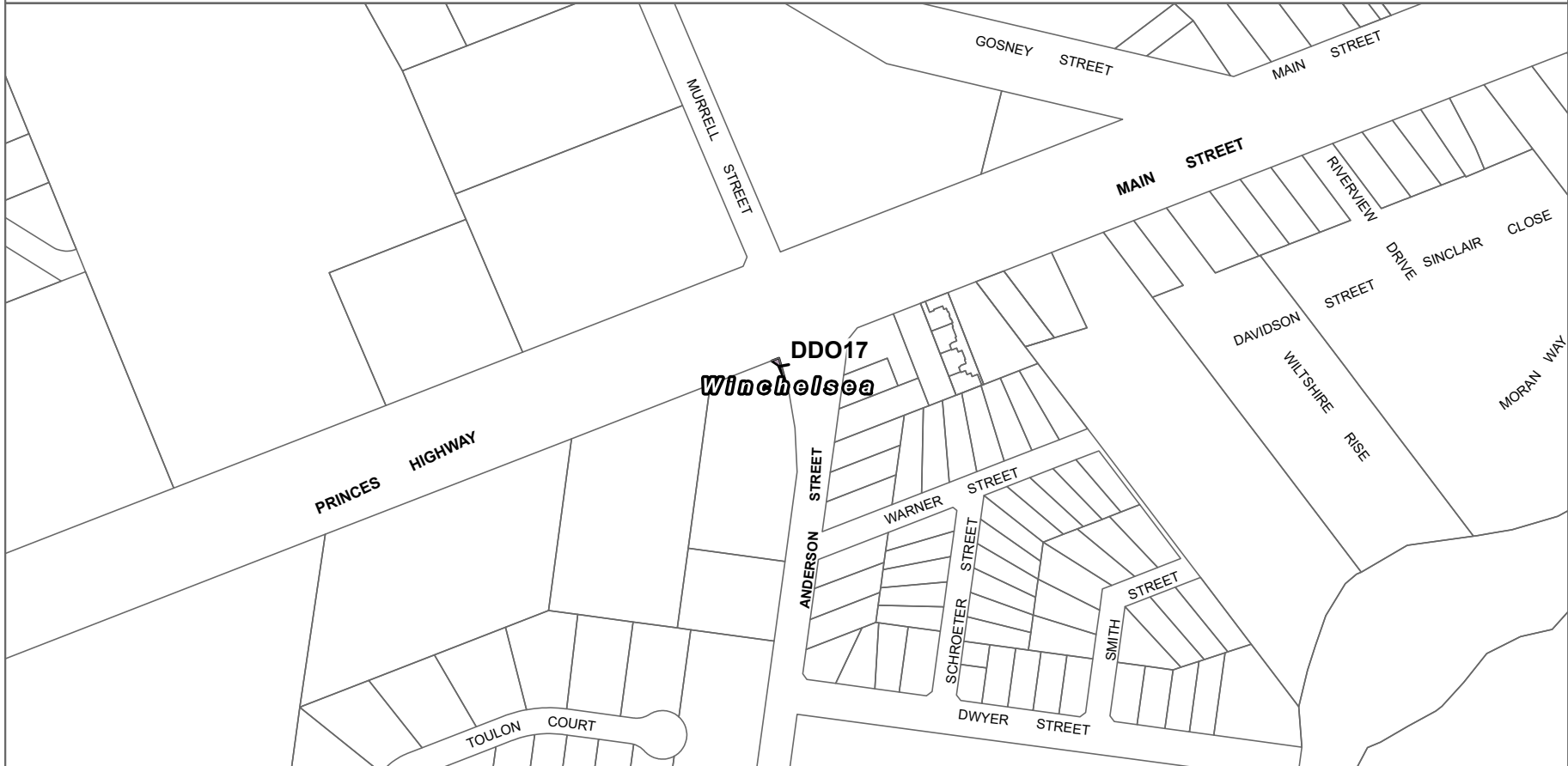


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**SURF COAST PLANNING SCHEME - LOCAL PROVISION
 AMENDMENT C140surf**



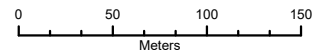
LEGEND

-  DDO17 - Design and Development Overlay - Schedule 17
-  Local Government Area

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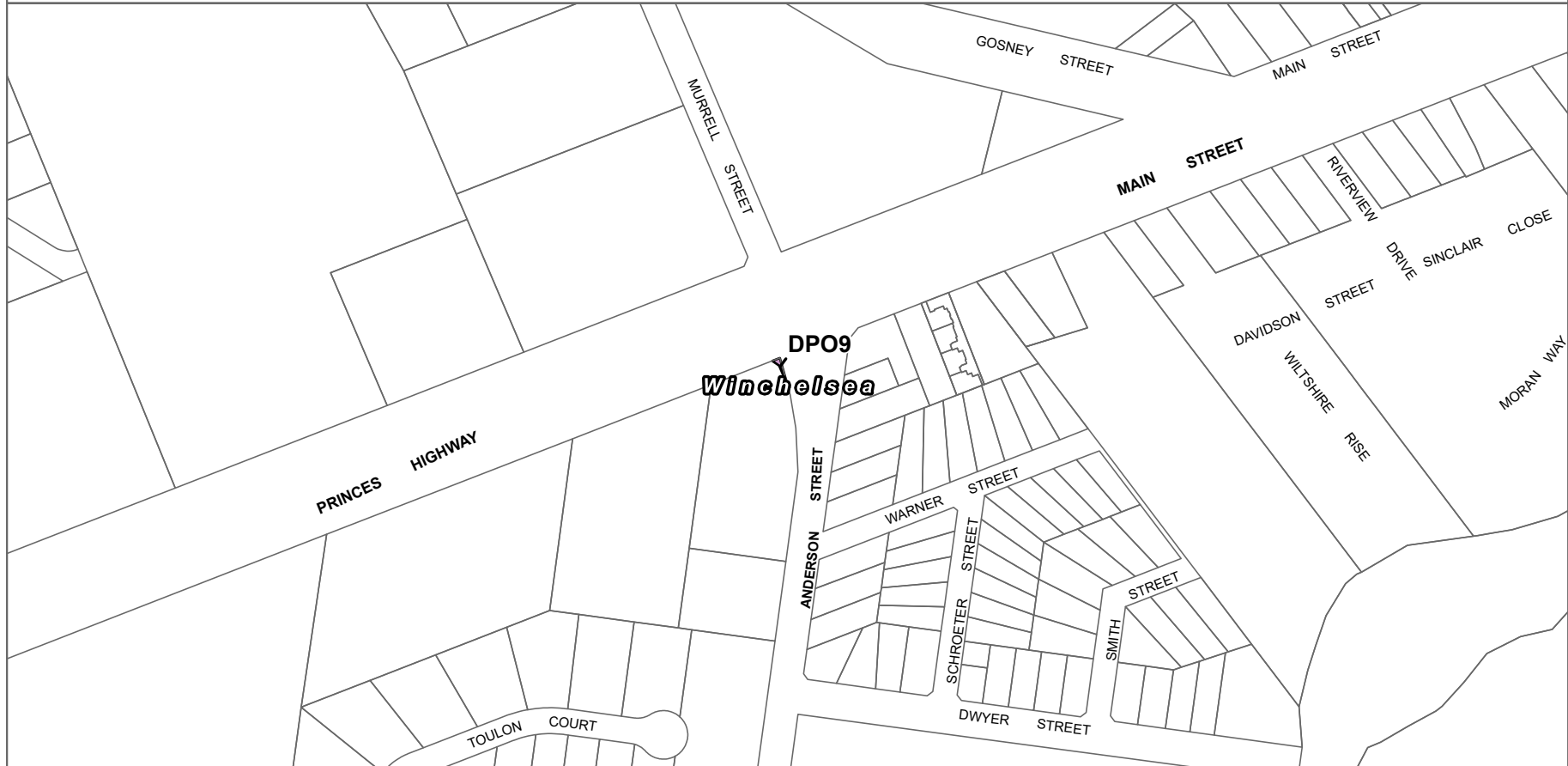


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AMENDMENT C140surf



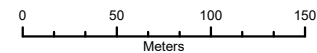
LEGEND

-  DPO9 - Development Plan Overlay - Schedule 9
-  Local Government Area

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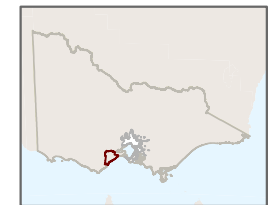
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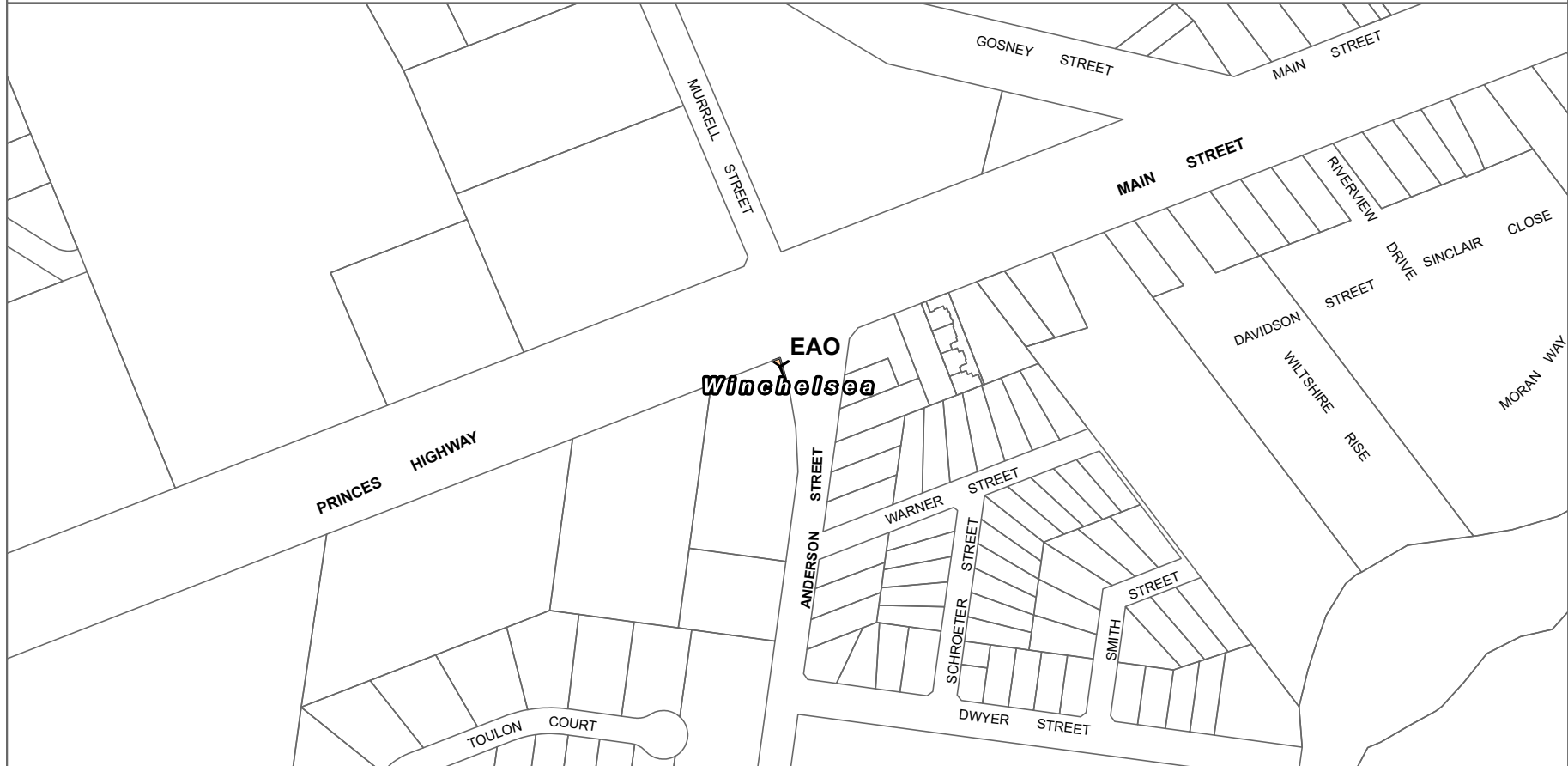


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AMENDMENT C140surf



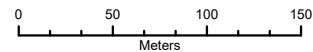
LEGEND

-  EAO - Environmental Audit Overlay
-  Local Government Area

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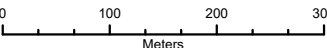
LEGEND

-  HO - Heritage Overlay
-  Local Government Area


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 AMENDMENT C140surf**



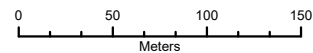
LEGEND

-  D-DDO - Area to be deleted from a Design and Development Overlay
-  Local Government Area

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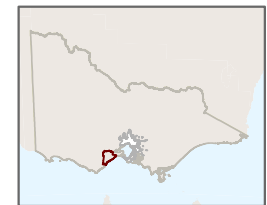
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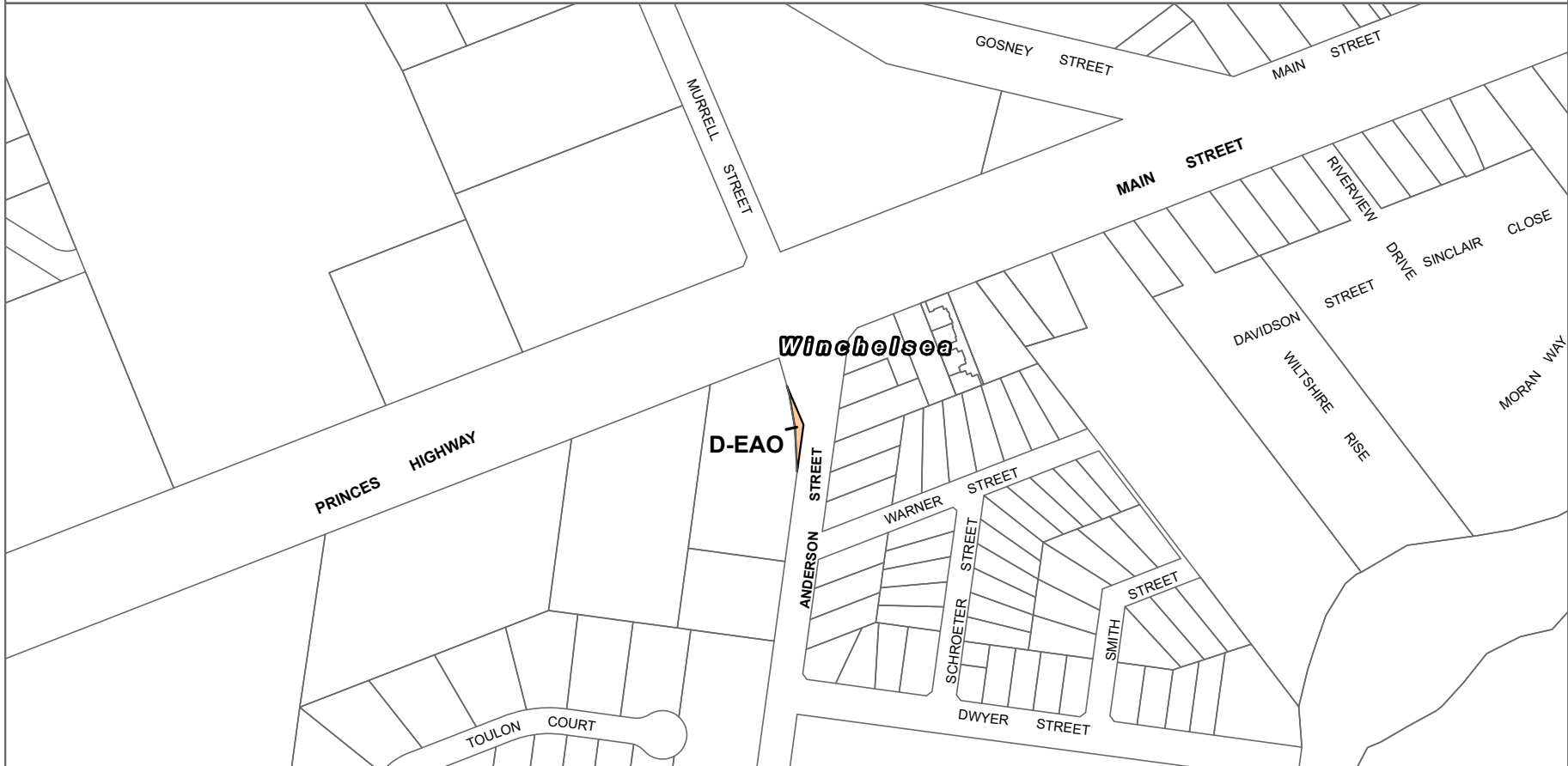


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AMENDMENT C140surf



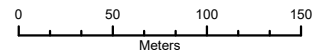
LEGEND

-  D-EAO - Area to be deleted from an Environmental Audit Overlay
-  Local Government Area

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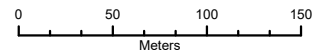
LEGEND

-  D-DPO - Area to be deleted from a Development Plan Overlay
-  Local Government Area

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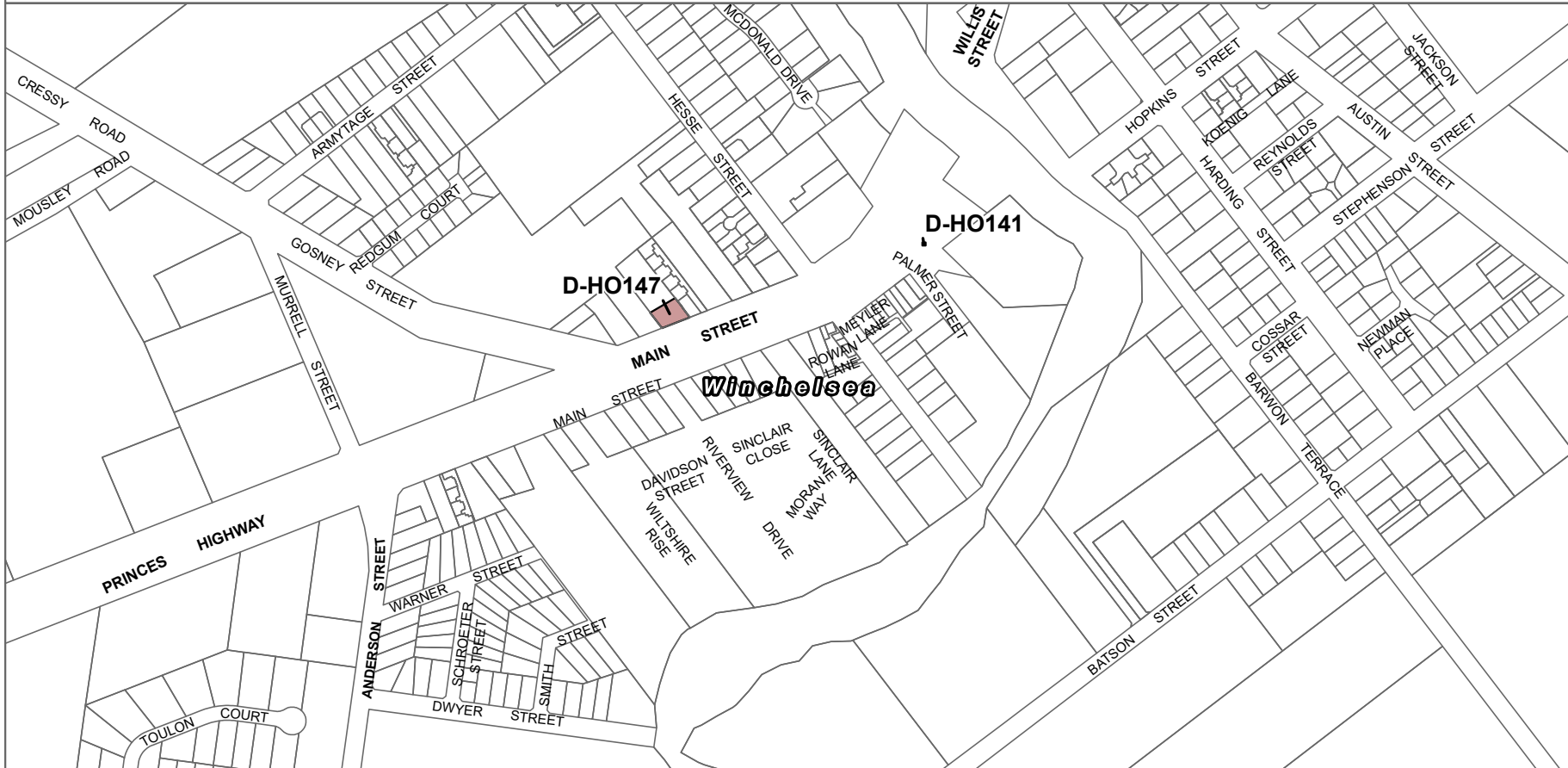


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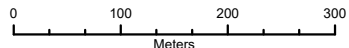
LEGEND

- D-HO - Area to be deleted from a Heritage Overlay
- Local Government Area

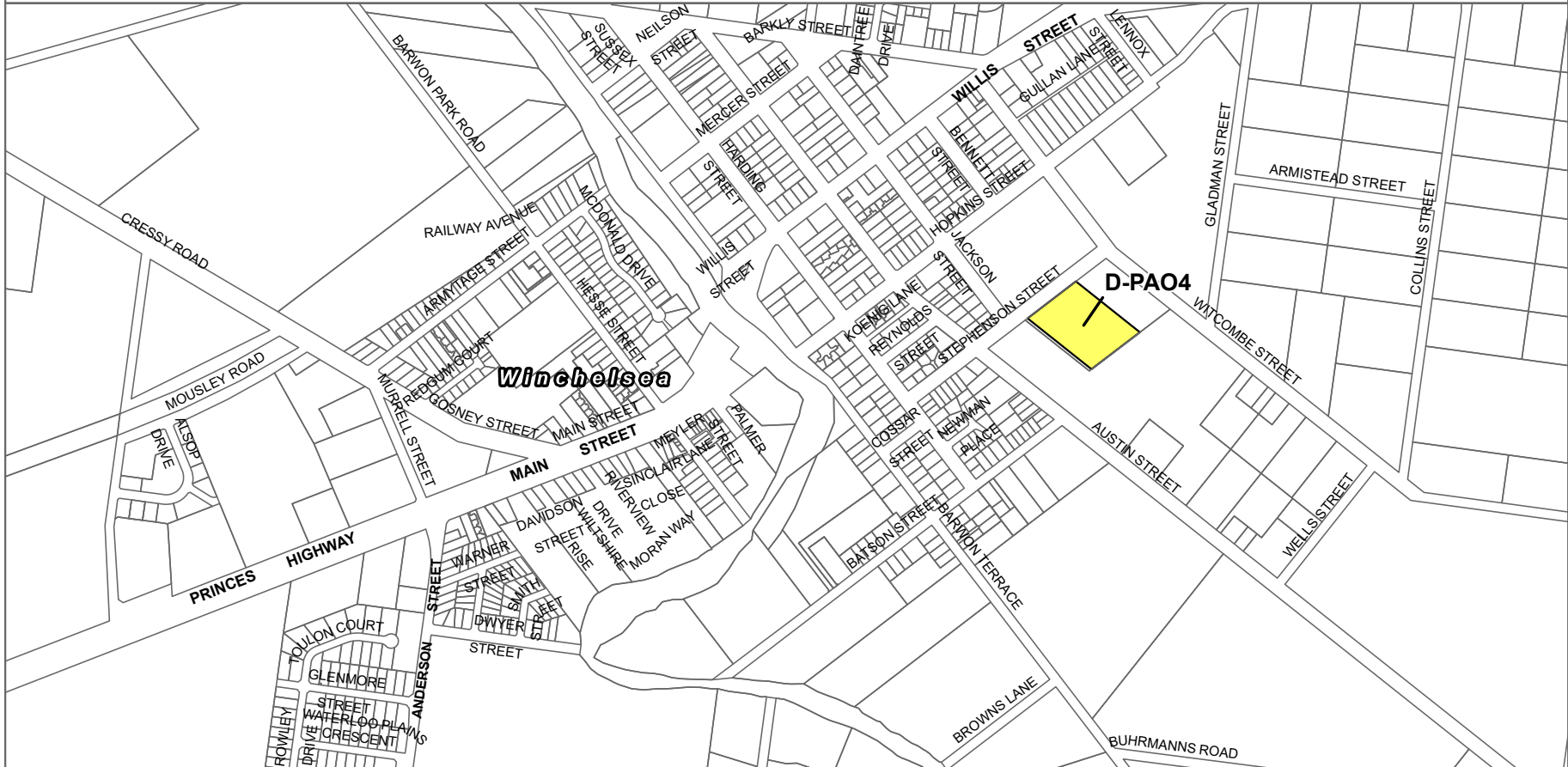
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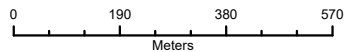
LEGEND

-  D-PAO - Area to be deleted from a Public Acquisition Overlay
-  Local Government Area

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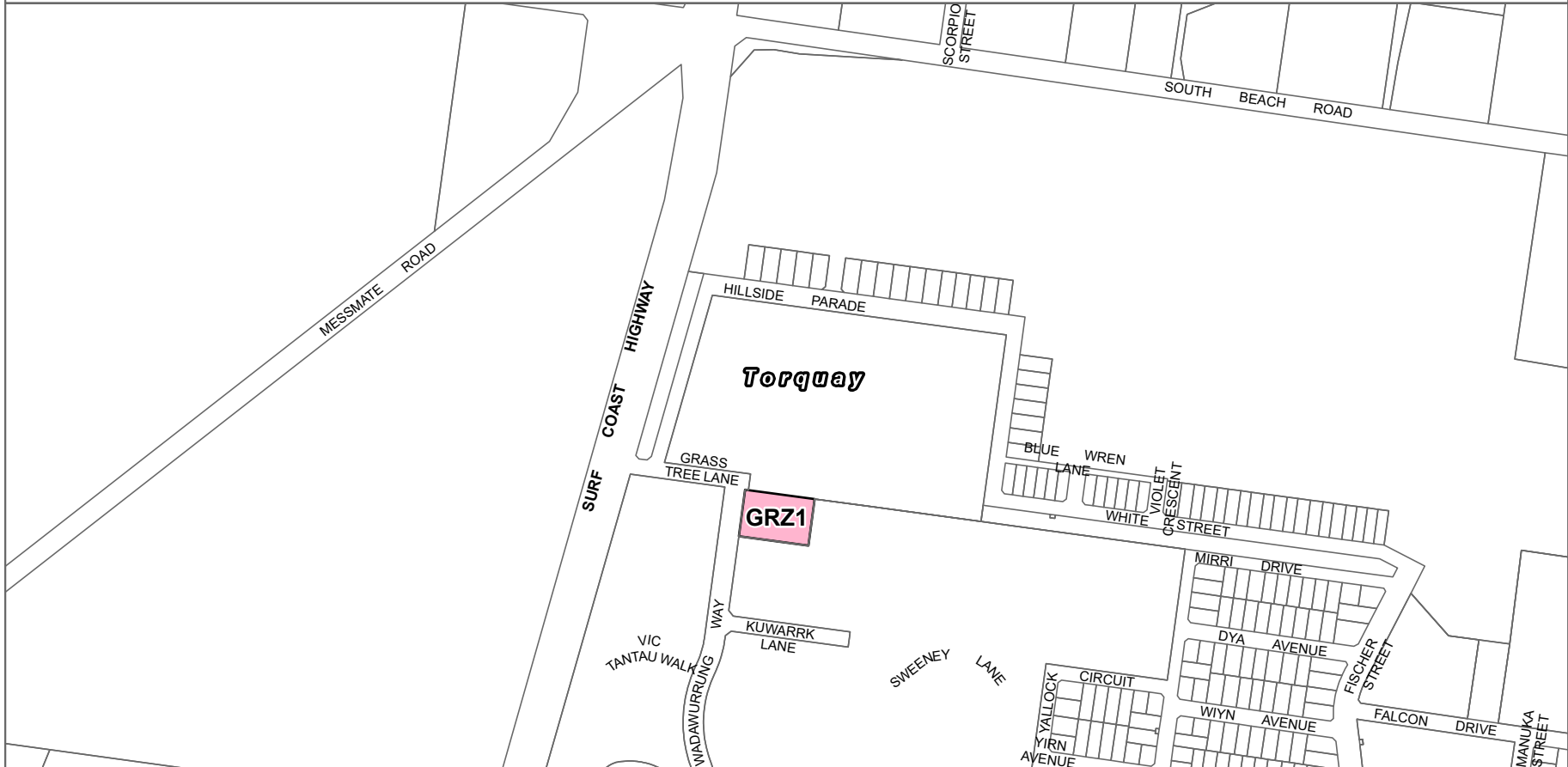


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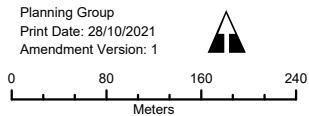
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AMENDMENT C140surf



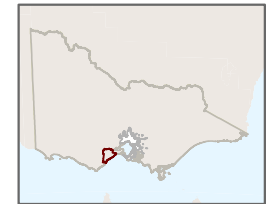
- LEGEND**
- GRZ - General Residential Zone
 - Local Government Area

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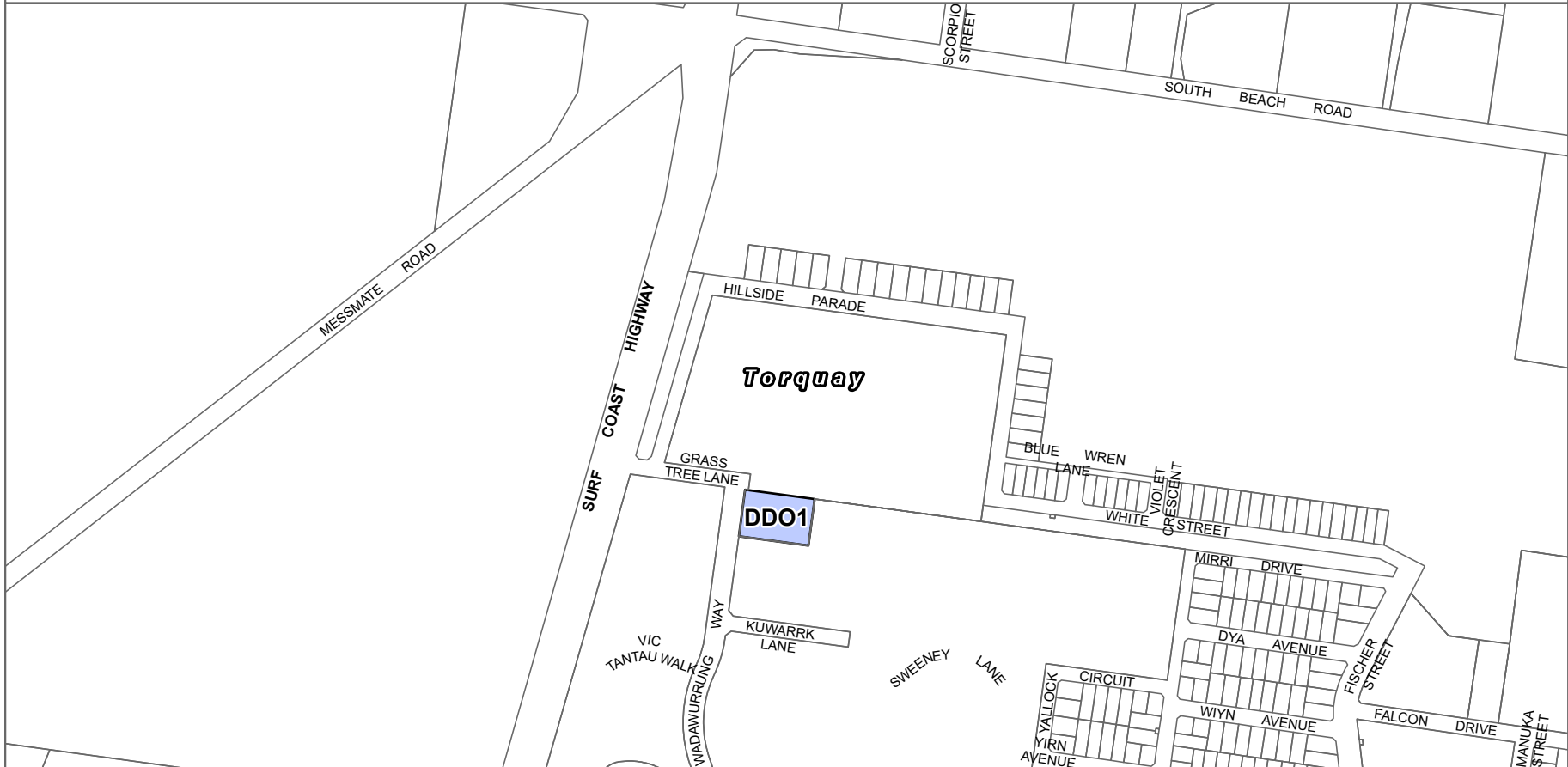
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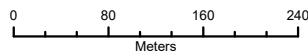
LEGEND

-  DDO1 - Design and Development Overlay - Schedule 1
-  Local Government Area

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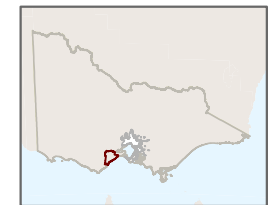
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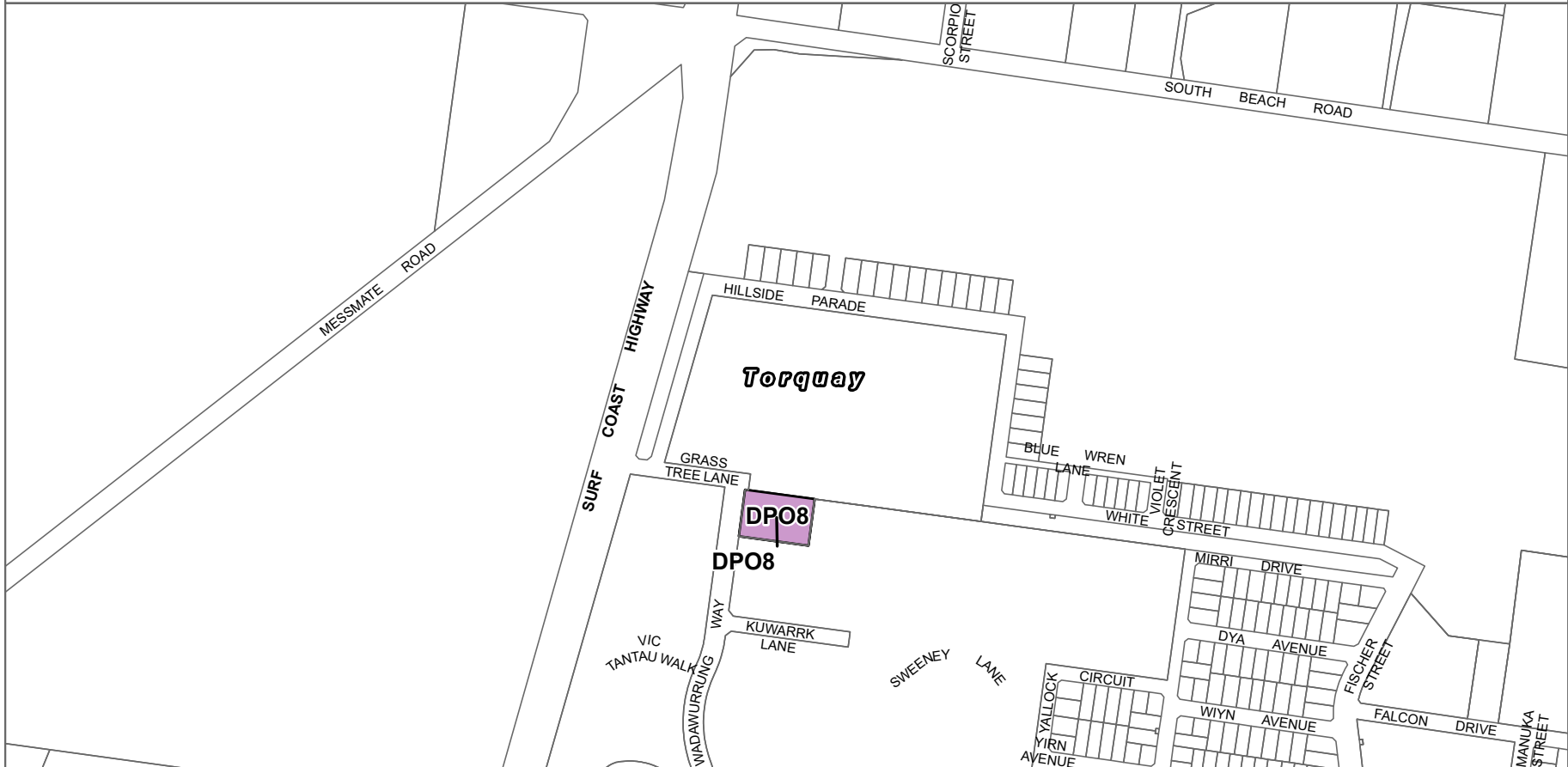


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**SURF COAST PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C140surf**



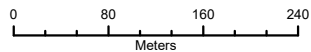
LEGEND

-  DPO8 - Development Plan Overlay - Schedule 8
-  Local Government Area

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**SURF COAST PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C140surf**



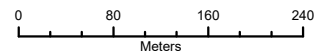
LEGEND

- D-ESO - Area to be deleted from an Environmental Significance Overlay
- Local Government Area

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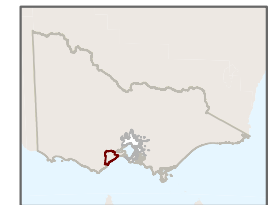
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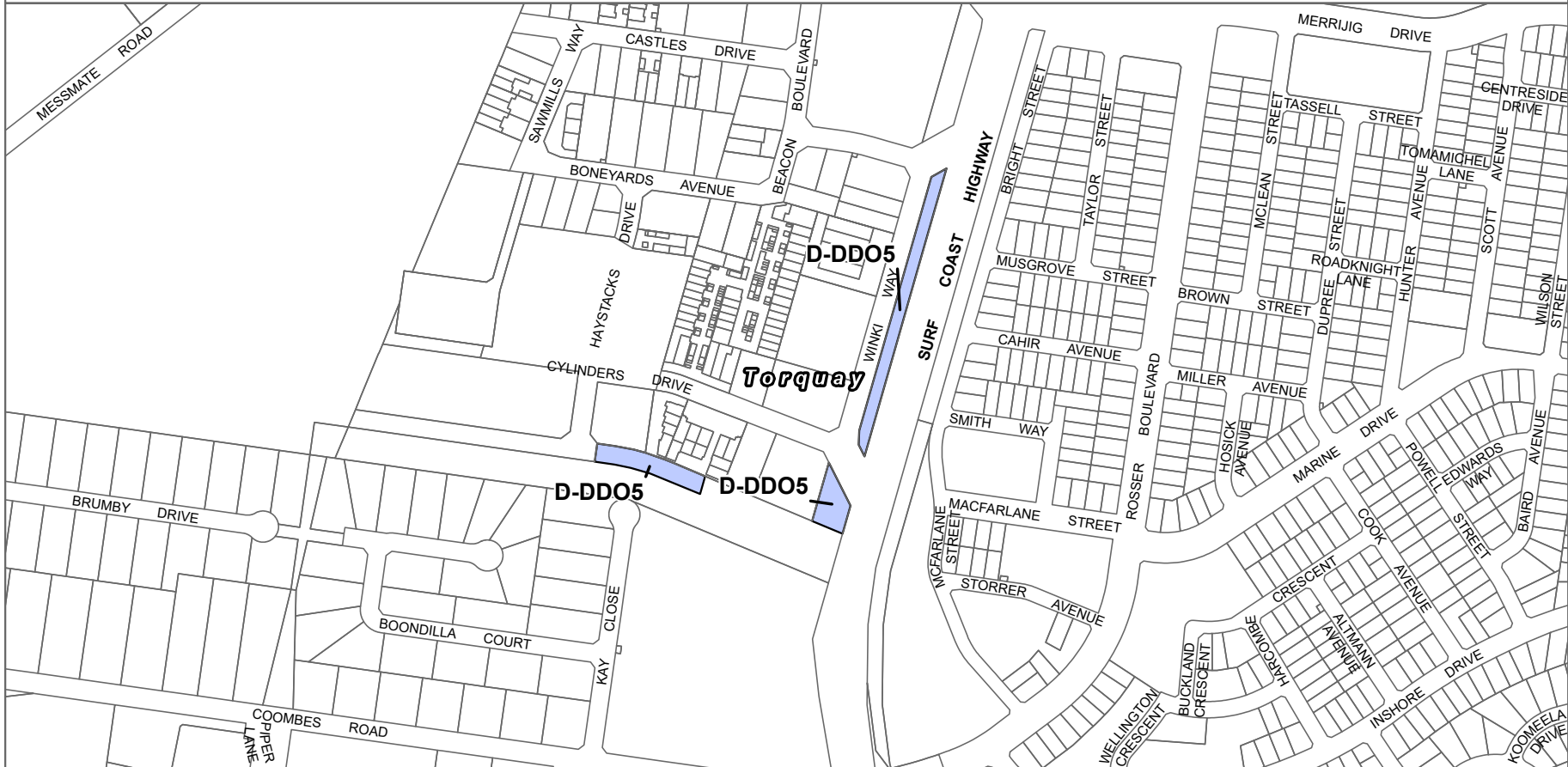


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**SURF COAST PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C140surf**



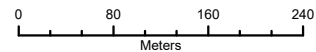
LEGEND

-  D-DDO - Area to be deleted from a Design and Development Overlay
-  Local Government Area

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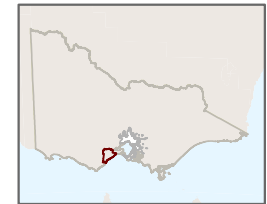
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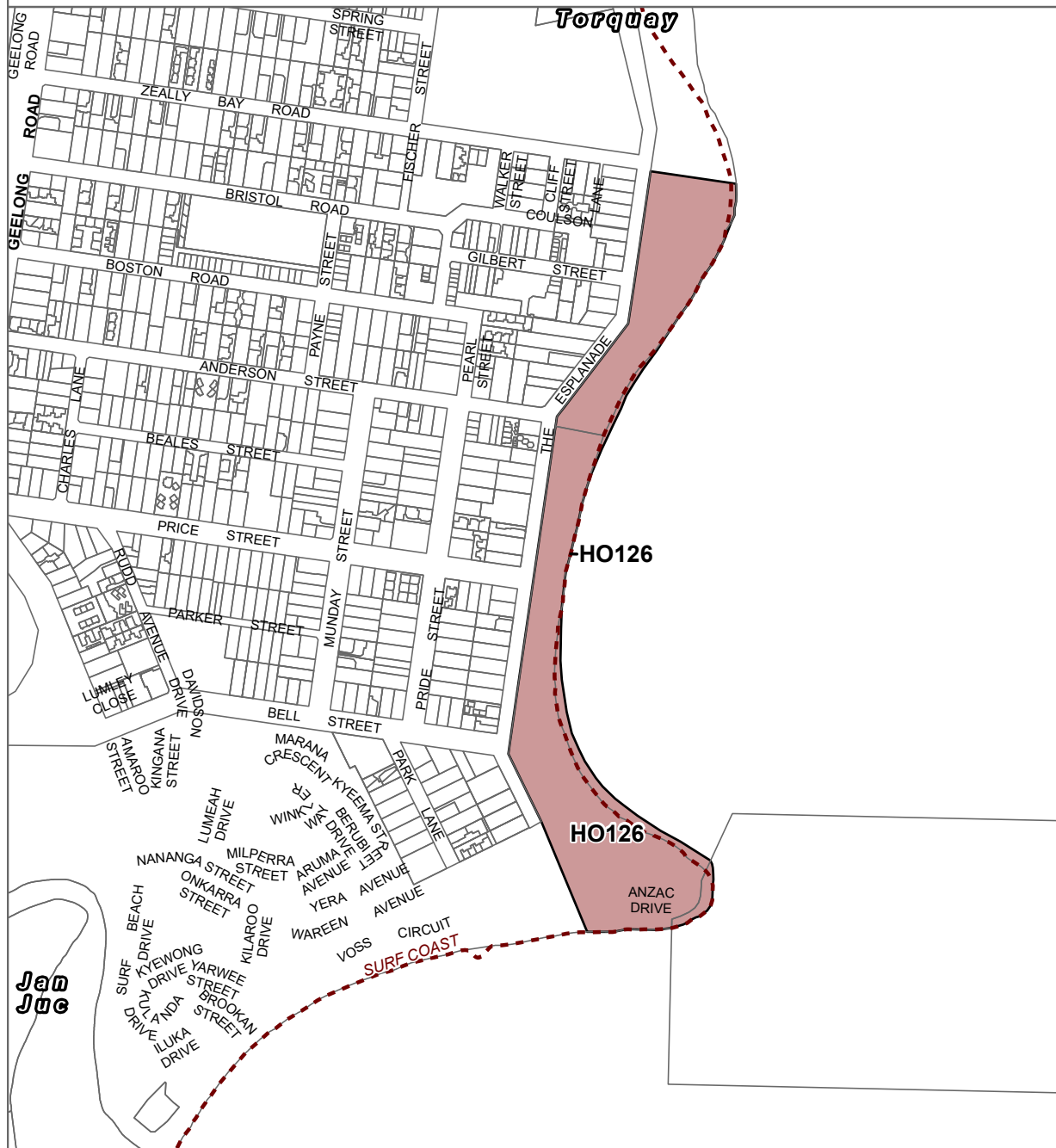


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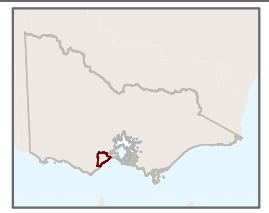


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AMENDMENT C140surf**



LEGEND

- HO - Heritage Overlay
- Local Government Area



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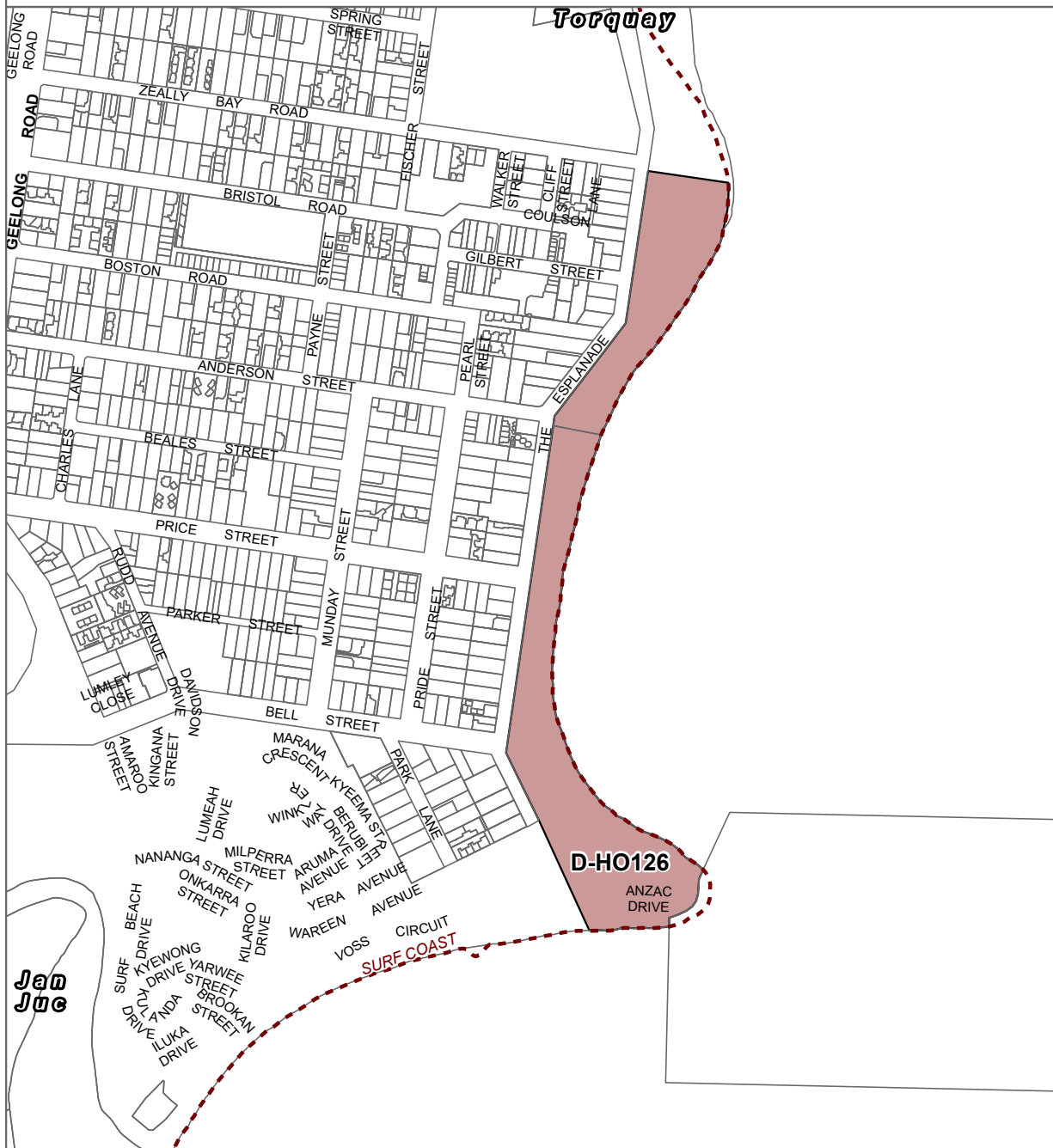
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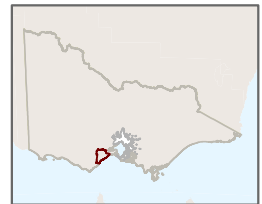


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AMENDMENT C140surf**



LEGEND

- D-HO - Area to be deleted from a Heritage Overlay
- Local Government Area



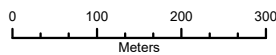
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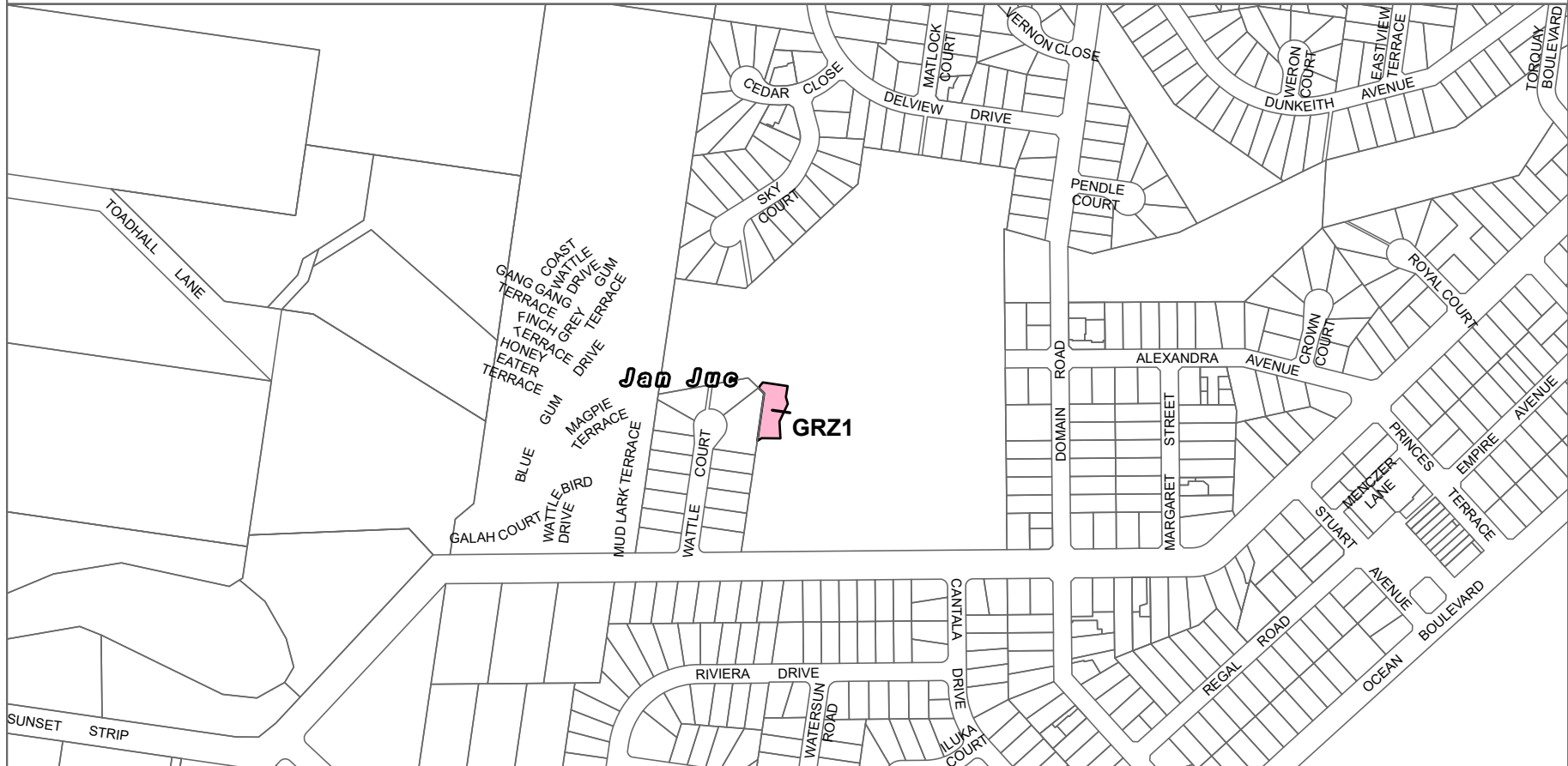
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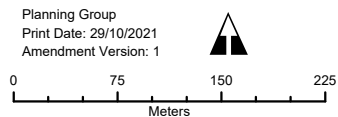
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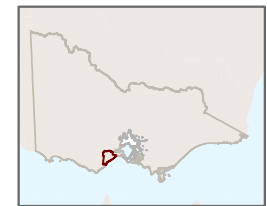
- LEGEND**
- GRZ - General Residential Zone
 - Local Government Area

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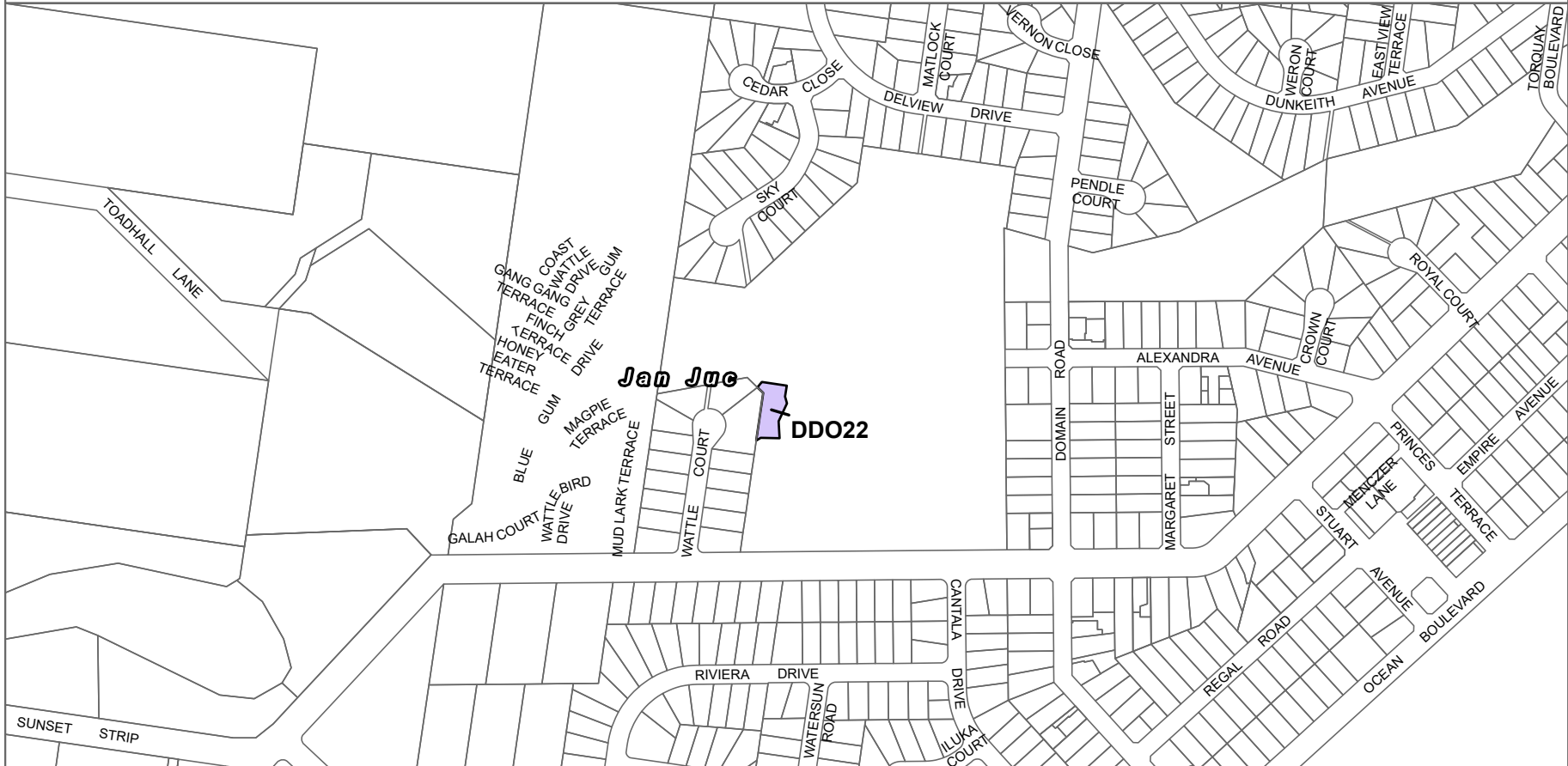
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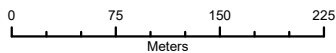
LEGEND

-  DDO22 - Design and Development Overlay - Schedule 22
-  Local Government Area

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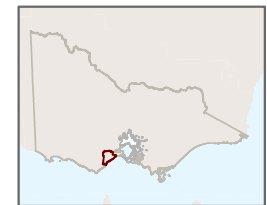
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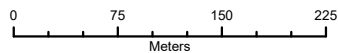
LEGEND

-  SLO6 - Significant Landscape Overlay - Schedule 6
-  Local Government Area

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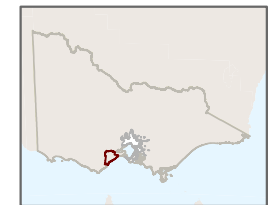
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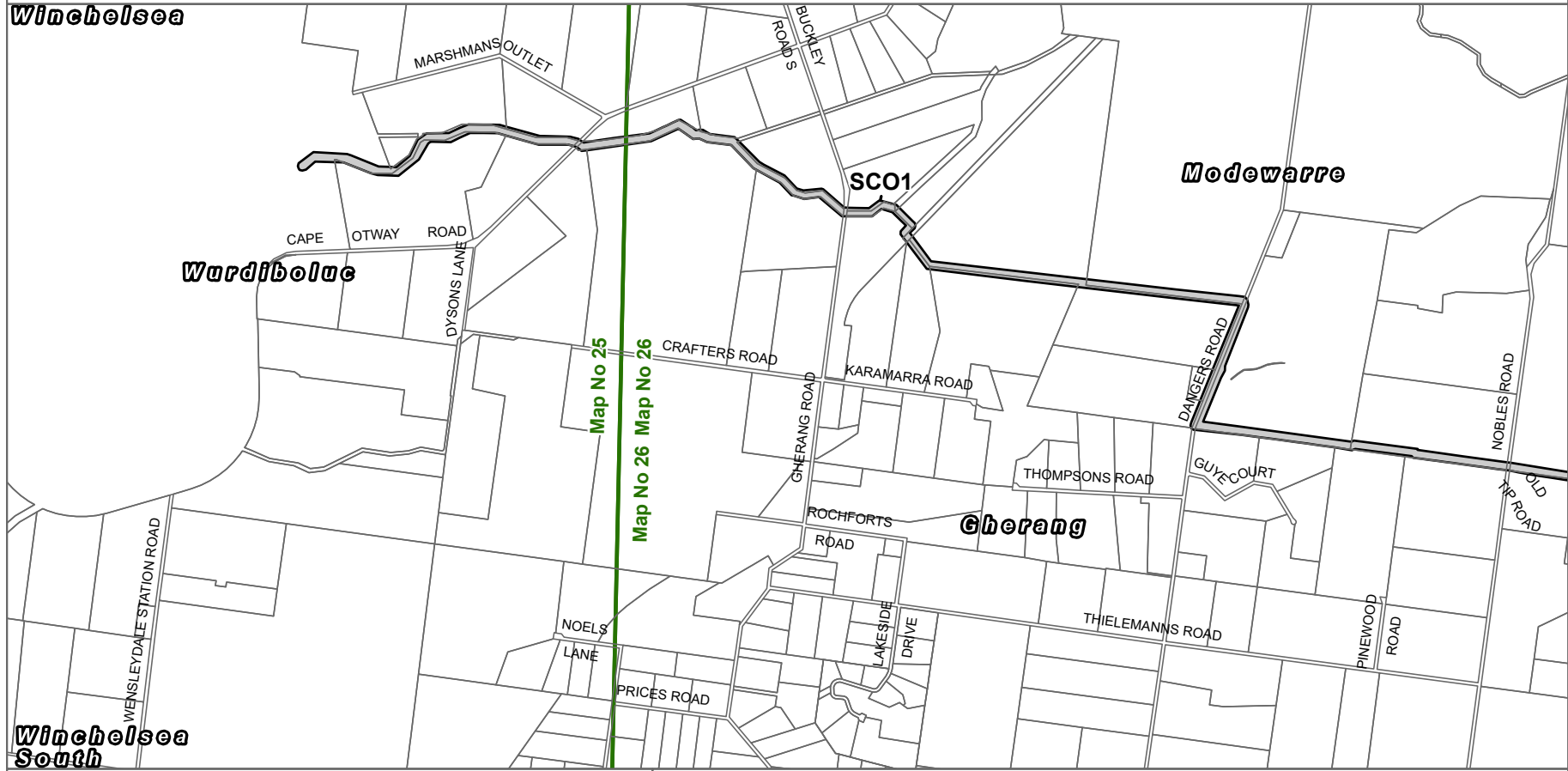


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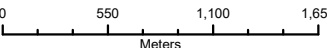
LEGEND

-  SCO1 - Specific Controls Overlay - Schedule 1
-  Local Government Area

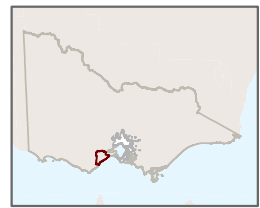
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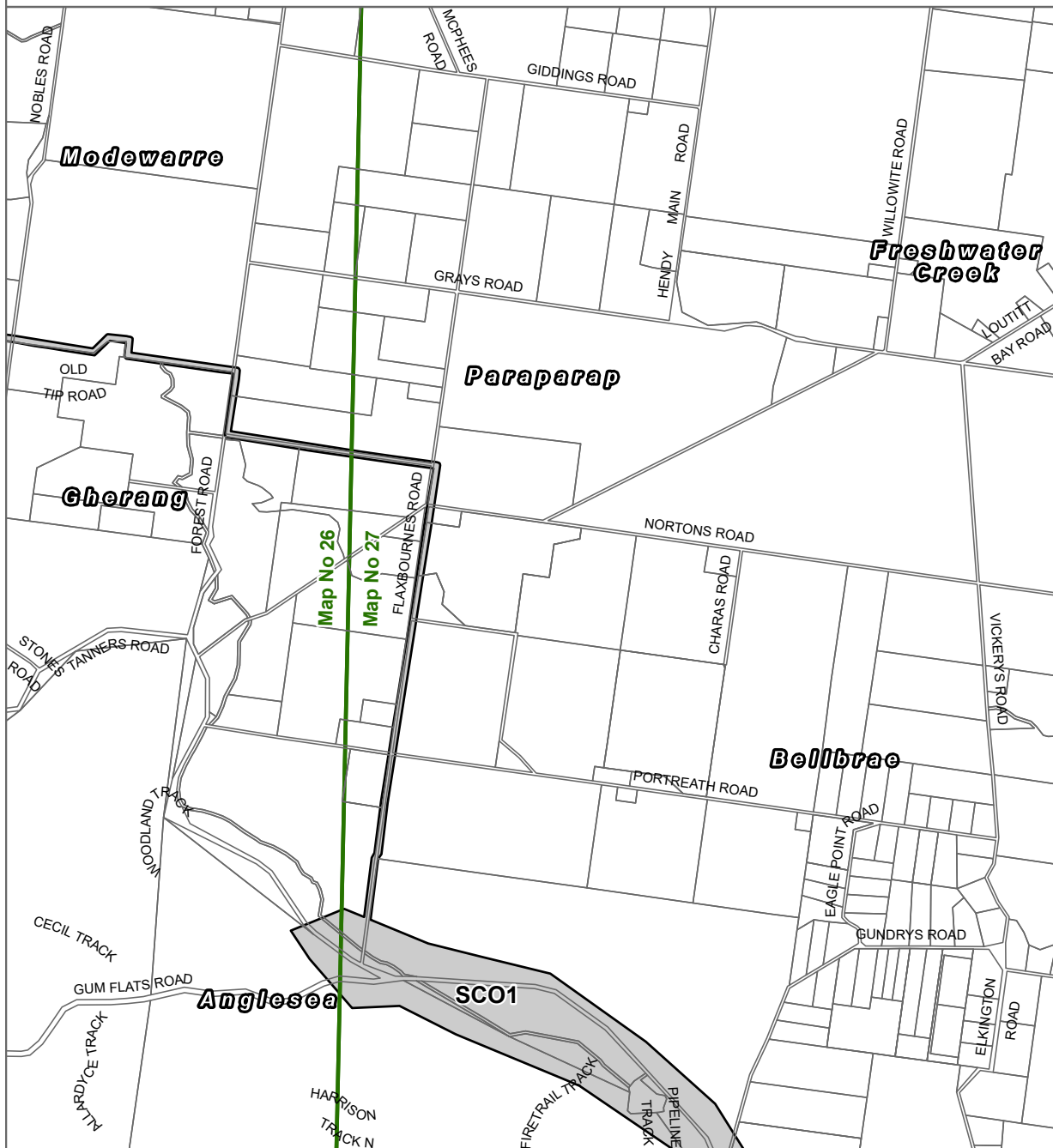
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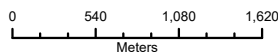
- SCO1 - Specific Controls Overlay - Schedule 1
- Local Government Area



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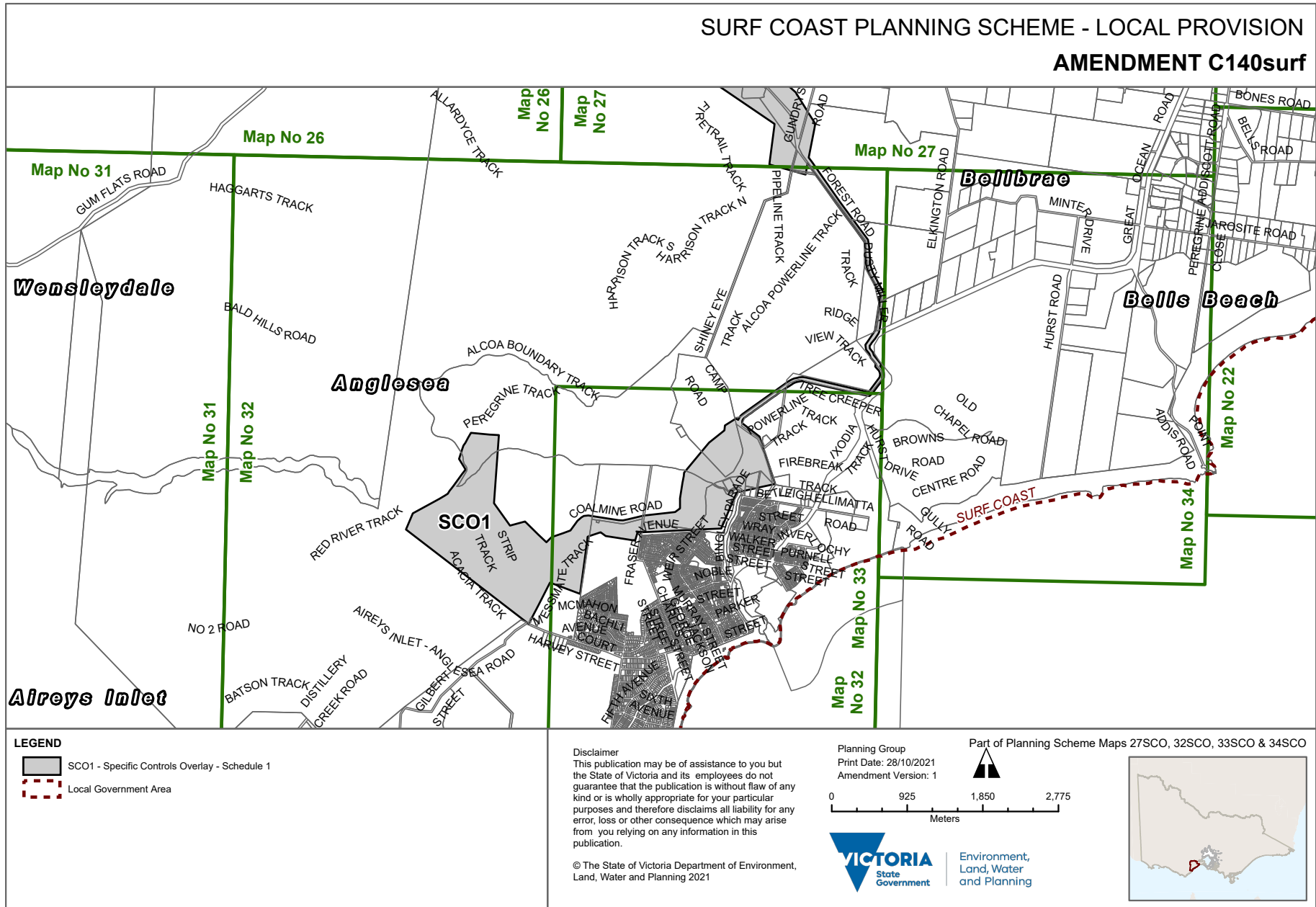
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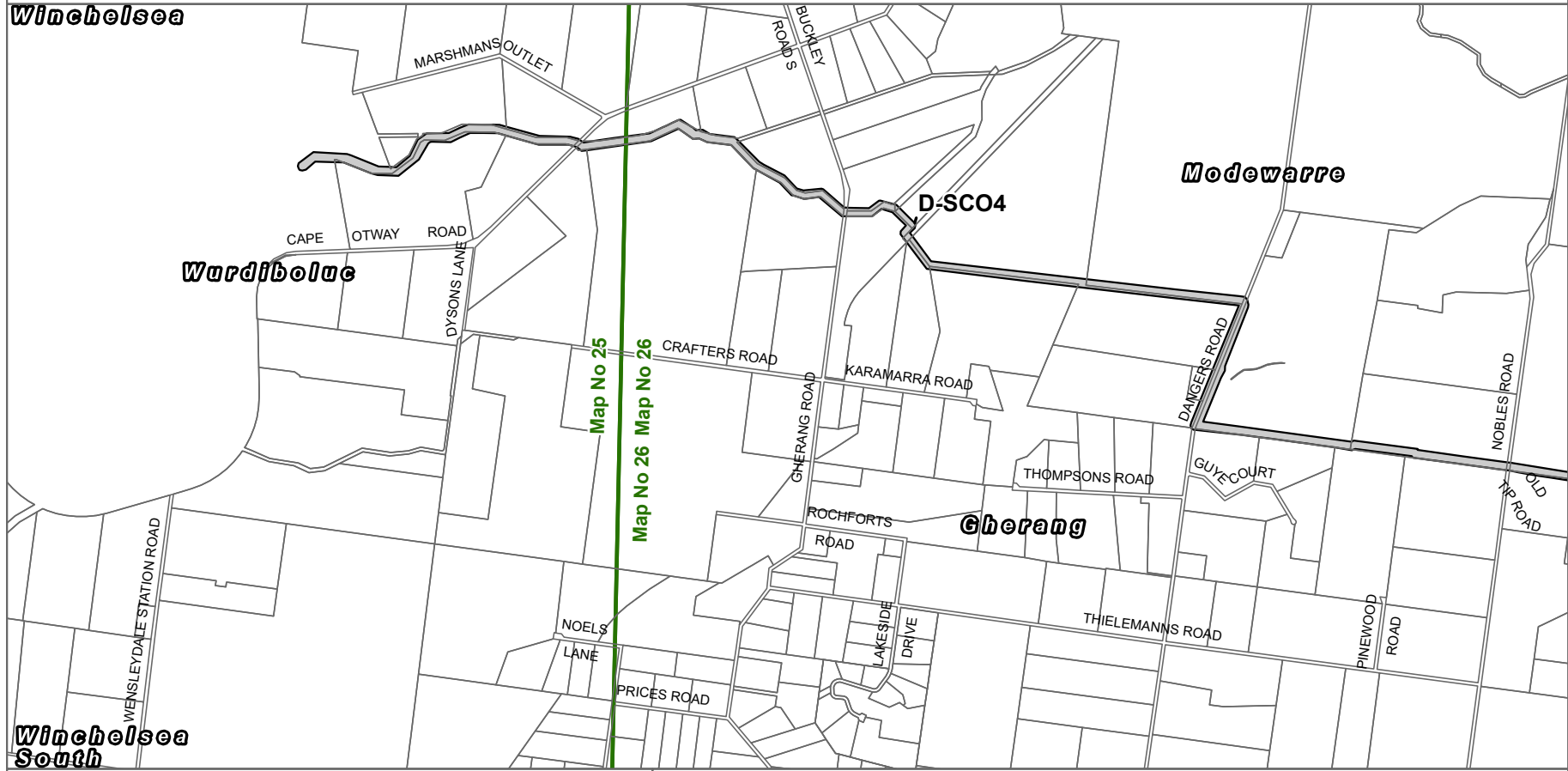
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LEGEND
 D-SCO - Area to be deleted from a Specific Controls Overlay
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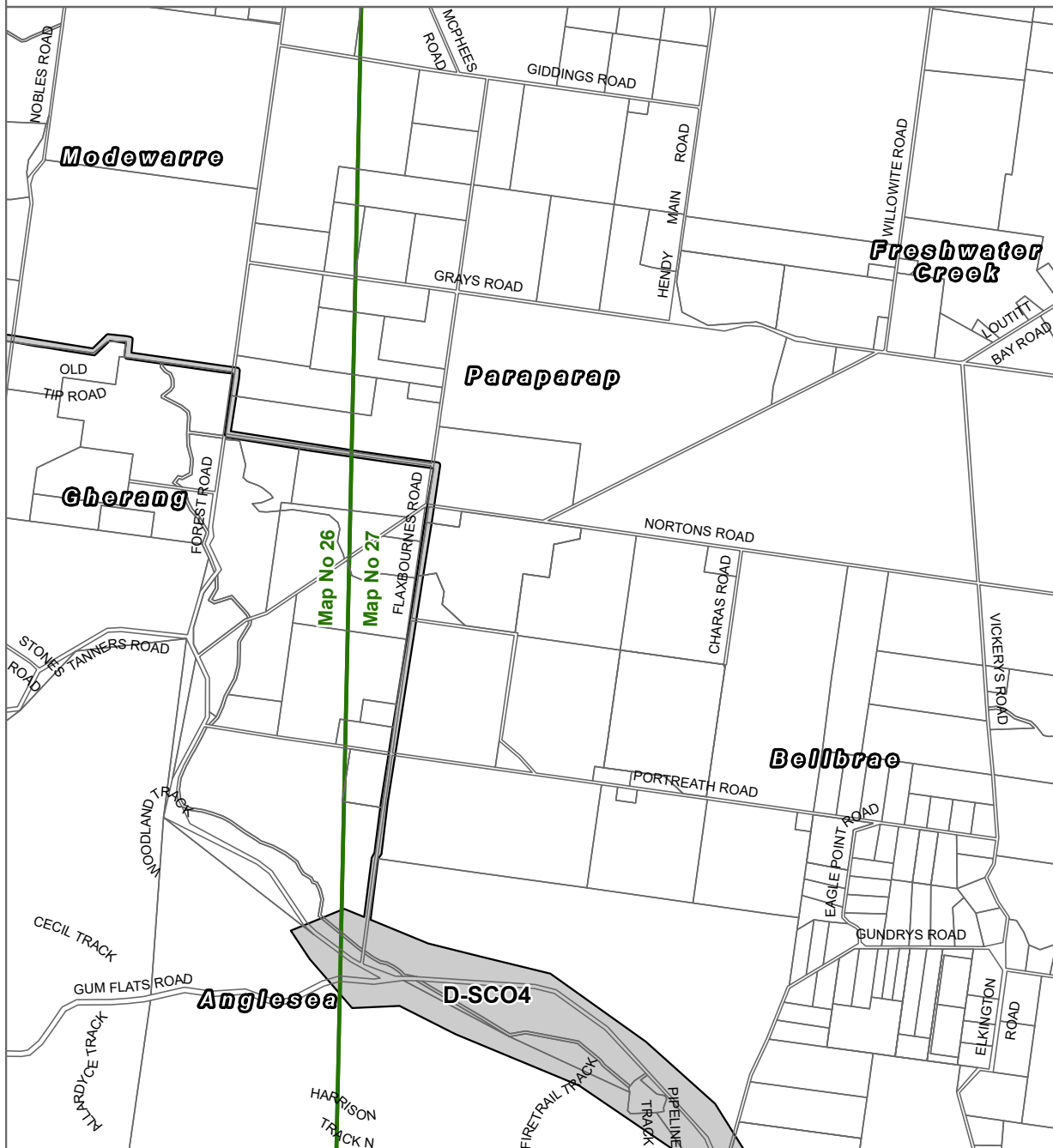
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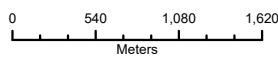
-  D-SCO - Area to be deleted from a Specific Controls Overlay
-  Local Government Area



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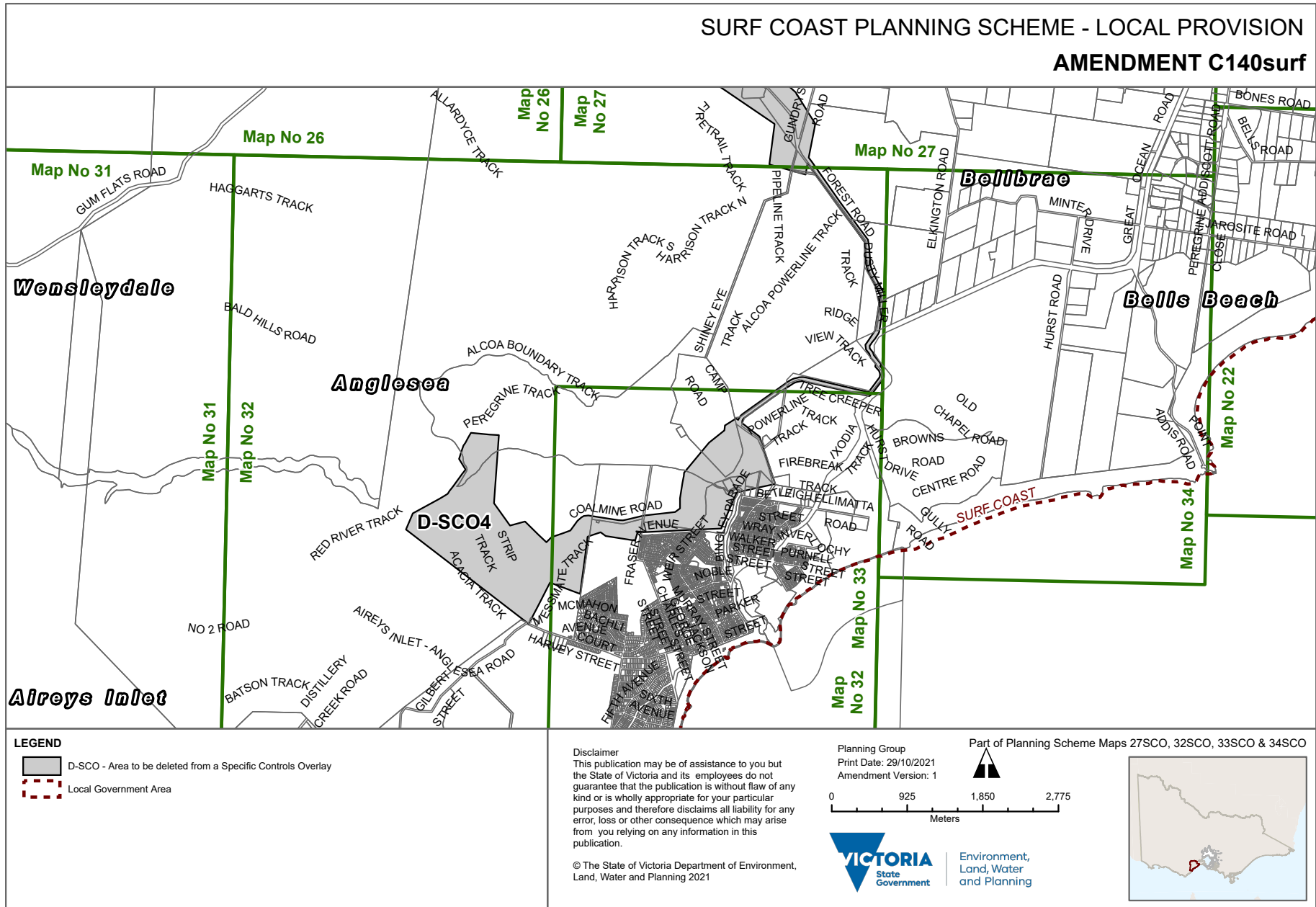
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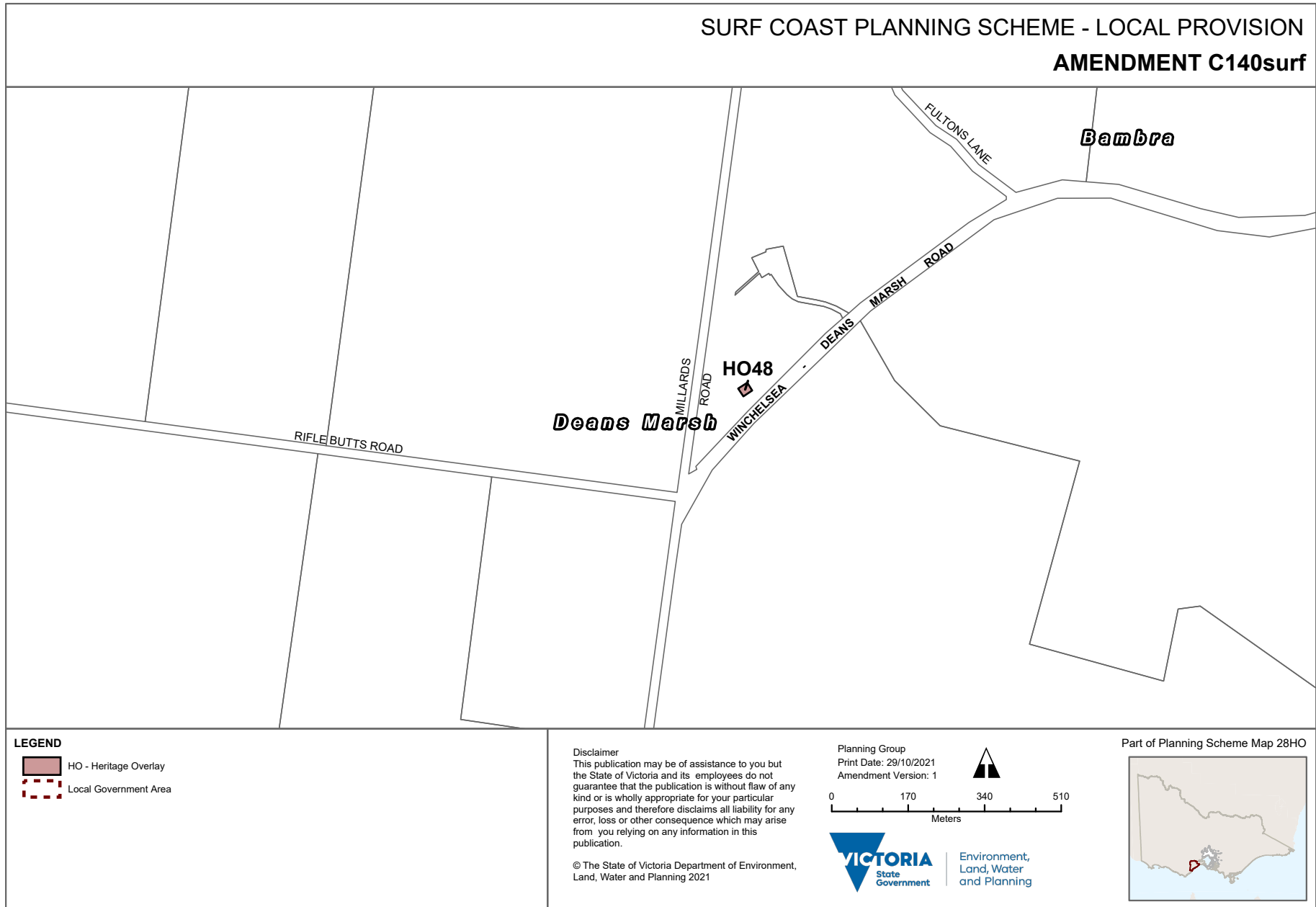


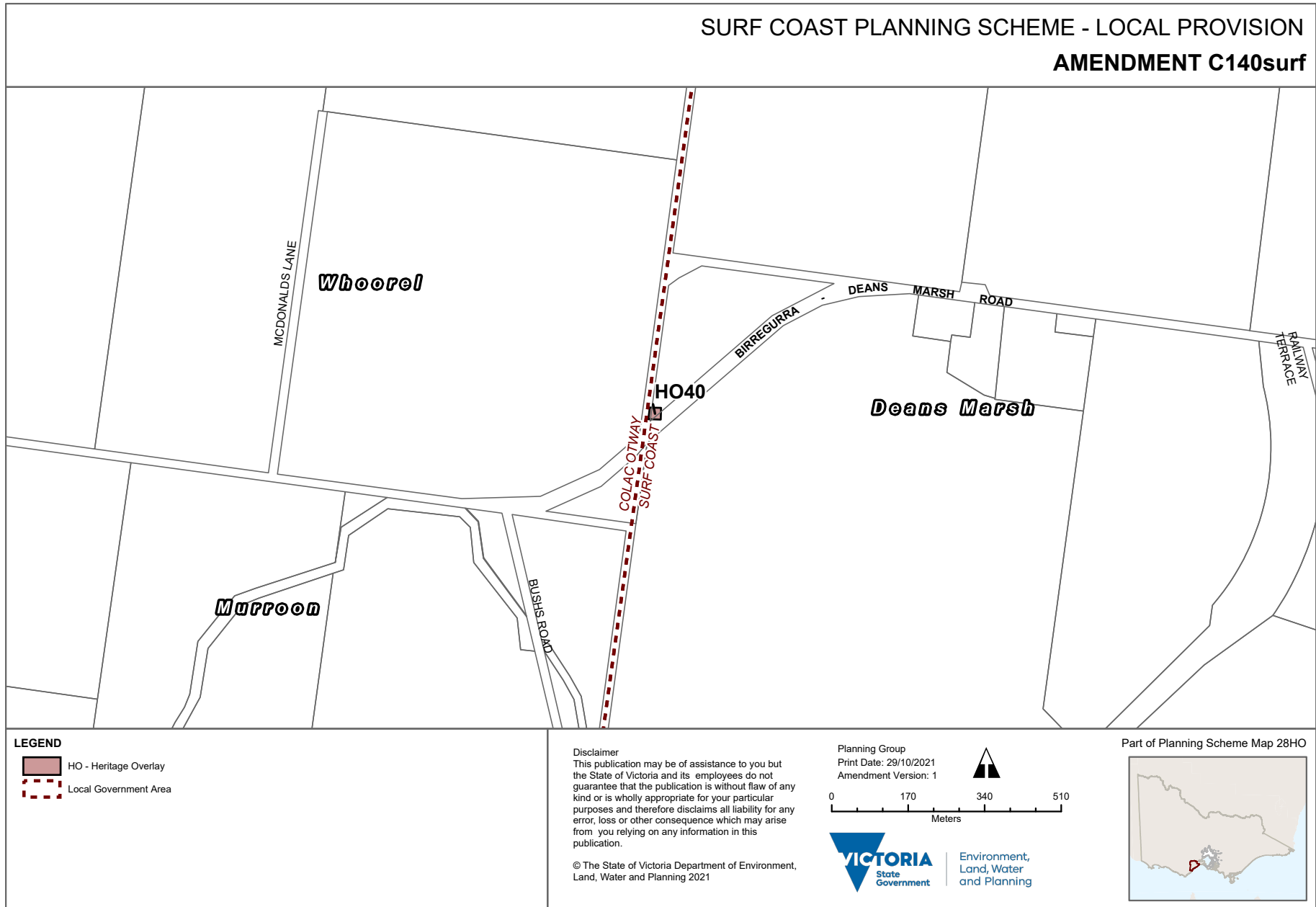
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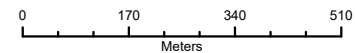
LEGEND

-  D-HO - Area to be deleted from a Heritage Overlay
-  Local Government Area

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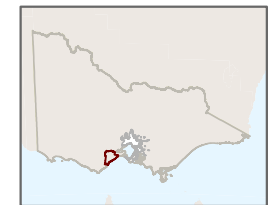
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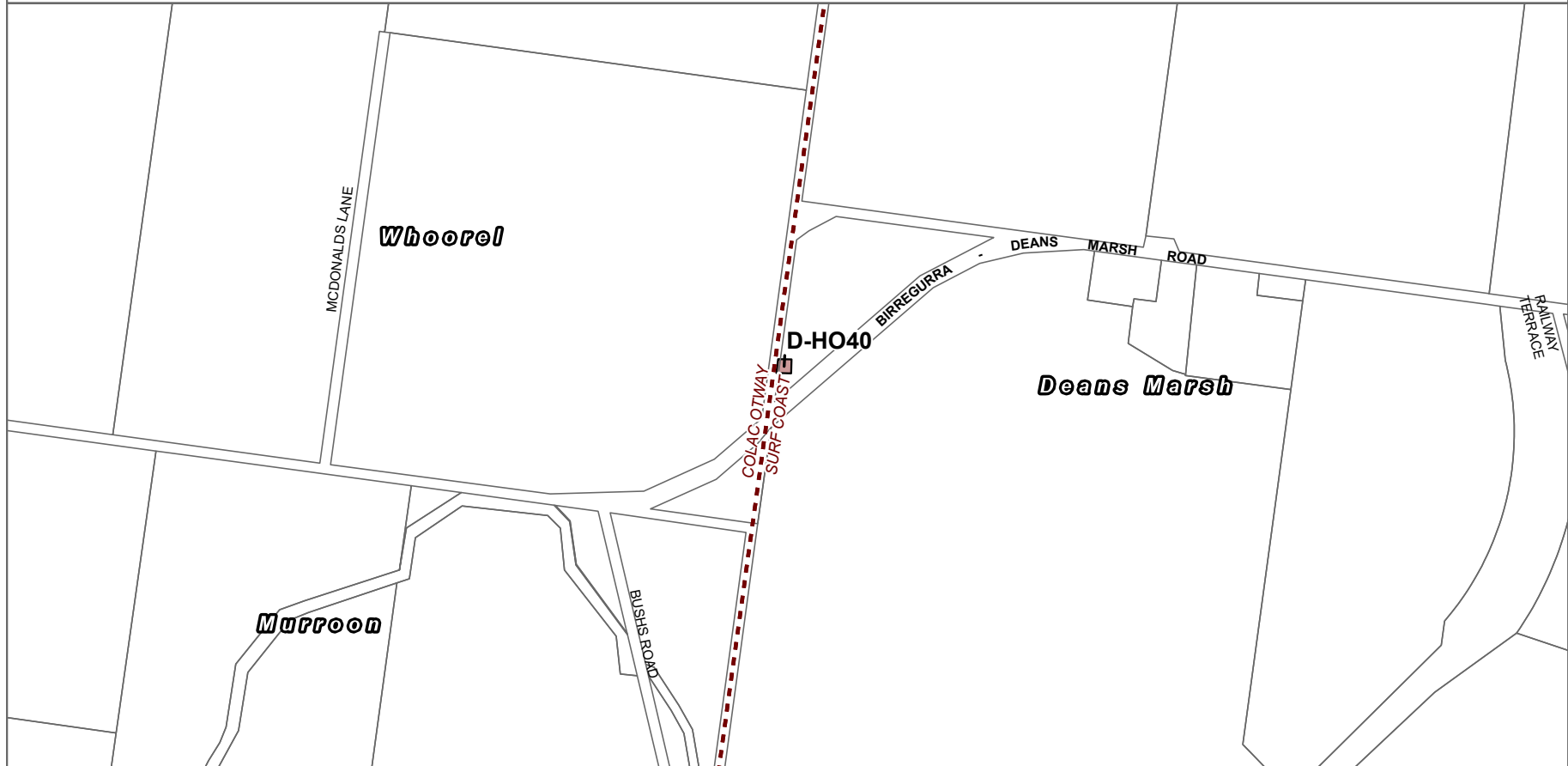


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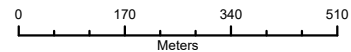
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-  D-HO - Area to be deleted from a Heritage Overlay
-  Local Government Area

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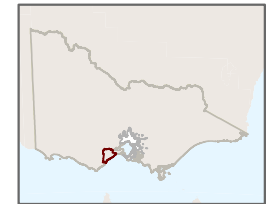
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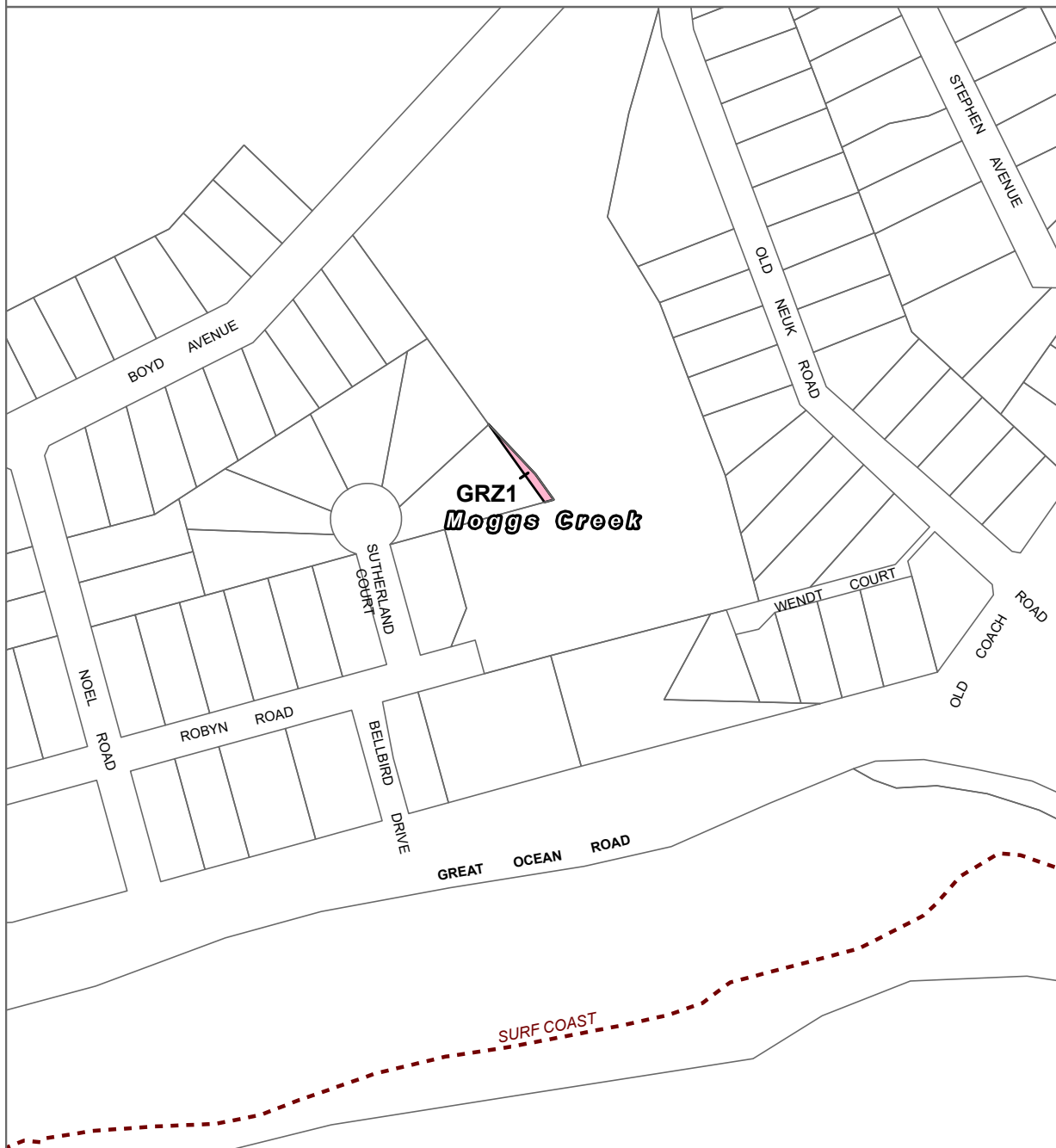


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LEGEND

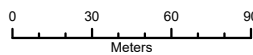
-  GRZ - General Residential Zone
-  Local Government Area



Part of Planning Scheme Map 39

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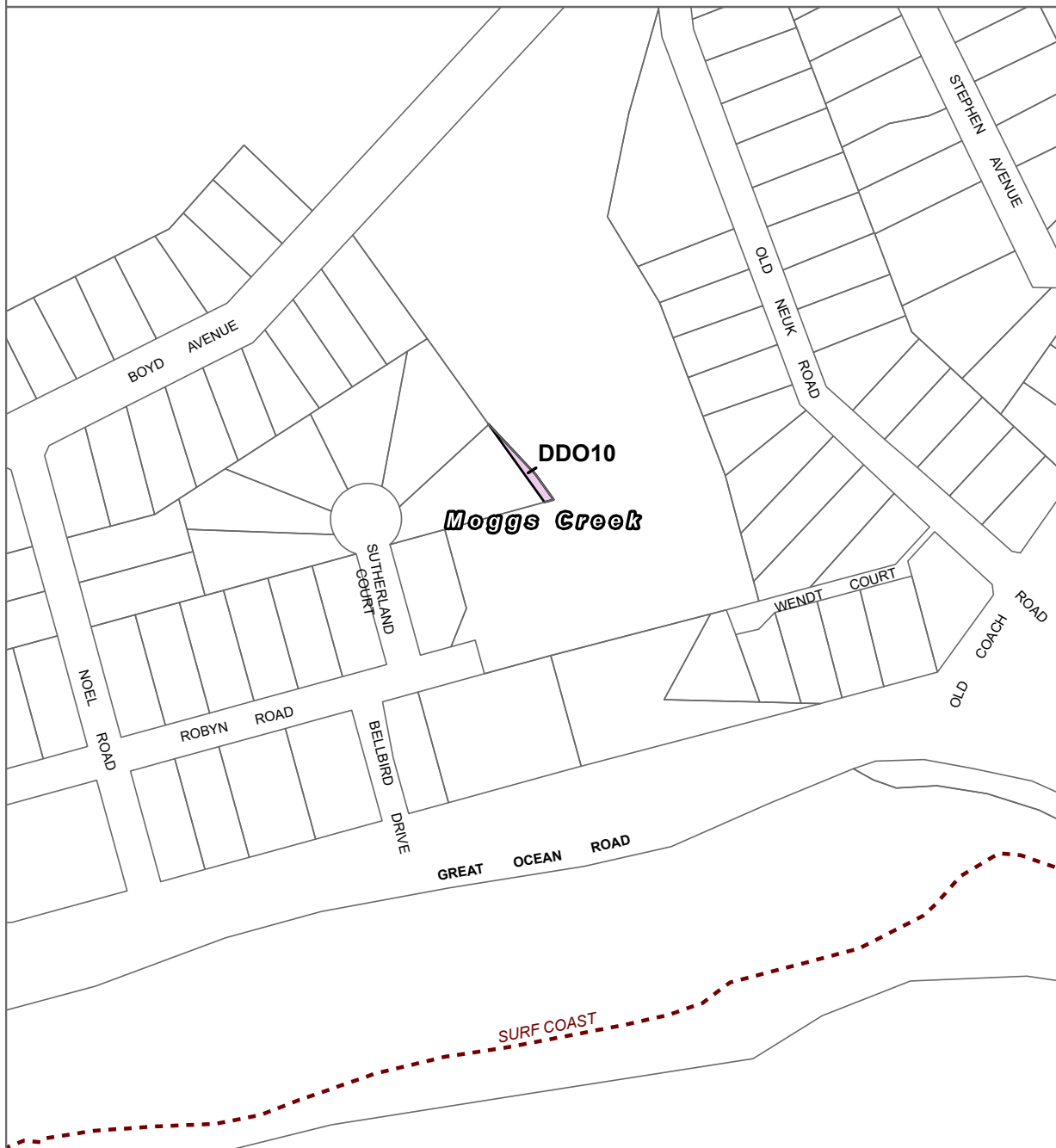
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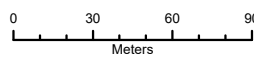
-  DDO10 - Design and Development Overlay - Schedule 10
-  Local Government Area



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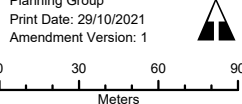
-  ESO4 - Environmental Significance Overlay - Schedule 4
-  Local Government Area



Part of Planning Scheme Map 39ESO

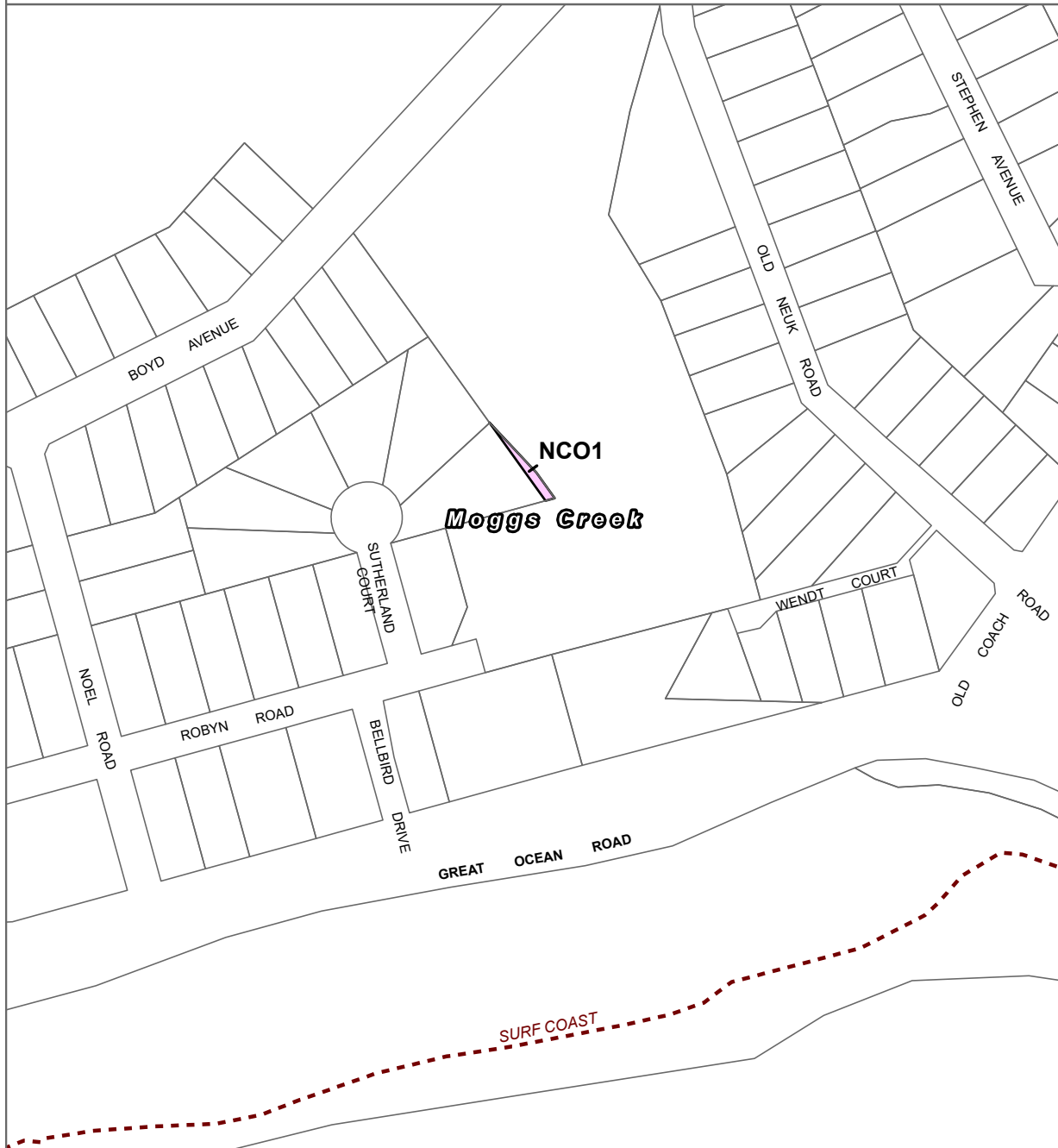
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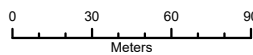
-  NCO1 - Neighbourhood Character Overlay - Schedule 1
-  Local Government Area



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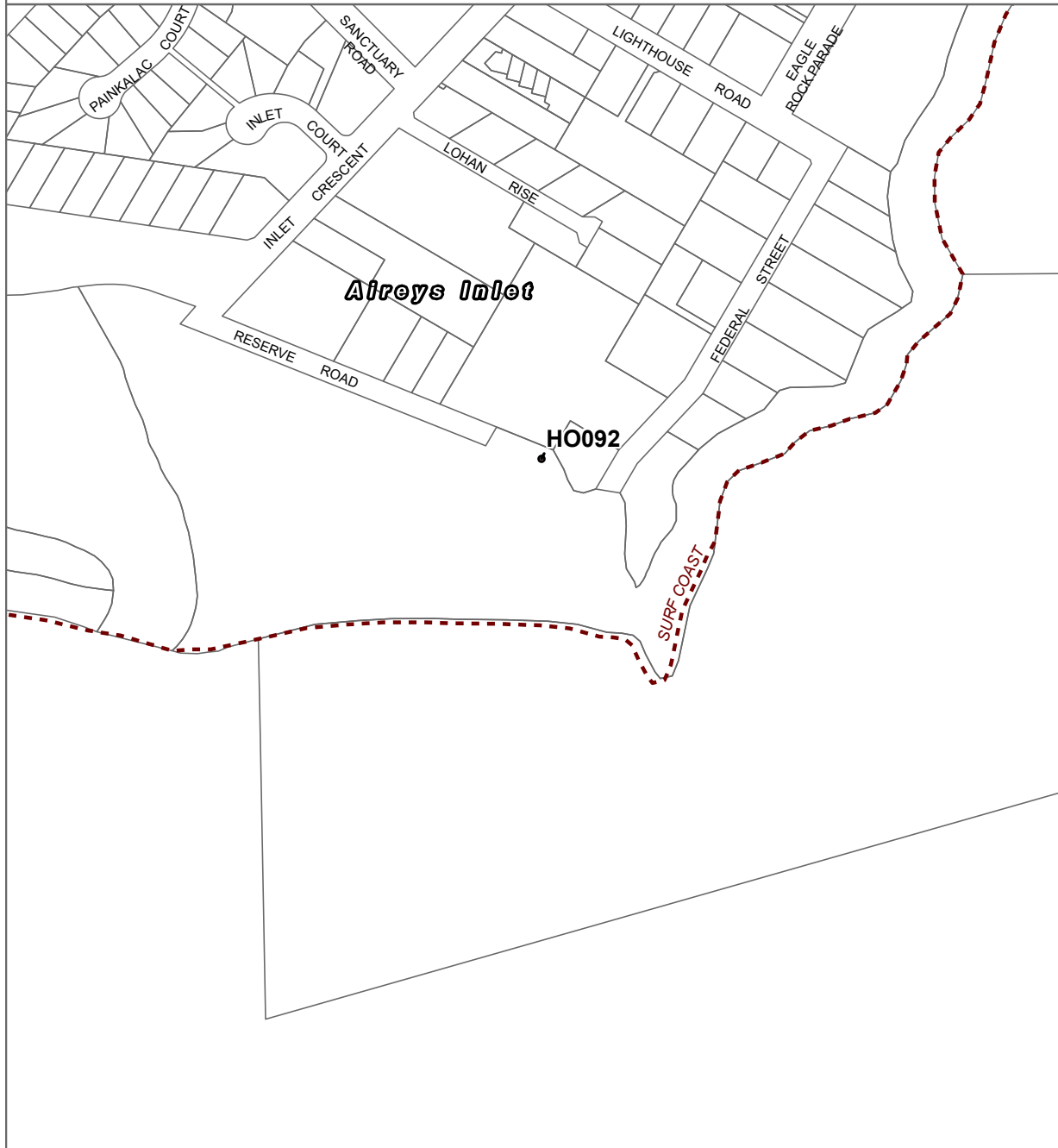
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LEGEND

-  HO - Heritage Overlay
-  Local Government Area

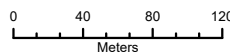


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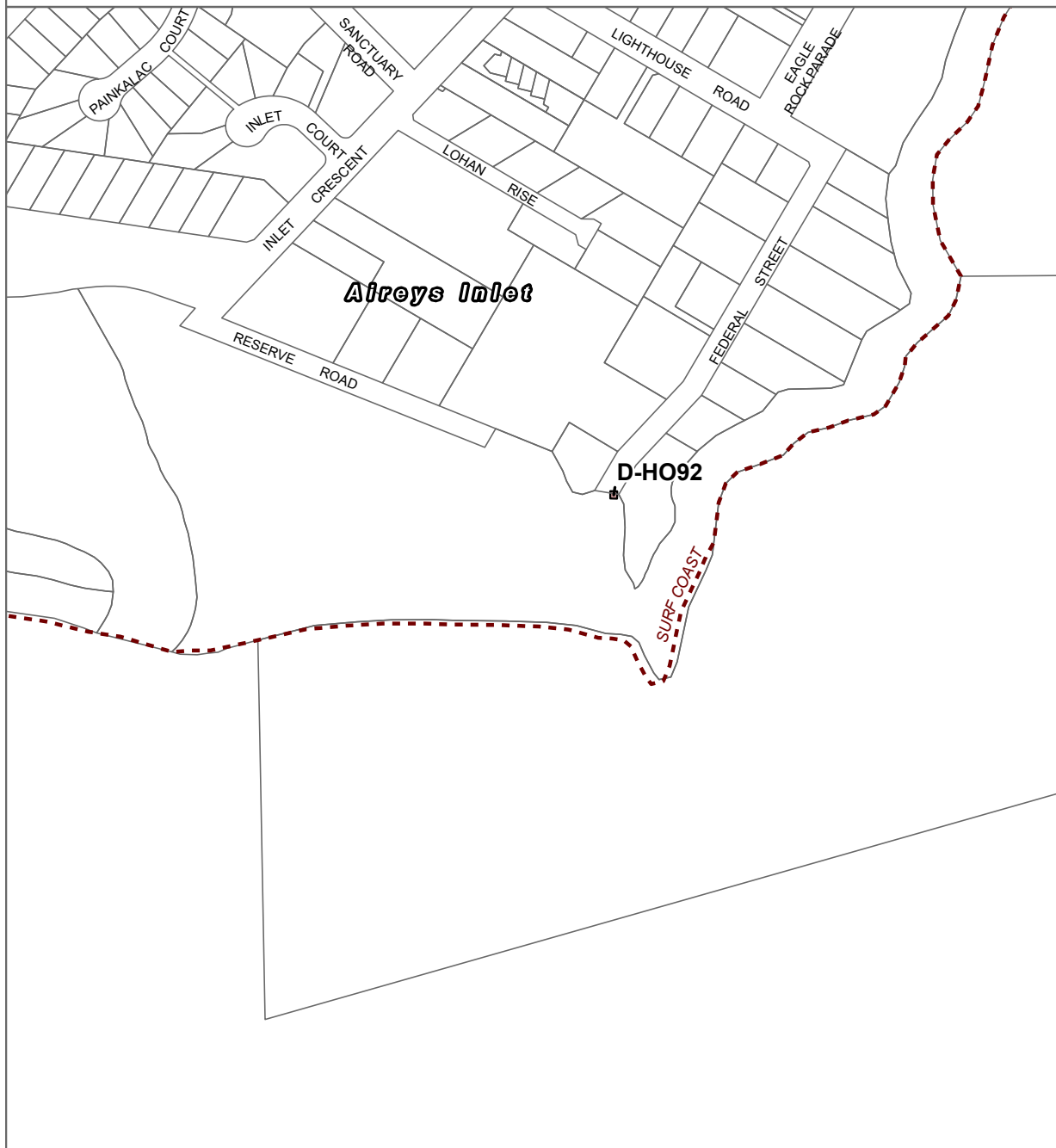
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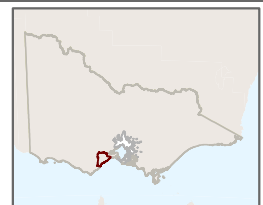
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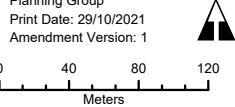
-  D-HO - Area to be deleted from a Heritage Overlay
-  Local Government Area



Part of Planning Scheme Map 40HO

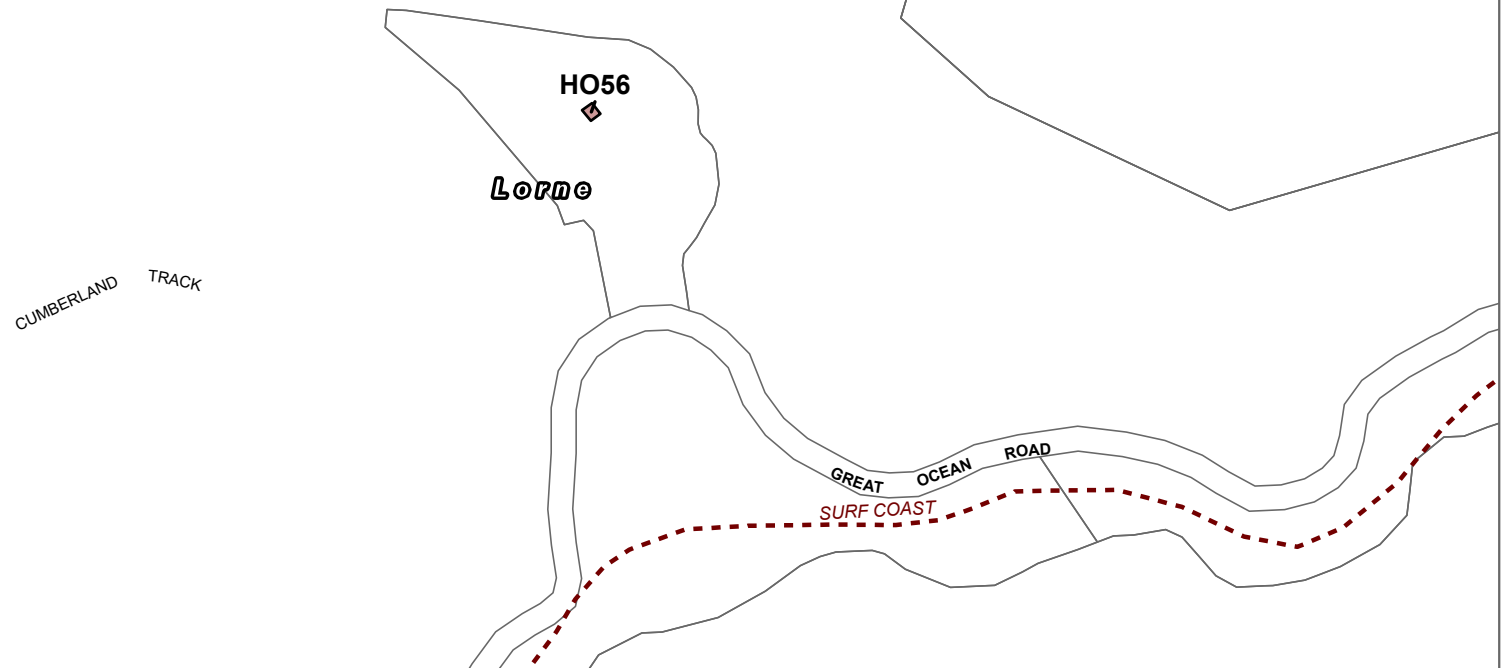
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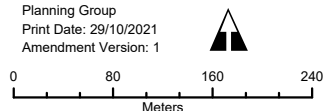


LEGEND

 HO - Heritage Overlay
 Local Government Area

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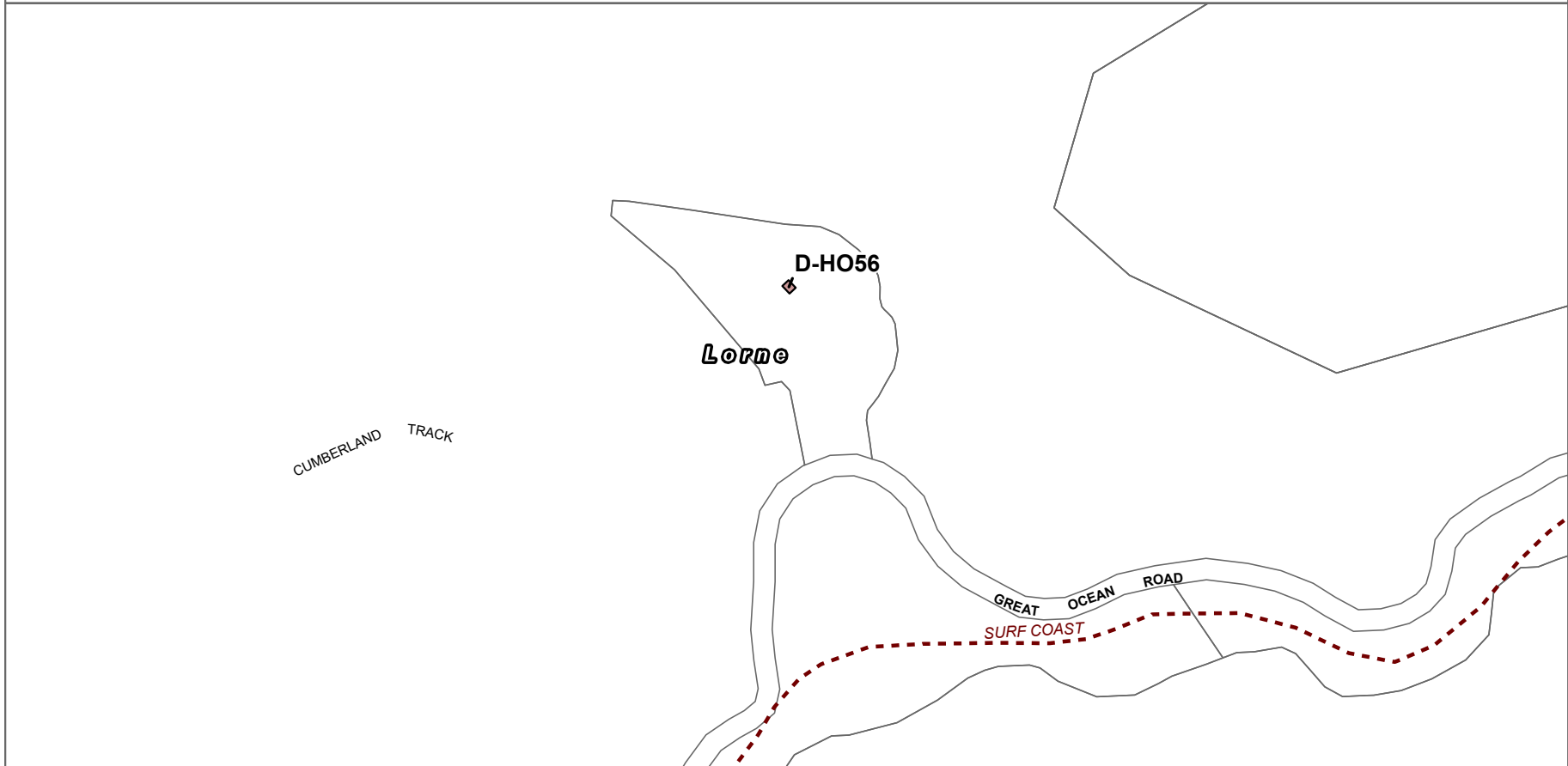
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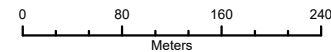
LEGEND

-  D-HO - Area to be deleted from a Heritage Overlay
-  Local Government Area

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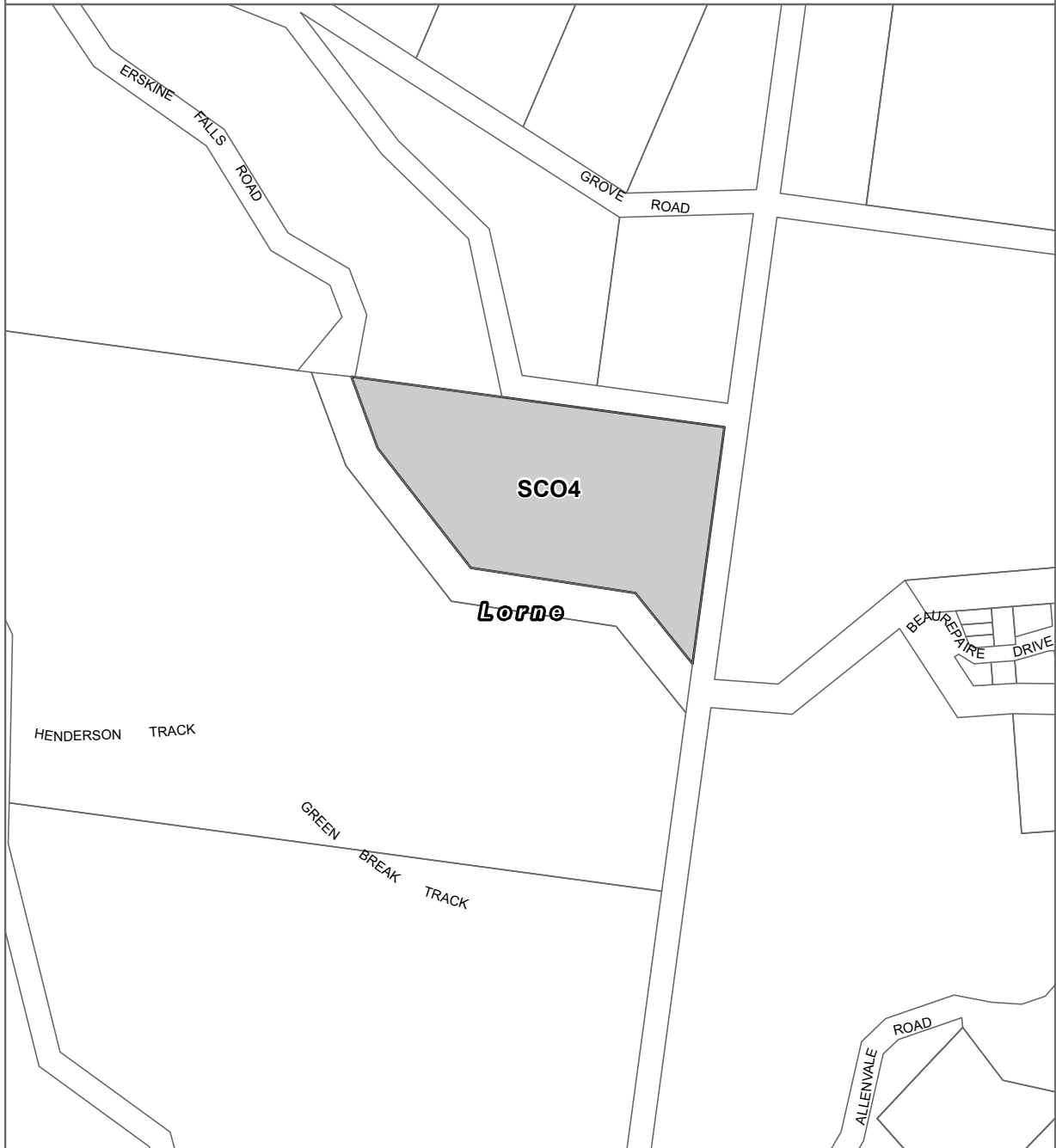


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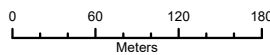
-  SCO4 - Specific Controls Overlay - Schedule 4
-  Local Government Area



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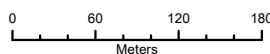
-  D-SCO - Area to be deleted from a Specific Controls Overlay
-  Local Government Area



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LEGEND

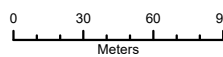
-  PPRZ - Public Park and Recreation Zone
-  Local Government Area



Part of Planning Scheme Map 43

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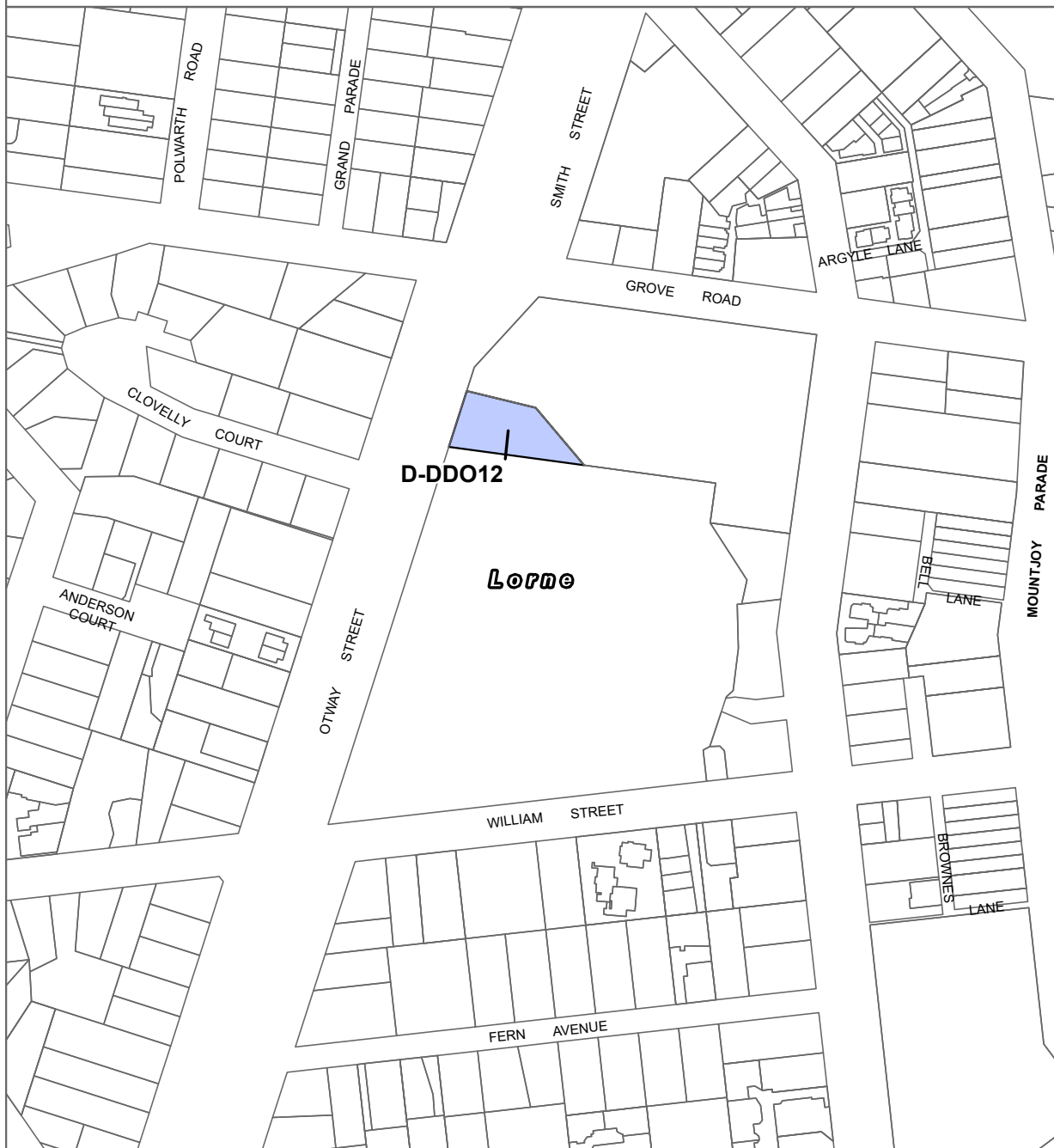
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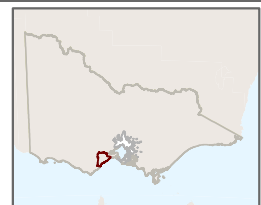
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LEGEND

-  D-DDO - Area to be deleted from a Design and Development Overlay
-  Local Government Area



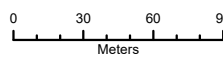
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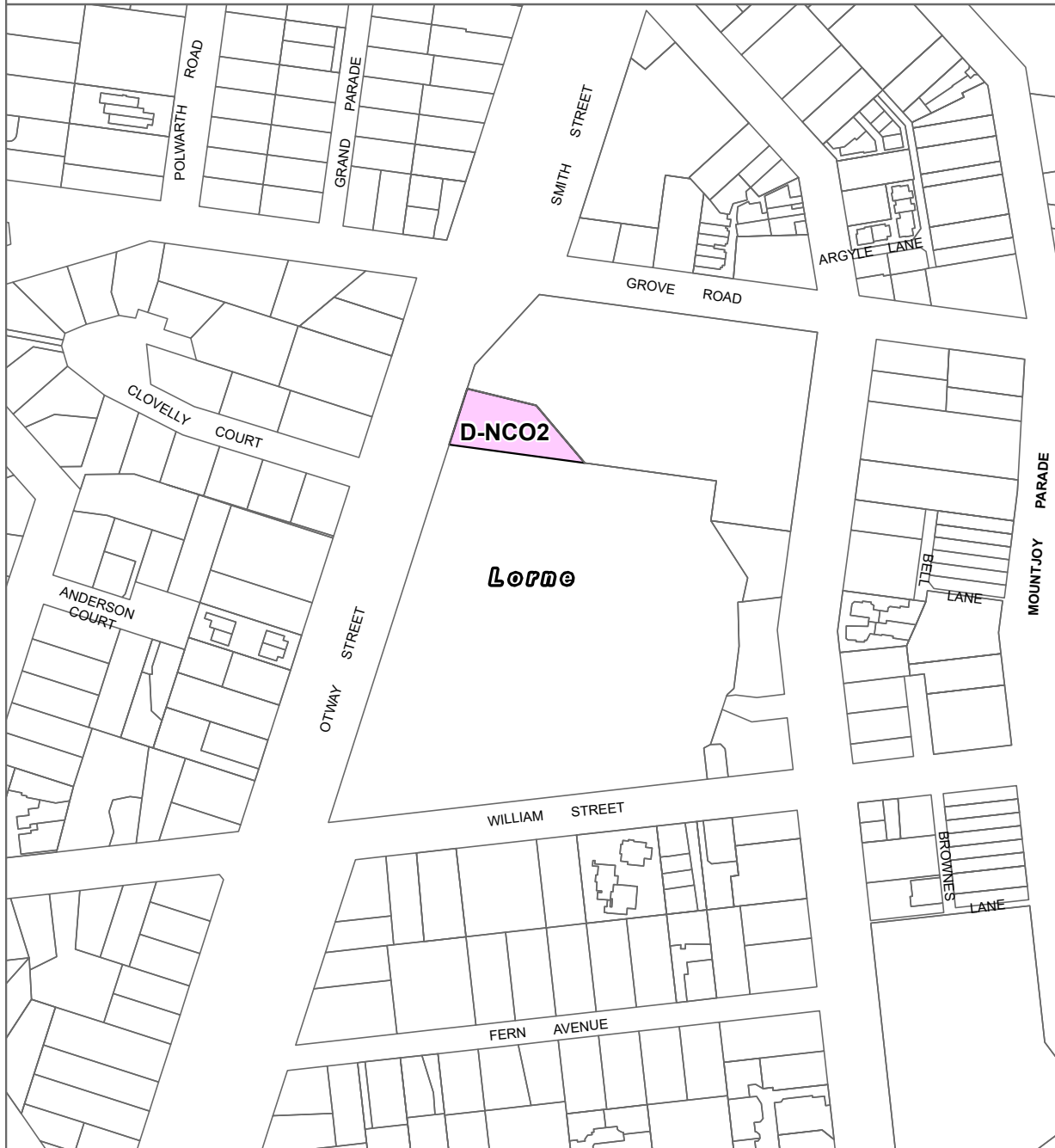
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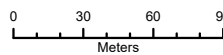
-  D-NCO - Area to be deleted from a Neighbourhood Character Overlay
-  Local Government Area



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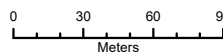
-  D-SLO - Area to be deleted from a Significant Landscape Overlay
-  Local Government Area



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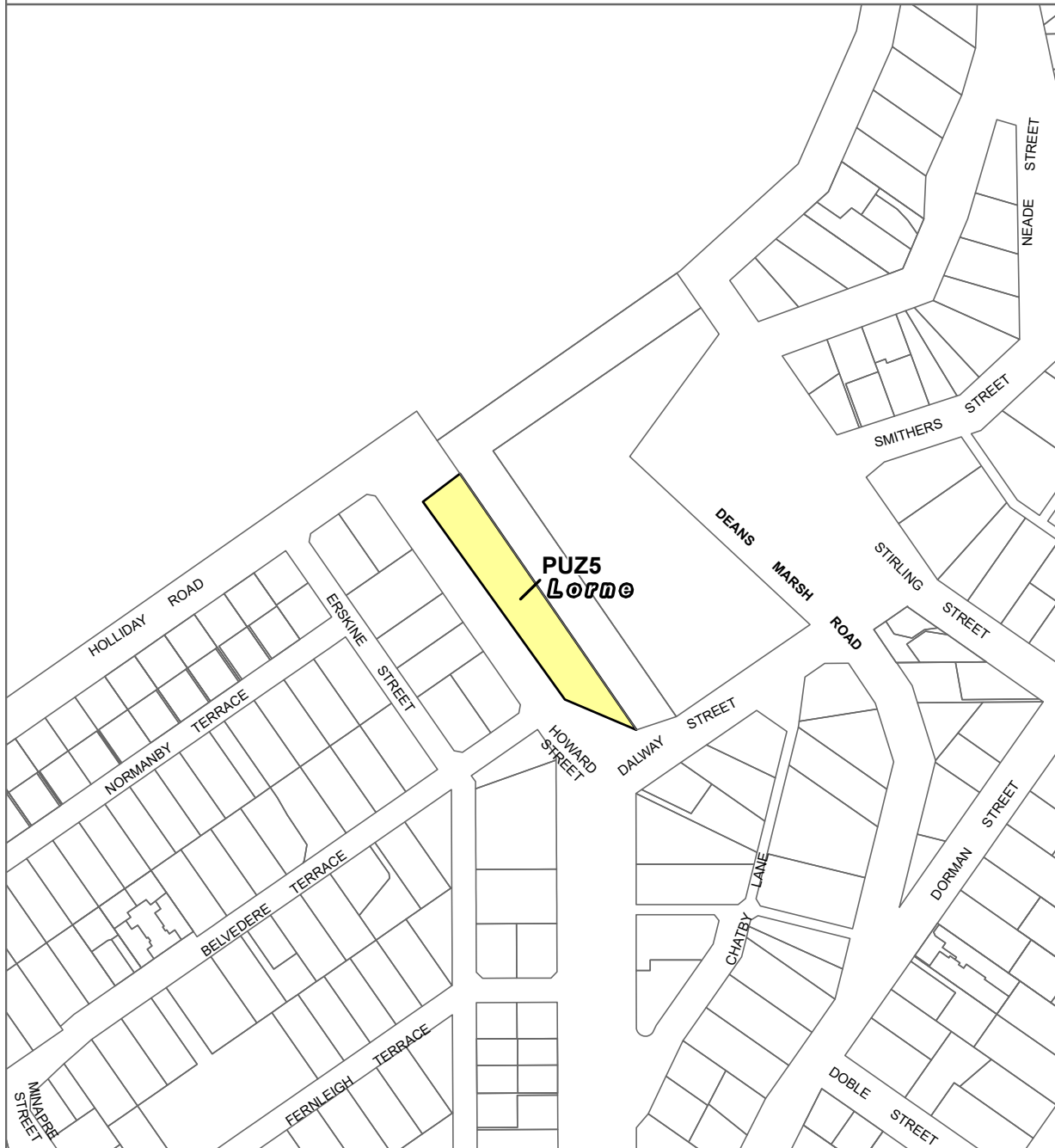
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

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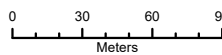
-  PUZ5 - Public Use Zone-Cemetery/Crematorium
-  Local Government Area



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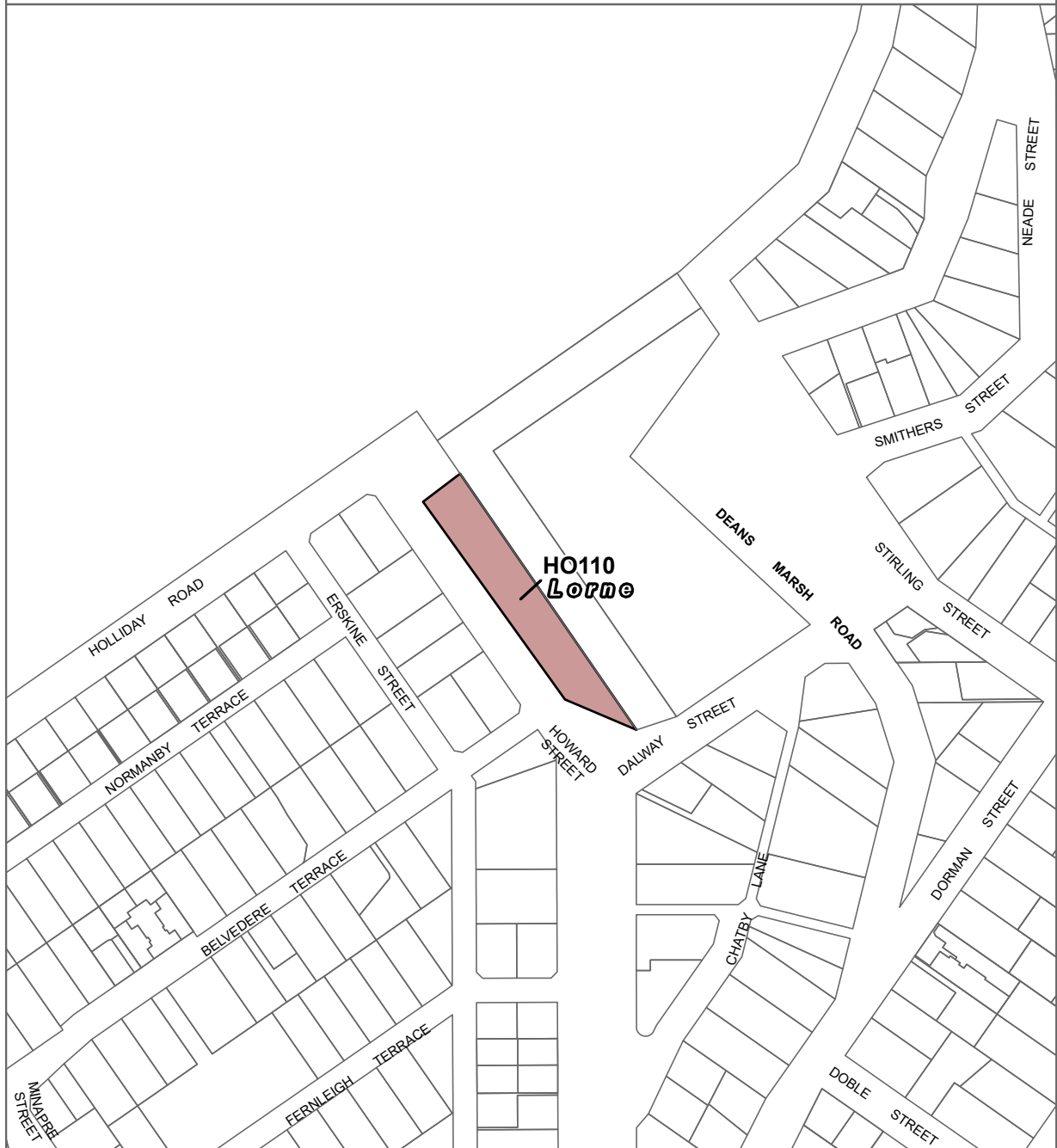
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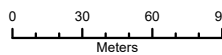
-  HO - Heritage Overlay
-  Local Government Area



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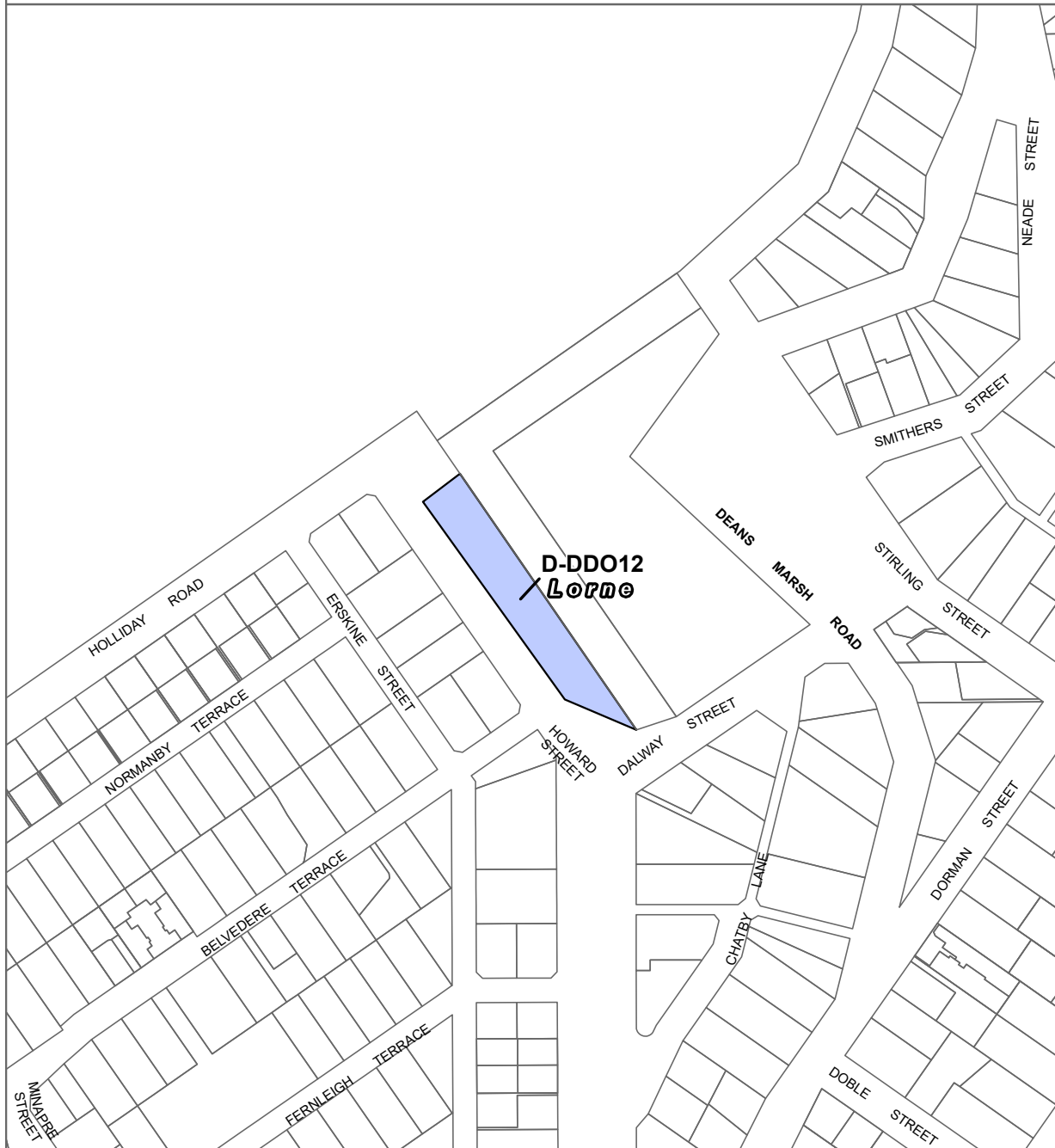
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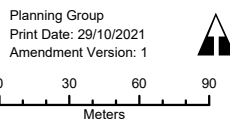
LEGEND

-  D-DDO - Area to be deleted from a Design and Development Overlay
-  Local Government Area



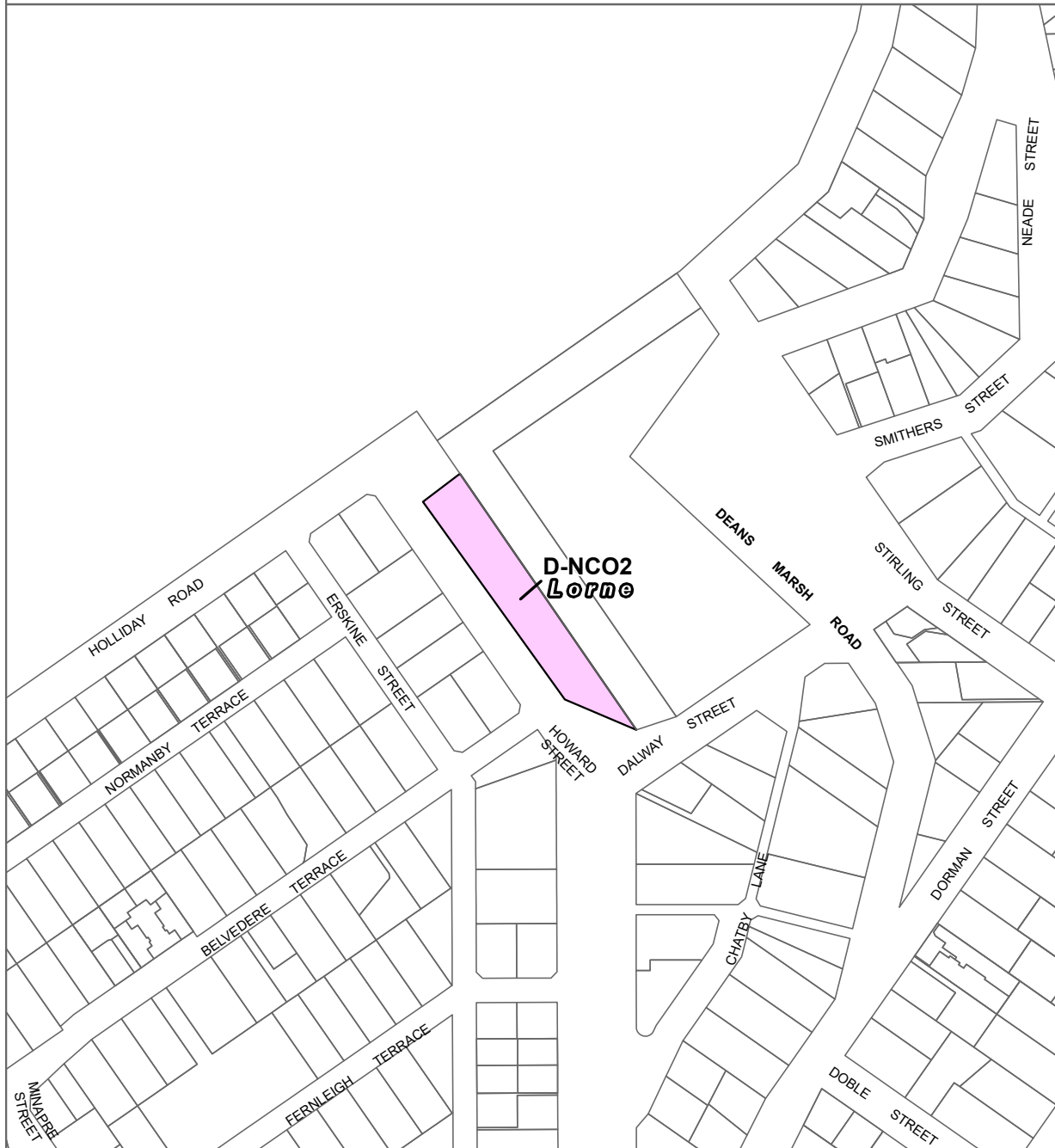
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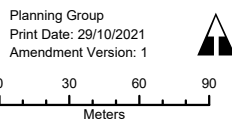
LEGEND

-  D-NCO - Area to be deleted from a Neighbourhood Character Overlay
-  Local Government Area



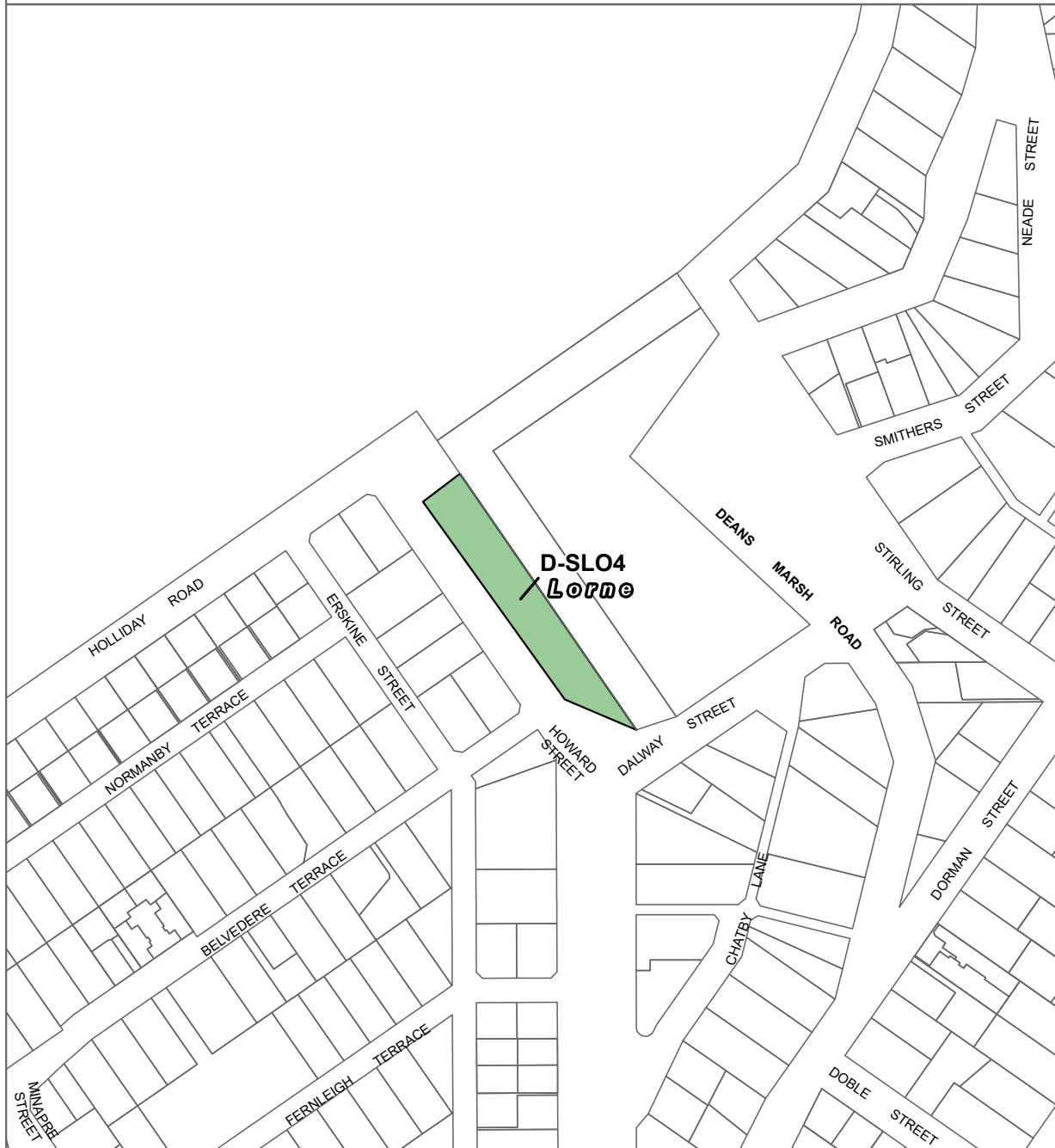
Part of Planning Scheme Map 43NCO

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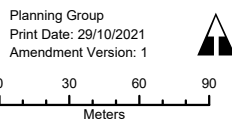
LEGEND

-  D-SLO - Area to be deleted from a Significant Landscape Overlay
-  Local Government Area



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SURF COAST PLANNING SCHEME

15.01-5L-02 Torquay-Jan Juc preferred neighbourhood character

40/06/2021
C436surf Proposed C140surf

Policy application

This policy applies to an application to construct or extend one or more dwellings or subdivide land in a residential zone in Torquay and Jan Juc as shown on the Torquay-Jan Juc residential development framework plan to this clause.

Objective

To ensure development achieves architectural and urban design outcomes consistent with the preferred character of the residential areas of Torquay-Jan Juc.

All precincts strategies

Retain and enhance landscaping and trees as a major element in the appearance and character of Torquay-Jan Juc's residential environments.

Provide contemporary coastal architecture with a lightweight appearance, visually interesting well-articulated facades, simple detailing and roof forms, and a variety of lightweight materials and natural colours.

Provide visually recessive garages that are set back behind the building line or to the rear of dwellings so as not to dominate the streetscape or building façade.

Retain the openness of front gardens to the street by avoiding the use of front fences or by providing low or open style front fences, except in the General residential (standard density) precinct where all front fencing should be avoided.

Minimise adverse amenity impacts on adjoining properties by way of visual bulk.

Provide a landscape treatment that enhances the overall appearance of the development and the streetscape, including by siting development to maintain the predominant pattern of front setbacks in the street to allow for space to retain or plant canopy trees and shrubs.

Urban consolidation precinct strategy

Facilitate medium and higher density development that is respectful of the key elements of original building stock, including the low rise coastal character of the original fibro and weatherboard beach shacks, Californian bungalows and other Interwar and Postwar buildings.

Urban consolidation precinct policy guideline

Consider as relevant:

- A preference for development of up to 2 storeys (7.5 metres), with the option for 3 storeys where the development:
 - Has minimal amenity impacts on the streetscape and adjoining land uses (e.g. commercial, open space).
 - Is site responsive.
 - Achieves housing diversity by supplying smaller dwellings with one or two bedrooms.

General residential (mixed density) precinct strategies

Maintain the existing garden character formed by single and double storey detached houses in a garden setting.

Support infill development at a height that respects the scale of the surrounding area.

Provide setbacks to both side boundaries to maintain a sense of spaciousness around dwellings.

Respect older building styles and scales without replicating them.

SURF COAST PLANNING SCHEME

General residential (mixed density) precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

General residential (standard density) precinct strategies

Maintain the existing character typified by dwellings predominantly of single and double storey scale.

Support contemporary dwellings within landscaped gardens.

Retain and enhance existing vegetation, including canopy trees, with a mixture of traditional coastal and indigenous species to strengthen the visual connection of the area with the coast.

Maintain consistent setbacks from the front and side boundaries.

Use articulation, including a variety of materials and finishes to provide visual interest.

General residential (standard density) precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

Bush residential precinct strategies

Provide space around dwellings to retain and plant vegetation, in particular indigenous canopy trees and large shrubs.

Encourage landscaping to achieve bushy front gardens.

Support development of a low-scale and modest form.

Where the topography is hilly, design buildings to follow the contours of the land.

Site buildings, including those taking advantage of ocean views, so that they do not dominate the streetscape.

Bush residential precinct policy guideline

Consider as relevant:

- A maximum development height of 2 storeys (7.5 metres).

Residential growth precinct strategies

Establish a landscaped and built form character that reflects Torquay-Jan Juc's preferred coastal character and integrates with surrounding areas.

Encourage the planting of indigenous and other coastal vegetation around dwellings.

Plant street trees to unify the appearance of the area and add a sense of spaciousness and leafiness in greenfield subdivisions.

Residential growth precinct policy guideline

Consider as relevant:

- A preference for development of up to 2 storeys (7.5 metres) with the option of 3 storey development where it is in or close to activity centres and public open space.

Low density residential precinct strategy

Maintain the existing low density, single dwelling character.

Low density residential precinct policy guideline

Consider as relevant:

SURF COAST PLANNING SCHEME

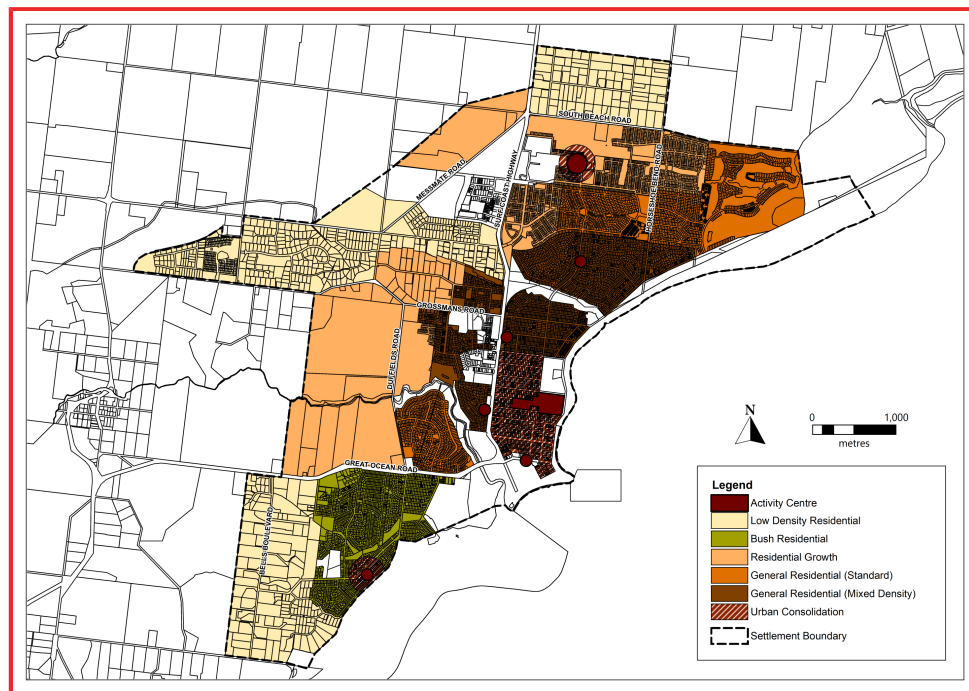
- A maximum development height of 2 storeys (7.5 metres).

Policy documents

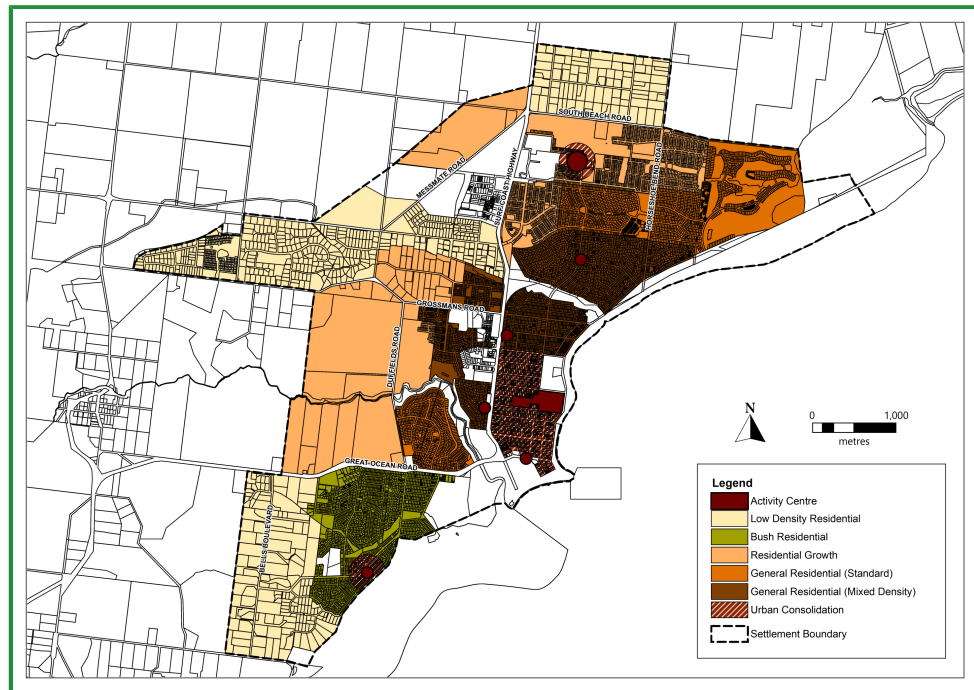
Consider as relevant:

- *Sustainable Futures Plan Torquay-Jan Juc 2040* (Surf Coast Shire, 2014)
- *Torquay-Jan Juc Neighbourhood Character Study Review* (Surf Coast Shire, 2012)
- *Torquay-Jan Juc Neighbourhood Character Study & Vegetation Assessment* (Surf Coast Shire, 2006)

Torquay-Jan Juc residential development framework plan



SURF COAST PLANNING SCHEME



SURF COAST PLANNING SCHEME

06/02/2020
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SCHEDULE 5 TO CLAUSE 37.01 SPECIAL USE ZONE

Shown on the planning scheme map as **SUZ5**.

TORQUAY TOURISM DEVELOPMENT PRECINCTS

Purpose

To encourage tourism development in the following high profile precincts shown on Map 1 to the Schedule to Clause 37.01:

- Precinct T1 - Surf Coast Gateway Precinct, Surf Coast Highway, Torquay
- Precinct T2 - Surf City Precinct, Surf Coast Highway, Torquay
- Precinct T3 - Town Centre Foreshore Precinct, The Esplanade, Torquay
- Precinct T4 - Corner Bristol Road and Surf Coast Highway, Torquay

To encourage a range of tourism related land uses, including:

- diverse forms of medium density tourist accommodation
- tourist activities and attractions
- tourism-related retailing in appropriate locations.

To promote a mix of tourism related uses, with food and drink premises and tourism-related retail predominantly at ground floor level, and accommodation and offices predominantly at upper floor levels.

To ensure that Precincts T1 and T2 are not dominated by restaurants, cafes and take-away food premises.

To promote the use of environmentally responsive designs, materials and colours to develop a distinct image for the Shire which reflects and complements its environmental and cultural attributes.

1.0
06/02/2020
C128surf

Table of uses

Section 1 - Permit not required

Use	Condition
Exhibition centre	Must be in Precincts T1 or T2.
Home based business	
Informal outdoor recreation	
Railway	
Restaurant	Within Precincts T1 and T2, the combined leasable floor area of all food and drink premises must not exceed 25% of the total leasable ground level floor area of all buildings within the Precinct.
Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01

Section 2 - Permit required

Use	Condition
Accommodation (other than Dwelling and Corrective institution)	

SURF COAST PLANNING SCHEME

Use	Condition
Arts and craft centre	
Car park	The site must contain another use in Sections 1 or 2.
Convenience shop	The leasable floor area must not exceed 80 square metres.
Dwelling	In Precincts T1 and T2, any frontage to the Surf Coast Highway at ground floor level must not exceed 2 metres. In Precinct T3 any frontage to The Esplanade, Gilbert Street or Zeally Bay Road at ground floor level must not exceed 2 metres.
Food and drink premises (other than Restaurant)	
Hairdresser	Must be in Precinct T1 or T2.
Market	
Medical centre	In Precinct T3 any frontage to The Esplanade, Gilbert Street or Zeally Bay Road at ground floor level must not exceed 2 metres.
Office (other than Bank, Medical centre, Real estate agency and Travel agency)	Any frontage at ground floor level must not exceed 2 metres, unless the floorspace adjoining the frontage is a customer service area accessible to the public.
Place of assembly (other than Carnival, Circus and Exhibition centre in Precincts T1 or T2)	
Real estate agency	Must be in Precinct T3.
Service station	Must be in Precinct T1 (and on Lot 3 of LP213066W) or T4. In Precinct T4 the site must: <ul style="list-style-type: none"> ▪ not exceed 3000 square metres ▪ adjoin Surf Coast Highway.
Shop (other than Adult sex product shop, Beauty salon, Convenience shop, Department store, Hairdresser, Restricted retail premises, and Supermarket)	Must only sell or hire goods and services predominantly associated with the tourism industry and tourist activities and pastimes. In Precinct T3 may also sell other goods and services provided the business is normally open for business 7 days a week.
Travel agency	
Veterinary centre	Must be in T2.
Any other use not in Section 1 or 3	

Section 3 - Prohibited

Use
Adult sex product shop
Agriculture (other than Apiculture)
Bank
Corrective institution
Department store
Funeral parlour

SURF COAST PLANNING SCHEME

Use

Hospital

Industry

Major sports and recreation facility

Motor racing track

Restricted retail premises

Retail premises (other than Food and drink premises, Gaming premises, Market and Shop)

Saleyard

Supermarket

Transport terminal (other than Bus terminal)

Warehouse

2.0

06/02/2020
C128surf

Use of land

A use must not detrimentally affect the amenity of the neighbourhood, including through the:

- Transport of materials, goods or commodities to or from the land.
- Appearance of any building, works or materials.
- Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.

Goods and services predominantly associated with the tourism industry and tourist activities and pastimes are deemed to include:

- Clothing, footwear and accessories associated with the beach and beach activities, bushwalking and the natural environment, including other recreational and recreational branded clothing and accessories.
- Recreational and sporting goods associated with the beach and beach activities and other tourist activities and pastimes.
- Art and craft works, souvenirs, jewellery and the like.
- Books.
- Health and well being services.
- Artisan or boutique foods or beverages that are predominantly locally produced or grown.
- Goods and services ancillary to an approved tourism use on the site.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- An application to use land for a Shop must be accompanied by a report detailing the range of goods and services to be offered for sale or hire in accordance with the Section 2 condition of Clause 1.0 Table of uses of this schedule to the satisfaction of the responsible authority.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

SURF COAST PLANNING SCHEME

- The interface with adjoining zones, especially the relationship with residential zones.
- Whether the Accommodation use supports the tourist emphasis of the locality.
- The need to restrict land uses likely to generate high rates of vehicle movement to sites with direct frontage to main roads.
- The need to protect the core retail and service functions of the Torquay Town Centre.
- The need to protect the residential amenity of surrounding dwellings from off-site impacts such as noise, odour, traffic congestion and on-street parking.
- Whether a mix of land uses within each precinct (except T4) is provided, with food and drink premises and tourism-related retail predominantly at ground floor level, and accommodation and offices at upper floor levels.
- The effect that existing uses may have on the proposed use.
- The drainage of land.
- The availability of and connection to services.
- The effect of traffic to be generated on roads.
- The interim use of those parts of the land not required for the proposed use.

3.0

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C128surf

Subdivision

Application requirements

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and design response demonstrating how the proposal addresses Clause 56, as appropriate.

Decision guidelines


The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Clause 56.
- The suitability of the subdivision design to accommodate a range of land uses.
- The effect the subdivision will have on the potential of the area to achieve the purpose of this schedule to the zone.
- Provision for vehicles providing for supplies, waste removal and emergency services and public transport.

4.0

Buildings and works

06/02/2020
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Proposed C140surf All buildings and works must be maintained in good order and appearance to the satisfaction of the responsible authority. 

Application requirements

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A plan drawn to scale which shows:
 - The boundaries and dimensions of the site.

SURF COAST PLANNING SCHEME

- Adjoining roads.
 - The location, height and purpose of buildings and works on adjoining land.
 - Relevant ground levels.
 - The layout of existing and proposed buildings and works.
 - All driveway, car parking and loading areas.
 - Proposed landscape areas.
 - All external storage and waste treatment areas.
 - Areas not required for immediate use.
- Elevation drawings to scale showing the colour and materials of buildings and works.
 - Construction details of all drainage works, driveways, vehicle parking and loading areas.
 - A landscape layout which includes the description of vegetation to be planted, the surfaces to be constructed, site works specification and method of preparing, draining, watering and maintaining the landscape area.

An application to construct a building or to construct and carry out works (except for minor buildings and works associated with an existing building) must be accompanied by a site analysis and design response demonstrating how the proposal addresses:

- The provisions of the zone and this schedule.
- The constraints of the site and locality.
- The surrounding streetscape and vegetation character.
- The coastal town character of Torquay.
- ~~The Streetscape and Landscaping Policy (Clause 22):~~
- ~~Clause 54 or 55 as appropriate:~~
- Clause 54, 55 or 58 as appropriate.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether development demonstrates a high quality of design that respects and enhances the town character.
- The flexibility of the building design and floor plan to accommodate a range of uses over time.
- The objectives and standards of Clauses ~~54 or 55~~, 55 or 58 as appropriate, should be used to assess amenity standards for all types of Accommodation.
- The integration of car parking and loading areas with the building design and layout so as to avoid excessive voids and potential vehicle-pedestrian conflict.
- Whether the buildings should incorporate noise attenuation measures into the design.
- All types of Accommodation must provide a high level of amenity for occupants and be designed according to principles of energy and water efficiency.
- The movement of pedestrians and cyclists, and vehicles providing for supplies, waste removal, emergency services and public transport.
- The provision of car parking.

SURF COAST PLANNING SCHEME

- The streetscape, including the conservation of buildings, the design of verandahs, access from the street front, protecting active frontages to pedestrian areas, the treatment of the fronts and backs of buildings and their appurtenances, illumination of buildings or their immediate spaces and the landscaping of land adjoining a road.
- The storage of rubbish and materials for recycling.
- Defining the responsibility for the maintenance of buildings, landscaping and paved areas.
- Consideration of ~~the~~ overlooking as a result of buildings and works affecting adjoining land in a General Residential Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.
- The availability of and connection to services.
- The design of buildings to provide for solar access.

5.0

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Signs

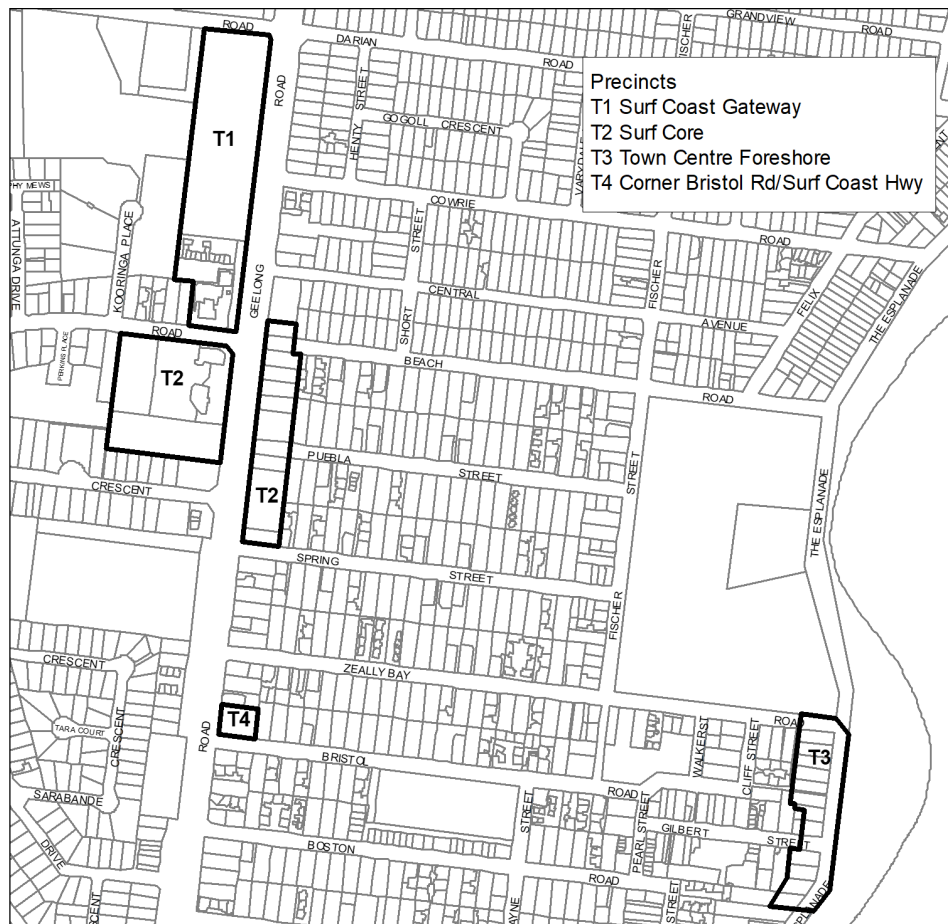
Sign requirements are at Clause 52.05. Precincts T1 and T2 of this schedule are in Category 1. Precincts T3 and T4 of this schedule are in Category 3.

The following decision guidelines apply to an application for a permit to display a sign, in addition to those specified in Clause 52.05 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether signs are designed to integrate with the architectural style and character of a building.
- Whether signs are included as an integral part of the design theme of a development.
- Whether signs attached to buildings obscure architectural features and supporting structures.
- Whether signs are obtrusive when viewed from public areas.
- Whether the advertising area is proportionate to the building or structure on which the sign is to be located and whether it unreasonably obscures views to surrounding signs.
- Whether advertising schemes incorporate graphics, symbols and colours that reflect themes of the beach, ocean and natural environment as well as being dominated by images and pictures rather than words and logos.
- The need to discourage above-verandah signs in Precinct T3, and in other precincts the need to ensure above-verandah signs do not project above the wall or parapet of the building to which they are attached.
- Whether the level of illumination of flood-lit and Internally-illuminated signs cause detriment to the amenity of nearby dwellings.
- The need to discourage pole signs and promotion signs.

SURF COAST PLANNING SCHEME

Map 1 to Schedule 5 to Clause 37.01 – Torquay Tourism Development Precincts



SURF COAST PLANNING SCHEME

01/06/2017
C117

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0

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Application requirements

The following application requirements apply to an application for a permit under Clause 43.01, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A conservation management plan in accordance with the *Australian ICOMOS Charter for Places of Cultural Significance* (Burra Charter, 2013) for any proposal that raises significant or complex heritage issues or impacts on a heritage place.

2.0

10/06/2021
C136surf Proposed C140surf

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.



PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
Surf Coast Shire								
HO163	<p><i>Great Ocean Road</i></p> <p>Great Ocean Road between Torquay and Allansford, Surf Coast Shire</p> <p>The heritage place includes</p> <p>Part HO68 <i>Graves of Lindsay Children (Splitters Graves)</i> and</p> <p>Part HO77 <i>Mountjoy Parade Heritage Area</i></p> <p>Statement of significance:</p> <p><i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005)</p> <p>Heritage design guidelines:</p> <p><i>Mountjoy Parade Heritage Design Guidelines, April 2021</i></p>	-	-	-	-	yes Ref No H2261	yes	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
Aireys Inlet								
HO91	<i>Angahook Bark Hut</i> 10 Inlet Crescent, Aireys Inlet. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	yes	no	no	no	no	no
HO1	<i>Split Point Lightstation Complex</i> 24 Federal Street and 7-13 Federal Street, Aireys Inlet.	–	–	–	–	yes Ref No H2270	yes	no
HO92	<i>Pearse Cairn</i> Federal Drive Street, Aireys Inlet. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
Anglesea								
HO93	<i>Regatta Boat Shed & adjacent Race Organiser's Stand</i> Great Ocean Road, Anglesea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	yes	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO94	<p><i>Angahook General Store</i> 119 Great Ocean Road, Anglesea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	yes	no
HO95	<p><i>"Children's Joy"</i> 129 Great Ocean Road, Anglesea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	yes	no	no	no
HO96	<p><i>"Rivernook"</i> 131 Great Ocean Road, Anglesea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO98	<p><i>"Lorna Larnee"</i> 45 Harvey Street, Anglesea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	yes boundary cypress hedge only	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO99	<p>"Ben Nevis"</p> <p>69 Harvey Street, Anglesea.</p> <p>Statement of significance:</p> <p><i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	Yes trees greater than 3 metres in height.	yes	no	no	no
HO100	<p>Anglesea Memorial Hall</p> <p>1 McMillan Street, Anglesea.</p> <p>Statement of significance:</p> <p><i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO101	<p>"Rangi Marie"</p> <p>5 McMillan Street, Anglesea.</p> <p>Statement of significance:</p> <p><i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	yes	no	no	no
HO102	<p>"Blink Bonnie"</p> <p>39-43 Parker Street, Anglesea.</p> <p>Statement of significance:</p> <p><i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	yes	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO103	<i>Boat sheds (3)</i> River Reserve Road, Anglesea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO104	<i>"Carinya"</i> 1 Tonge Street, Anglesea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
Barrabool								
HO7	<i>"Ballanlea" homestead including interior.</i> 250 Ballanlea Road, Barrabool.	yes	yes	no	no	no	yes	no
HO13	<i>"Tasman" homestead.</i> 755 Barrabool Road, Barrabool.	yes	no	no	no	no	yes	no
HO14	<i>Wescott's Stable.</i> 850 Barrabool Road, Barrabool.	yes	no	no	no	no	yes	no
HO9	<i>"Foymount" homestead.</i> 960 Barrabool Road, Barrabool.	yes	no	no	no	no	yes	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO3	<i>Barrabool Uniting (formally Presbyterian) Church including former Manse and mature garden setting specifically Cupressus macrocarpa (Monterey Cypress) hedges, and Pinus Radiata (Radiata Pine), Lagunaria Patersonia (Norfolk Island Hibiscus), Araucaria heterophylla (Norfolk Island Pine), Fraxinus oxycarpa (Golden Ash) and Cupressus sp. trees.</i> 1135 Barrabool Road (cnr Andersons Road), Barrabool.	yes - Church and former Manse.	yes - Church.	yes	no	no	yes	no
HO8	<i>"Berramongo" homestead including interior.</i> 100 Crooks Road, Barrabool.	no	yes	no	no	no	yes	no
HO12	<i>"Stanbury" Barn including interior.</i> 130 Devon Road, Barrabool.	yes	yes	no	no	no	yes	no
HO10	<i>"Merrawarp" homestead including interior.</i> 50 Honeys Road, Barrabool.	yes	yes	no	no	no	yes	no
HO4	<i>Former Holy Trinity Anglican Church School.</i> 400 Merrawarp Road, Barrabool.	–	–	–	–	yes Ref No H889	yes	no
HO5	<i>Holy Trinity Anglican Church and Vicarage.</i> 410 Merrawarp Road, Barrabool.	–	–	–	–	yes Ref No H888	yes	no
HO11	<i>"Neuchatel"</i> 460 Merrawarp Road (Cnr. Barrabool Road), Barrabool.	–	–	–	–	yes Ref No H773	yes	no
Bellbrae								
HO6	<i>Bellbrae Cemetery Monumental Masonry</i> 65 School Road, Bellbrae.	no	no	no	no	no	no	no
Bells Beach								

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO88	<i>Bells Beach Surfing Recreation Reserve</i> Coastal Reserve, Bells Beach	–	–	–	–	yes Ref No. H2032	no	no
HO105	<i>Addiscot Homestead</i> 140 Bells Road, Bells Beach. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	yes	no	no	no
Benwerrin								
HO36	<i>Babington Sawmill Settlement, including sawmill complex and derelict cottage.</i> 215 Benwerrin-Mount Sabine Road, Benwerrin	no	no	no	no	no	yes	no
HO37	<i>House</i> 630 Benwerrin-Mount Sabine Road, Benwerrin.	no	no	no	no	no	no	no
HO38	<i>Wanliss Nut farm</i> Opposite 915 Erskine Falls Road, Benwerrin. Incorporated plan: <i>Wanliss Nut Farm Incorporated Plan, June 2006</i>	no	no	yes	no	no	no	no
Big Hill								
HO39	<i>East Point (Edna Walling Property), including remnant fabric and archaeological evidence of the Walling cottage, the rock walls, steps, chimney stacks/fireplaces and garden remnants.</i> 1060 Great Ocean Road, Big Hill.	no	no	no	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
Buckley								
HO106	<p><i>Former Laketown School</i> 1600 Princes Highway, Buckley.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	yes	no	no	no	no	no	no
Deans Marsh								
HO40	<p><i>Bridge</i> Part Government Road, (adjacent 1200 Birregurra-Deans Marsh Road) Deans Marsh. The heritage place is the bridge and all land within 20 metres of each side of the bridge.</p>	no	no	no	no	no	no	no
HO41	<p><i>Howard's Carrying Depot, including the brick building, nissen hut, petrol pump and gate.</i> 1390 Birregurra-Deans Marsh Road, Deans Marsh</p>	yes	no	no	no	no	no	no
HO42	<p><i>Lawrence Cottage</i> 1409 Birregurra Deans Marsh Road, Deans Marsh</p>	no	no	no	no	no	no	no
HO43	<p><i>Deans Marsh Uniting (formerly Methodist) Church and hall.</i> 22 Deans Marsh-Lorne Road-6 Pennyroyal Valley Road-(Cnr) , Deans Marsh</p>	no	no	no	no	no	no	no
HO44	<p><i>Deans Marsh Primary School (State School No. 1642) and Marjorie Lawrence (eucalypt) plantation.</i> 30 Deans Marsh-Lorne Road, Deans Marsh</p>	no	no	Yes - Marjorie Lawrence plantation only	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO45	<i>St Pauls Anglican Church and hall</i> 40 Deans Marsh-Lorne Road, Deans Marsh	no	no	no	no	no	no	no
HO46	<i>Deans Marsh Public Hall & Recreation Reserve, including the public hall, sports grounds, fibro pavillion, memorial gates and cypress boundary plantation.</i> 6-10 & 20 Pennyroyal Valley Road, Deans Marsh	no	no	yes	no	no	no	no
HO47	<i>Presbyterian Church (former).</i> 11 Pennyroyal Valley Road, Deans Marsh	no	no	no	no	no	no	no
HO48	<i>Yan Yan Gurt Woolshed.</i> 1940 2005 Winchelsea-Deans Marsh Road, Deans Marsh	yes	no	no	no	no	no	no
HO49	<i>Deans Marsh Hotel (former).</i> 2250 Winchelsea-Deans Marsh Road, Deans Marsh	no	no	no	no	no	no	no
HO50	<i>Mrs McInnes Milk Bar and Boarding House (former).</i> 2255 Winchelsea-Deans Marsh Road, Deans Marsh	no	no	no	no	no	no	no
Freshwater Creek								
HO15	<i>St David's Lutheran Church and Cemetery.</i> 905 Anglesea Road, Freshwater Creek.	–	–	–	–	yes Ref No. H1903	yes	no
Lorne								
HO51	<i>Keverell</i> 16 Armytage Street, Lorne	yes	no	no	no	no	no	no
HO53	<i>Queens Park Caravan Park & Air Spotters Cabin.</i> 20 Armytage Street, Lorne Incorporated plan:	yes	no	yes	yes – two small buildings near front entrance	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Queens Park Caravan Park Incorporated Plan, June 2006</i>				and stone walling associated with terracing			
HO107	<i>Banuke</i> 6-8 Beale Street, Lorne Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021) Heritage design guidelines: <i>Mountjoy Parade Heritage Design Guidelines, April 2021</i>	no	no	yes – trees greater than 3 metres in height.	yes – timber outbuilding and front fencing.	no	no	no
HO108	<i>Two Former Police Lock Up Buildings</i> 1-7 Charles Street, Lorne. The Heritage Place is the lock up buildings and all land within 1 metre of all sides of the buildings. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO109	<i>“Valetta”</i> 3 Fern Avenue, Lorne. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO52	<i>Wareen</i> 15 Fern Avenue, Lorne	no	no	no	no	no	no	no
HO54	<i>Log Cabin</i> 76 George Street, Lorne	yes	no	no	no	no	no	no
HO56	<i>Cumberland River Picnic Shelter</i> 2680 Great Ocean Road, Lorne	yes	no	no	no	no	no	no
HO78	<i>Cumberland River Ford</i> 2680 Great Ocean Road, Lorne	no	no	no	no	no	no	no
HO79	<i>Cumberland River Cypress Trees</i> 2680 Great Ocean Road, Lorne Incorporated plan: <i>Cumberland River, Cypress Trees Incorporated Plan, June 2006</i>	no	no	yes	no	no	no	no
HO110	<i>Lorne Public Cemetery</i> 10 Howard Street, Lorne. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i>	no	no	no	no	no	no	no
HO57	<i>Toll Gate Cottage</i> 4 Minapre Street, Lorne	no	no	no	no	no	no	no
HO60	<i>Erskine River Shops</i> 2-6 Mountjoy Parade, Lorne	no	no	no	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO34	<i>Erskine House</i> 35 Mountjoy Parade, Lorne.	–	–	–	–	yes Ref No. H1812	yes	no
HO111	<i>Lorne War Memorial</i> 51 Mountjoy Parade, Lorne. The Heritage Place is the war memorial and all land within 2 metres of all sides of the paved base of the memorial. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO61	<i>Lorne Cinema</i> 76-80 Mountjoy Parade, Lorne	–	–	–	–	yes Ref No. H2230	yes	no
HO58	<i>Cypress Avenue</i> Lorne Foreshore, Lorne Incorporated plan: <i>Cypress Avenue, Lorne Foreshore Incorporated Plan, June 2006</i>	no	no	yes	no	no	no	no
HO59	<i>Lorne Swimming Pool and Kiosk</i> 81 Mountjoy Parade, Lorne	yes	no	no	no	no	no	no
HO28	<i>St Cuthbert's Uniting Church</i> 92 Mountjoy Parade, Lorne.	no	no	no	no	no	yes	no
HO62	<i>Butchers Shop (former)</i> 112-112a Mountjoy Parade, Lorne.	yes	no	no	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO64	<i>Lorne Hotel</i> 176-178 Mountjoy Parade, Lorne	yes	no	no	no	no	no	no
HO32	<i>All Saint Anglican Church</i> 190 Mountjoy Parade, Lorne. Statement of significance: <i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005) Heritage design guidelines: <i>Mountjoy Parade Heritage Design Guidelines, April 2021</i>	no	no	yes – trees greater than 3 metres in height.	yes – front fencing and retaining walls along Mountjoy Parade only.	no	yes	no
HO29	<i>Leighwood</i> 222 Mountjoy Parade, Lorne. Statement of significance: <i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005) Heritage design guidelines: <i>Mountjoy Parade Heritage Design Guidelines, April 2021</i>	–	–	–	–	yes Ref No H604	yes	no
HO30	<i>Jura</i> 242-244 Mountjoy Parade, Lorne. Statement of significance: <i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005) Heritage design guidelines: <i>Mountjoy Parade Heritage Design Guidelines, April 2021</i>	–	–	–	–	yes Ref No H822	yes	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO65	<i>House</i> 246-248 Mountjoy Parade, Lorne Statement of significance: <i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003</i> (Surf Coast Shire, amended 2005) Heritage design guidelines: <i>Mountjoy Parade Heritage Design Guidelines, April 2021</i>	yes	no	yes – trees greater than 3 metres in height only.	yes – front fencing and retaining walls along Mountjoy Parade only.	no	no	no
HO66	<i>Pacific Hotel</i> 268-270 Mountjoy Parade, Lorne	yes	no	no	no	no	no	no
HO67	<i>Swing Bridge (footbridge)</i> Ocean Road at Erskine River mouth, Lorne	no	no	no	no	no	no	no
HO68	<i>Graves of Lindsay Children(Splitters Graves)</i> Ocean Road, Lorne. The Heritage Place is the graves and all land within 3 metres of all sides of the graves.	yes	no	no	no	no	no	no
HO69	<i>House</i> 19 Ocean Road, Lorne.	no	no	no	no	no	no	no
HO70	<i>House</i> 53 Ocean Road, Lorne.	no	no	no	no	no	no	no
HO71	<i>House, including the Canary Island Palm tree.</i> 69 Ocean Road, Lorne.	no	no	yes – Canary Island Palm only.	no	no	no	no
HO72	<i>House</i> 79 Ocean Road, Lorne.	no	no	no	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO113	<p>"Stanmorr" 64 Otway Street, Lorne.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO26	<p>Primary School No 2162. 18 Smith Street & 15 Grove Road, Lorne.</p>	–	–	–	–	yes Ref No H1716	yes	no
HO114	<p>"Kyanga" 56 Smith Street, Lorne.</p> <p>Statement of significance: <i>Surf Coast Heritage Study Stage 2B - Statements of Significance</i> (David Rowe Wendy Jacobs, 2009) (David Rowe & Wendy Jacobs, July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO115	<p>House 58 Smith Street, Lorne.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO74	<p>Ravenswood 70 Smith Street & Bay Street, Lorne.</p>	no	no	no	no	no	no	no
HO31	<p>Varna 101-103 Smith Street, Lorne.</p> <p>Statement of significance:</p>	no	no	yes – trees greater	yes – front fencing and retaining walls	no	yes	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p><i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003 (Surf Coast Shire, amended 2005)</i></p> <p>Heritage design guidelines:</p> <p><i>Mountjoy Parade Heritage Design Guidelines, April 2021</i></p>			than 3 metres in height only.	along Mountjoy Parade only.			
HO75	<p><i>Waverley House</i> 3 Waverley Avenue Deans Marsh Road, Lorne.</p>	yes	no	no	no	no	no	no
HO76	<p><i>Amberley House</i> 15-19 William Street, Lorne.</p>	no	no	no	no	no	no	no
HO77	<p><i>Mountjoy Parade Heritage Precinct.</i> Mountjoy Parade and Smith Street, Lorne</p> <p>The heritage place includes the Moreton Bay Fig on the foreshore.</p> <p>Incorporated plan:</p> <p><i>Moreton Bay Fig, Lorne Foreshore Incorporated Plan, June 2006</i></p> <p>Statement of significance:</p> <p><i>Selected Lorne/Deans Marsh Heritage Place Assessments 2003 (Surf Coast Shire, amended 2005)</i></p> <p>Heritage design guidelines:</p> <p><i>Mountjoy Parade Heritage Design Guidelines, April 2021</i></p>	no	no	yes - trees greater than 3 metres in height only.	yes – front fencing and retaining walls along Mountjoy Parade only.	no	no	no
Modewarre								
HO116	<p><i>Avenue of Honour</i> Adjacent 910 Cape Otway Road (between Considines & Taylors Roads), Modewarre.</p>	no	no	yes	no	no	no	no

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PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<p>Statement of significance: Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>							
HO117	<p>Former Modewarre State School No.396 910 Cape Otway465 Considines Road, Modewarre.</p> <p>Statement of significance: Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	yes	no	yes	no	no	no	no
HO118	<p>Modewarre Memorial Hall, including mature oak tree and Honour Boards 910 Cape Otway Road, Modewarre.</p> <p>Statement of significance: Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	yes	yes	no	no	no	no
HO119	<p>Former Bible Christian Siloam Chapel 440 Considines Road, Modewarre.</p> <p>Statement of significance: Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	yes	no	no	no	no	no	no
Mt Duneed								

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO17	<i>Summerhill (Prefabricated Iron Cottage).</i> 155 Mt Duneed Road, Mt Duneed.	–	–	–	–	yes Ref No H1131	yes	no
Torquay								
HO16	<i>"Scammel" house (Deckhouse from the wreck "Scammel").</i> 24 Pride Street, Torquay.	no	no	no	no	no	yes	no
HO90	<i>Sea View Villa</i> 2A Pearl Street, Torquay. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i>	no	no	yes – trees greater than 3 metres in height only	no	no	no	no
HO120	<i>Former Butcher's Shop and associated Outbuildings</i> 19 Anderson Street and part of 32 Munday Street, Torquay. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i>	no	no	no	yes	no	yes	no
HO121	<i>Torquay Uniting Church</i> 27 Anderson Street, Torquay. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i>	no	no	no	no	no	yes	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO122	<p><i>Torquay Caravan Park</i> 35 Bell Street, Torquay.</p> <p>Incorporated plan: <i>Torquay Caravan Park Incorporated Plan, June 2009 (amended January 2012)</i></p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i></p>	no	no	yes – trees greater than 3 metres in height only.	yes	no	yes	no
HO123	<p><i>Former Payne's Garage</i> 18 Bristol Road, Torquay.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i></p>	no	no	no	no	no	yes	no
HO124	<p><i>Torquay Public Hall</i> 8-12 Price Street, Torquay.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</i></p>	yes	no	no	no	no	no	no
HO125	<p><i>St Luke's Anglican Church</i> 17 Pride Street, Torquay.</p> <p>Statement of significance:</p>	no	no	no	yes	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)							
HO126	<i>Torquay Foreshore Precinct</i> The Esplanade, (between Point Danger and Yellow Bluff), Torquay. Incorporated plan: <i>Torquay Foreshore Incorporated Plan, June 2009</i> Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	yes – trees greater than 3 metres in height only.	yes	no	no	no
HO127	<i>House</i> 18 The Esplanade, Torquay. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO128	<i>Taylor Park</i> 47-70 The Esplanade, Torquay. Incorporated plan: <i>Taylor Park Incorporated Plan, June 2009</i> Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	yes – trees greater than 3 metres in height only.	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
Winchelsea								
HO129	<p><i>Former Shire Engineer's House</i> 17 Armytage Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no
HO130	<p><i>"Fairview"</i> 13 Austin Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	yes	no	no	no	no	no	no
HO131	<p><i>Former Wesleyan Mission Chapel</i> 37 Austin Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	yes	no	no	no	no	no	no
HO132	<p><i>Former Army Hut</i> 27 Barkly Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO133	<i>House</i> 29 Barkly Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO20	<i>St Thomas Anglican Church and School Room</i> 31 Barwon Terrace, Winchelsea.	yes	no	no	no	no	yes	no
HO134	<i>Former Anglican Vicarage</i> 5 Batson Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO135	<i>“Kooringa”</i> 10 Blacks Road, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO24	<i>Murdeduke Homestead</i> 730 Cressy Road, Winchelsea.	yes	no	no	no	no	yes	no
HO136	<i>Winchelsea Primary School</i> 15 Gosney Street, Winchelsea. Statement of significance:	yes	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)							
HO137	<i>House</i> 39 Harding Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO138	<i>Former Winchelsea Shire Hall</i> 28 Hesse Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	yes	yes	no	no	yes	no
HO21	<i>Winchelsea Uniting Church and Manse.</i> 30-34 Hesse Street, Winchelsea.	yes	no	no	no	no	yes	no
HO139	<i>“The Isles”</i> 39 Hesse Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	yes	no	no	no
HO140	<i>“Toyerville”</i> Lot 1, 41 Hesse Street, Winchelsea. Statement of significance:	no	no	no	yes	no	no	no





SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)							
HO89	<i>Memorial Grandstand and Gates</i> Eastern Reserve, 70 Hopkins Street, Winchelsea	–	–	–	–	yes Ref No. H1525	yes	no
HO23	<i>Ingleby Homestead and Outbuildings</i> 765 Ingleby Road, Winchelsea and 3470 Cape Otway Road, Birregurra	–	–	–	–	yes Ref No H364	yes	no
HO22	<i>Barwon Park</i> 105 Inverleigh-Winchelsea Road, Winchelsea.	–	–	–	–	yes Ref No H365	yes	no
HO141	<i>Bills Water Trough</i> Main Street, Winchelsea. The Heritage Place is the trough and all land within 2 metres of all sides of the trough. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO142	<i>Barwon Hotel</i> 1 Main Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO19	<i>Colonial Bank.</i> Lot 2, 33 Main Street, Winchelsea.	no	no	no	no	no	yes	no
HO143	<i>Winchelsea Post Office</i> 34 Main Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO144	<i>“Daisy Cottage”</i> 35 Main Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO145	<i>“Chelsea House”</i> 39 Main Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO146	<i>House</i> 41 Main Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?	
HO147	<p><i>Former Orchard Bakery & associated Dwelling</i> 44 Main Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	noyes	no	
HO148	<p><i>Former Police Station</i> 53 Main Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no	
HO149	<p><i>House</i> 59 Main Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no	
HO150	<p><i>"Balgownie"</i> 65-67 Main Street, Winchelsea.</p> <p>Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)</p>	no	no	no	no	no	no	no	

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO151	<i>Winchelsea Cemetery</i> 205 McConachy Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	yes trees greater than 3 metres in height only.	no	no	no	no
HO152	<i>St John the Baptist Roman Catholic Church and Presbytery</i> 5 Mercer Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO153	<i>“Plum Tree Cottage”</i> 9 Mercer Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO154	<i>Former Bootmaker’s Shop & Dwelling</i> 21 Mercer Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO18	<i>Barwon River Bridge</i> Over Barwon River, Princes Highway, Winchelsea.	–	–	–	–	yes Ref No H1456	yes	no
HO155	<i>Winchelsea Railway Station</i> 2-18 Railway Terrace, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO156	<i>Former Winchelsea Public Library</i> 1A Willis Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	yes	no
HO157	<i>Former Timon Schroeter's Store</i> 11 Willis Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	no
HO158	<i>Shinners' Café and Dwelling</i> 13 Willis Street, Winchelsea. Statement of significance:	no	no	no	no	no	no	no

SURF COAST PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)							
HO159	<i>Globe Theatre</i> 17-19 Willis Street, Winchelsea.	–	–	–	–	yes Ref No. H226	yes	no
HO160	<i>Winchelsea Hotel</i> 20 Willis Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO161	<i>Murrell's Store</i> 22 Willis Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	yes	no	no	no	no	no	no
HO162	<i>"Meningoort" (former hospital)</i> 37 Willis Street, Winchelsea. Statement of significance: <i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, 2009 July 2009, revised November 2021)	no	no	no	no	no	no	No
HO25	<i>Wormbete Homestead including Outbuildings and Gardens.</i> 565 Winchelsea-Deans Marsh Road, Winchelsea.	yes	no	no	no	no	yes	no

SURF COAST PLANNING SCHEME

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SCHEDULE 24 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO24**.

BELLBRAE TOWNSHIP

1.0

27/05/2019
C131surf

Design objectives

To protect and enhance the historic, village character of Bellbrae.

Infill development

To create a permeable street network that incorporates the village characteristics of the town.

To provide pedestrian access into the rear of the school and through the site from Cunningham Drive to School Road.

To provide a soft edge to the township when viewed from the Anglesea Road and to reduce the impact of noise from passing traffic.

To manage stormwater from infill development and to promote best practice stormwater management.

School Road 'active frontage'

To consolidate the community facilities and reinforce School Road as a village 'main street'.

To promote activity and an active edge along the main street.

To increase the on street car parking on School Road, particularly in the vicinity of the primary school.

To encourage design that will enhance the 'village' character of the town.

2.0

Buildings and works

27/05/2019
C131surf

Proposed C140surf

A permit is not required to construct a building or carry out works:

- where the land is outside the 'active frontage area' shown on Map 1 to this schedule.
- for a dwelling on land within the active frontage area as shown on Map 1 to this schedule where:
 - any garage within the front dwelling façade is less than 50% of the total width of the dwelling facade, and
 - the dwelling ~~is less than~~ ~~does not exceed~~ two storeys and 7.5 metres in height ~~above ground level~~.

Requirements

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

Building setback

Development along School Road's active frontage (excluding a dwelling) should be located on or within 4 metres of the front boundary with clear and direct pedestrian access from the entrance of the building to the street.

Building height

Development along School Road's active frontage, should not exceed 7.5 metres in height above ground level except where the part of the building that exceeds this height is the pitch of a gable roof.

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Built form

The provision of car parking within School Road's 'active frontage', other than in association with a dwelling, should include the following elements:

- On street car parking should:
 - extend along the width of the property.
 - incorporate a shade tree every three or four spaces located within a purpose designed outstand within the parking lane.
- On site car parking should:
 - predominantly be located behind a building
 - only be located to the side of a building where landscaping makes provision for numerous shade trees to soften the dominance of the car parking area.

3.0

27/05/2019
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Subdivision

Requirements

A permit to subdivide land must meet the following requirements:

Lot layout should allow for infrastructure in accordance with the Infill Infrastructure Requirements shown on Map 3 to this schedule.

A lot should have an area of at least:

- 4000 square metres in Precinct A, defined on Map 2 to this schedule where:
 - The stormwater wetland and retardation area may be calculated as part of the lot area.
 - The 15 metre vegetated buffer abutting Anglesea Road may be calculated as part of the lot area.
 - The drainage buffer located at 55 School Road is not calculated as part of the lot area.
- 2500 square metres in Precinct B, defined on Map 2 to this schedule where:
 - The drainage buffer located at 55 School Road may be calculated as part of the lot area.

Stormwater retardation and treatment for the infill area on the western side of School Road should be designed and located in accordance with the Bellbrae Stormwater Master plan (2013).

Stormwater easements are to be provided in accordance with the Bellbrae Stormwater Master plan (2013) to the satisfaction of the Responsible Authority.

Subdivision of land at 55 School Road should not prevent the treatment of School Road to provide footpaths and shade trees.

A new street within the infill area should be designed as a 'shared zone' incorporating traffic calming devices (such as chicanes or narrow points) to ensure low vehicle speeds and pedestrian priority. Adequate land is to be set aside within the road reservation for:

- A sealed travel lane of a similar width to the adjoining local street network (approximately 4 metres and no greater than 5.5 metres with passing bays for emergency vehicles as required).
- Shade trees.
- Power supply via underground conduit (and additional services as required).
- Grassed swales where the design and location of the swales are to be informed by the stormwater management plan submitted with the application.

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Pedestrian access is to be provided for within the infill area, as shown on Map 3 to this schedule, providing access from either the Angelsea Road or Cunningham Drive to the rear of the Bellbrae Primary School. The footpath is to be constructed following the construction of the stormwater wetland and prior to Councils acquisition of the land.

A linear reserve of approximately 15 metres is to be set aside between Anglesea Road and the infill area, defined on Map 3 to this schedule, to provide a vegetated buffer between the future residential land and the arterial road. The reserve is to be planted with native species. Stormwater wetlands/retardation can be located within the reserve.

Street and lot location should be designed to minimise removal of existing vegetation including exotic shade trees that add to the historic character of the town.

4.0

27/05/2019
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Signs

Signs should be simple in design and reflective of the historic/village character.

Signs should not dominate the streetscape or built form.

5.0

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Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

Subdivision

A stormwater management plan, generally in accordance with the Bellbrae Stormwater Master plan (2013) should be submitted with an application to create a new lot(s) within the infill area located on the western side of School Road, defined on Map 3 to this schedule.

A stormwater management plan demonstrating how stormwater is to be treated and retarded must be submitted with an application to create a new lot(s) at 55 School Road, defined on Map 3 to this schedule.

6.0

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Decision guidelines

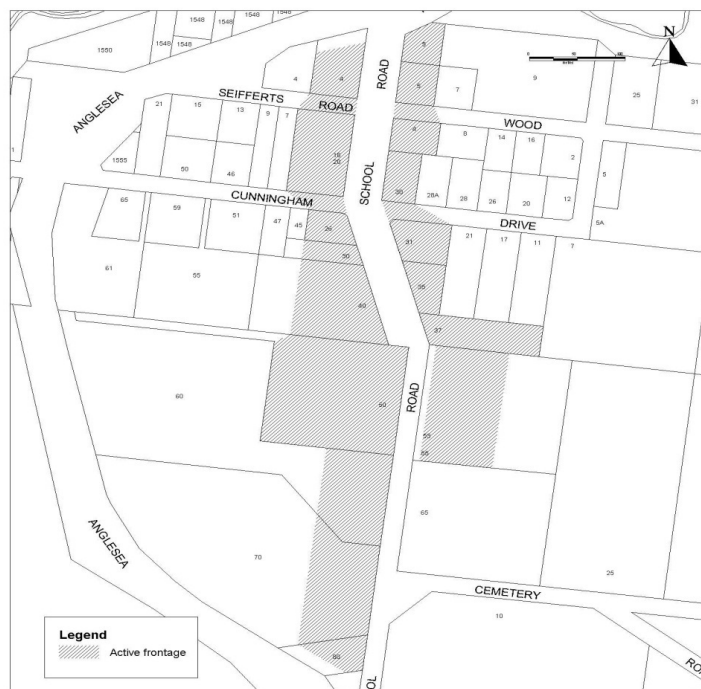
The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether sufficient land has been provided along the western frontage of 55 School Road for a footpath and shade/street trees to be provided.
- Whether a commercial activity located on School Road will facilitate an active street edge, enhance the village character and general amenity of School Road by:
 - Formalising the on street car parking abutting the lot including making provision for adequate shade trees.
 - Minimising blank walls along the street frontage.
 - Providing an engaging and attractive entry to the site.
 - Siting surface carparking to the rear of the building.
 - Providing shade trees within the frontage of the lot (where appropriate) and within surface car parking areas.
- Whether a minor reduction to the specified subdivision lot size is warranted due to:
 - A demonstrated need to retain existing site features (including dwellings and vegetation) and the average density still meets the specified lot areas; and,

SURF COAST PLANNING SCHEME

- The proposed lot sizes and configuration still meet the objectives of this schedule.
- Whether the stormwater management plans submitted for either an individual site or a collective subdivision area meets the requirements of the Bellbrae Stormwater Master Plan (2013).
- Whether an integrated subdivision layout for the infill site has been achieved with due consideration given to the following elements:
 - Provision of a street network that reflects the rural character which by design will encourage low vehicle speeds and pedestrian priority.
 - Lot orientation for solar efficiency.
 - Adequate land within the road reservation for:
 - a carriageway and,
 - verges containing shade trees, services and water sensitive urban design infrastructure
- Stormwater management and treatment.
- Provision of a vegetation reserve adjacent to the Anglesea Road.

Map 1 to the Schedule to Clause 43.02 – School Roads ‘active frontage’



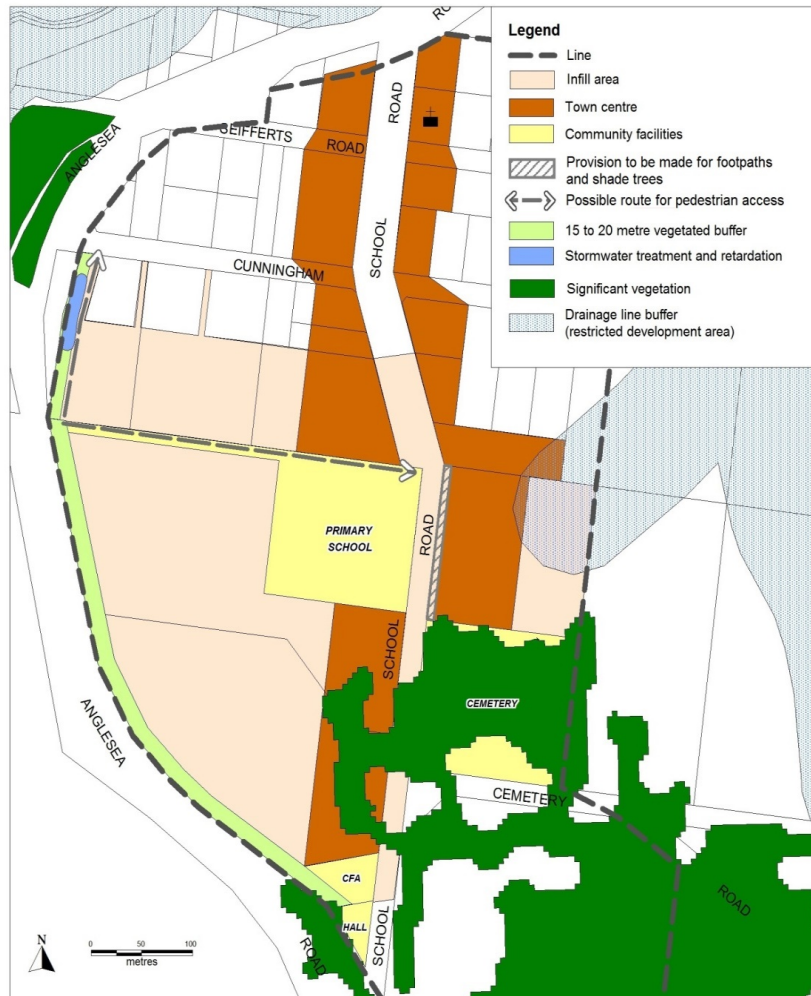
SURF COAST PLANNING SCHEME

Map 2 to the Schedule to Clause 43.02 – Subdivision lot sizes



SURF COAST PLANNING SCHEME

Map 3 to the Schedule to Clause 43.02 – Infill infrastructure requirements



SURF COAST PLANNING SCHEME

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SCHEDULE 1 TO CLAUSE 43.05 NEIGHBOURHOOD CHARACTER OVERLAY

Shown on the planning scheme map as NCO1.

THE SETTLEMENTS OF AIREYS INLET, FAIRHAVEN AND MOGGS CREEK

1.0

27/05/2019
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Statement of neighbourhood character

The settlements of Aireys Inlet, Fairhaven and Moggs Creek are characterised by low building densities and large blocks, having a distinctive non-suburban coastal character with much of the public and private realm enjoying views of the surrounding natural features. The built form is nestled within a cover of native vegetation which varies between Eucalyptus woodland, heathland and coastal scrub. Buildings, whether of one or two storeys, are generally low in profile, screened by vegetation and contained below the tree canopy, and sit within the landscape (e.g. are stepped down the slope); have warm, earthy, muted and subdued colour schemes that blend with the natural surroundings; have a lightweight, airy appearance with use of natural materials (e.g. timber), open glazing and simple architectural design; have small footprints, minimal hard surface areas and are set back generous distances from boundaries. Many properties have no boundary fences and where fencing does exist it is generally limited to post and wire. Most driveways and roads are gravel and have an informal appearance which is complemented by vegetation within the road reserve and on private and public land. Streets have minimal street lights and minimal kerb and channelling.

The preferred neighbourhood character for these settlements is based on these existing characteristics.

2.0

27/05/2019
C131surf

Neighbourhood character objective

To preserve and enhance the low scale, low density, vegetated character of the settlements of Aireys Inlet, Fairhaven and Moggs Creek.

To ensure that applications for more than one dwelling can be subdivided in accordance with the subdivision requirements of Schedule 10 to the Design and Development Overlay (Clause 43.02).

To ensure that development presents an inconspicuous profile against the landscape setting, allowing the landscape to remain the key feature of the settlements, particularly where the vegetation canopy height is low and/or a site is prominently located.

To ensure that buildings are sited and designed to avoid protruding over or above ridgelines or form a silhouette against the sky when viewed from the Great Ocean Road or any other significant viewing point, including the lighthouse, Eagle Rock Bluff and Painkalac estuary and valley.

To encourage building design that respects and contributes to the low scale coastal character and environmental and landscape values of the settlements, with an emphasis on small footprints, large setbacks, a coastal design and avoidance of visual bulk.

To retain adequate space around buildings to provide sufficient room for the retention and/or re-establishment of native vegetation to assist in integrating built form with the landscape.

To achieve a reasonable sharing of views of significant landscape features, including views of the ocean and coastal shoreline, the Split Point Lighthouse, the Painkalac valley and natural bushland in the hinterland.

To safeguard the landscape values of the lighthouse when viewed from beyond the site and ensure that development does not dominate or compete with the prominence of the lighthouse within the immediate landscape.

To protect the visual amenity of the mouth of the Painkalac Creek and retain the established single storey character.

To encourage buildings that relate to, and blend with, the natural surroundings through the use of natural, lightweight materials, with colour schemes that are warm, natural and earthy and roofs that are clad in a non-reflective material and colour.

SURF COAST PLANNING SCHEME

To discourage the establishment of recreational structures such as tennis courts and swimming pools that prevent long term enhancement of the vegetation cover and the illumination of existing structures.

To encourage accessways and other infrastructure that have an informal, non-suburban, vegetated appearance, with minimal artificial lighting.

3.0

27/05/2019
C131surf

Permit requirement

A permit is required to:

- Construct an outdoor swimming pool associated with a dwelling.
- Construct or extend an outbuilding normal to a dwelling.

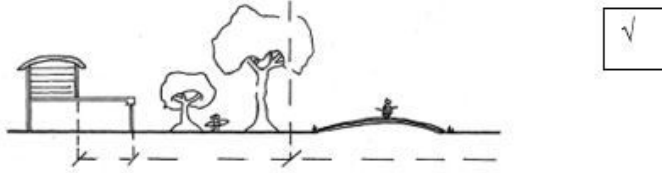
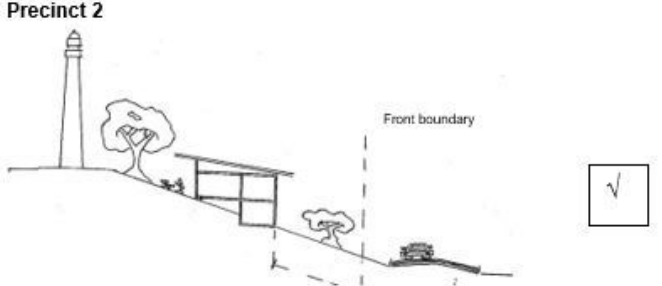


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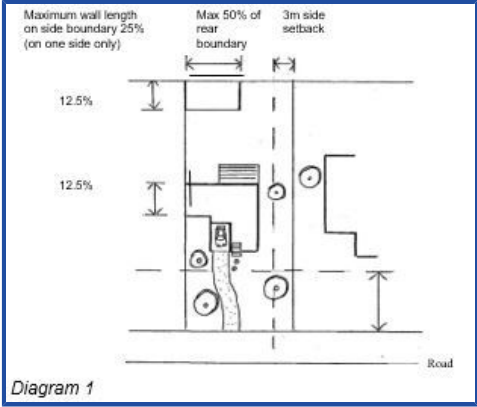
Modification to Clause 54 and Clause 55 standards

Standard	Modified Requirement		
A3/B6	STREET SETBACK		
	Walls of buildings should be set back from streets the distance specified in the Street Setback Table below.		
	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
	There is an existing building on both the abutting lots facing the same street, and the site is not on a corner.	9 metres.	Not applicable
	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	9 metres.	Not applicable
	There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	9 metres.	Not applicable
	The site is on a corner.	9 metres from the front street.	6 metres from the side street.
A4/B7	BUILDING HEIGHT		
	The maximum building height should not exceed 7.5 metres.		
	Buildings should be stepped down the slope on steep sites.		
	<i>The following requirements apply to land within the precincts shown on Map 1 of this Schedule.</i>		

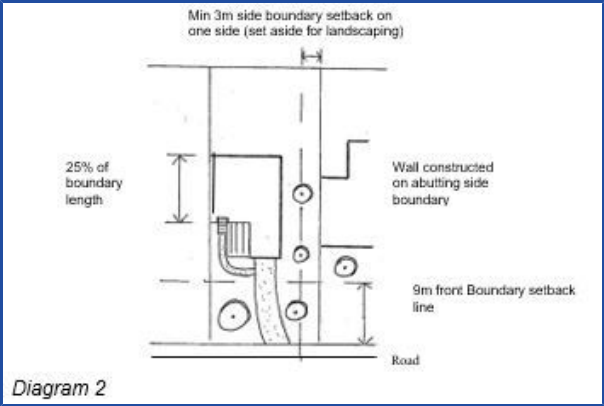
SURF COAST PLANNING SCHEME

Standard	Modified Requirement
	<p>Precinct 1</p>  <p>Second storey set 3m behind the lower level 9m setback Inlet Crescent</p>
	<p>The second storey should be set back a minimum of 3 metres behind the lower storey on lots located within Precinct 1.</p>
	<p>Precinct 2</p>  <p>new development stepped down the slope 9m building setback Front boundary</p>
	<p>Buildings should be stepped down the site following the contour, on lots located within Precinct 2.</p>
	<p>Precinct 3</p> 
	<p>Buildings should be recessive adjacent to the lighthouse, on lots located within Precinct 3.</p>
	<p>Precincts 2 and 3</p> 
	<p>New development located in Precincts 2 and 3 is not to dominate or compete with views of the lighthouse.</p>
<p>A5/B8</p>	<p>SITE COVERAGE</p> <p>The site area covered by buildings should not exceed 30%, or 35% where the percentage of building exceeding 30% is unroofed deck only.</p> <p>The gross floor area of all buildings should not exceed a plot ratio of 0.4 of the site area.</p> <p>The calculation for <i>site area</i> should not include:</p>

SURF COAST PLANNING SCHEME

Standard	Modified Requirement
	<ul style="list-style-type: none"> land common to, or in shared use between, two or more dwellings. land providing vehicular access to a rear dwelling, such as in a battle-axe lot.
A8/B13	<p>SIGNIFICANT TREES/LANDSCAPING</p> <p>The siting of new buildings should provide for the retention of existing vegetation and provide adequate space on site for the planting of new indigenous shrubs and trees.</p> <p>At least 60% of the site area (excluding should be available for the planting of vegetation (area available for planting excludes the area of driveways, gravel, paving, decks, swimming pools and tennis courts) should be available for the planting of vegetation.</p>
A10/B17	<p>SIDE AND REAR SETBACKS</p> <p>A new building should be setback at least 3 metres from side and rear boundaries.</p>
A11/B18	<p>WALLS ON BOUNDARIES</p> <p>A new wall should not be located on side and rear boundaries.</p> <p>Where a lot has a boundary width of 14 metres or less or where it can be demonstrated that walls on boundaries cannot be avoided due to site constraints, the following standards apply:</p> <p>Length of walls on boundaries</p> <p>A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than:</p> <ul style="list-style-type: none"> 25 per cent of one side boundary, and 50 per cent of the rear boundary <p>as shown in Diagram 1.</p>  <p>Diagram 1</p>
A11 / B18 (continued)	<p>Location of walls on boundaries</p> <p>A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut more than:</p> <ul style="list-style-type: none"> one side boundary, and one rear boundary. <p>Where there is a wall constructed on the boundary of an abutting lot a new building should be setback at least 3m from that boundary as shown in Diagram 2.</p>

SURF COAST PLANNING SCHEME

Standard	Modified Requirement
	
<p>A19 / B31</p>	<p>DESIGN DETAIL</p> <p>In addition to the attributes in clause 54.06 and 55.06:</p> <p>The design of buildings should reflect the preferred neighbourhood character attributes, including:</p> <ul style="list-style-type: none"> ▪ Landscape setting ▪ Building massing ▪ Height ▪ Colours, materials and finishes ▪ Space around buildings and setbacks

5.0

27/05/2019
C131surf

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.05 in addition to those specified in Clause 43.05 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

Building setbacks

- Whether the building setbacks are adequate to achieve a sense of space around buildings and to retain native vegetation where this does not increase bushfire risk.
- Whether it is reasonable to vary a building setback to avoid or minimise the removal of native vegetation, address topographical or physical site constraints (e.g. slope, site dimensions) or retain views of significant landscape features from surrounding properties.
- Whether it is reasonable to allow minor encroachments of building elements such as sunblinds, shade sails, verandahs, porches, pergolas, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, heating and cooling equipment and small garden sheds into the required minimum side and rear setbacks.
- The visual impact of the building when viewed from the street or adjoining properties.
- The setbacks of any existing buildings on the site.
- Whether an approved building or habitation envelope provides for a reduced setback from any boundary.

Building height

- Whether a lower building height is required so that the building does not protrude above the tree canopy or protrude above ridgelines to form a silhouette against the sky when viewed from the Great Ocean Road or other significant viewing point.

SURF COAST PLANNING SCHEME

- Whether a greater building height is reasonable due to the physical constraints of the site while ensuring that the greater height will not result in reduced residential amenity by loss of views, overlooking, overshadowing or visual bulk.
- Whether buildings have been designed to step down the slope on steep sites to reduce overall building height and bulk.

Site coverage

- Whether a lesser site coverage is required to avoid and/or minimise the removal of native vegetation.
- Whether the maximum site coverage and plot ratio for an existing lot with an area less than 550sqm should be varied where the objectives of this schedule can still be met.

Design detail

- Whether the building evokes a design that is reflective of and sympathetic to the local character.
- Whether buildings have a lightweight appearance and provide visual interest through articulation, glazing, verandahs, balconies, eaves and variation in materials and textures.
- The need to strongly discourage suburban looking buildings and historic replicas.
- The need to encourage the use of building colours that are subtle, neutral, muted and unobtrusive to assist in visually blending the building with the surrounding natural landscape.
- Whether areas for car parking and vehicle access are visually recessive and minimise the loss of space for the retention and/or planting of vegetation by:
 - recessing carports or garages behind the front facade of the dwelling;
 - ensuring crossovers are located to retain established street trees and other significant roadside vegetation;
 - requiring the use of informal, permeable surfaces for driveways and parking areas rather than hard, impervious surfaces such as concrete, where practical;
 - encouraging the use of shared driveways in multi-dwelling developments.

Recreational structures

- Whether swimming pools are integrated with the design of the dwelling and meet the objectives of this schedule.
- Whether private recreational structures such as tennis courts and swimming pools would compromise long term enhancement of the vegetation cover.

SURF COAST PLANNING SCHEME

MAP 1 TO THE SCHEDULE TO CLAUSE 43.05 – LIGH THOUSE & ESTUARY PRECINCT PLAN



SURF COAST PLANNING SCHEME

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SCHEDULE 2 TO CLAUSE 43.05 NEIGHBOURHOOD CHARACTER OVERLAY

Shown on the planning scheme map as NCO2.

LORNE RESIDENTIAL AREAS

1.0

27/05/2019
C131surf

Statement of neighbourhood character

The township of Lorne lies on the internationally recognised Great Ocean Road. The setting of the Otway Ranges rising from the coastline, and the nestling of Lorne within this landscape is highly valued by residents and visitors alike.

The preferred neighbourhood character for Lorne is derived from the positive elements of the existing character and is consistent across the township. It comprises a hillside amphitheatre with a strong native landscape setting and continuous tree canopy. Within this setting sit discrete, low scale buildings that are reflective of the town's origins as a popular seaside destination. Building forms range from classic older beach houses through to modern coastal designs utilising simple built forms, a diverse range of natural, visually lightweight materials, extensive use of glass and building colours that are subtle, neutral and unobtrusive. Driveways and car parking is recessive in the streetscape. While buildings are largely screened and blend with the vegetation, filtered views of the ocean, coast and hinterland are a special feature of this town. Heritage places and their landscape setting also contribute to the character.

2.0

27/05/2019
C131surf

Neighbourhood character objective

- To conserve, enhance and reinstate the preferred character of a tall canopy treed setting with recessive buildings throughout Lorne, including areas that are substantially cleared of vegetation.
- To protect the quality of the vegetated amphitheatre vista of the Lorne township as viewed from the public realm.
- To encourage building design that complements the cultural, environmental and landscape values of Lorne, with emphasis on small footprints, large setbacks and avoidance of visual bulk or prominence.
- To respect the neighbourhood character value of heritage places and their landscape setting.
- To encourage development that reflects a lightweight coastal image, avoids design repetition and blends with the vegetation using subtle, neutral and unobtrusive colours.
- To ensure that buildings sit below ridgelines and the tree canopy when viewed from the Great Ocean Road or any other significant viewing points.
- To ensure that buildings are sited and designed to avoid and/or minimise removal of native vegetation.
- To retain space around buildings to provide sufficient room for the retention of vegetation and landscaping, particularly to the front and rear of a development.
- To maintain, to a reasonable level, the residential amenity derived from the availability of views of landscape features, privacy and access to sunlight.
- To achieve a reasonable sharing of views of significant landscape features, including views of the ocean and coastal shoreline, the Erskine River and natural bushland in the hinterland.
- To encourage accessways and other infrastructure that has an informal, vegetated appearance that sits naturally in the landscape.
- To ensure dwelling densities are consistent with the subdivision requirements of Schedule 12 to the Design and Development Overlay.

SURF COAST PLANNING SCHEME

3.0

27/05/2019
C131surf

Permit requirement

A permit is required to:

- Construct an outdoor swimming pool associated with a dwelling.
- Construct or extend an outbuilding normal to a dwelling.

Application requirement

An application for buildings and works, other than minor alterations to existing buildings, must include the following information, as appropriate:

- Details of the type and colour of all external building materials.
- A landscape plan that shows:
 - The location of existing vegetation that is to be retained and removed.
 - Planting in accordance with the requirements of this schedule, using species predominantly selected from the 'Indigenous Planting Guide (2003)', with emphasis on canopy vegetation.
 - A detailed planting schedule, which includes the botanical and common name, height and spread at maturity, quantity and size at planting.
 - The replacement of environmental weeds listed in the incorporated document '*Environmental Weeds – Invaders of our Surf Coast*' (2nd Edition, 2002).
- A report that details:
 - The structure, health and species of native vegetation on site
 - The expected impact of proposed works on native vegetation that is proposed to be retained in a development, and recommended measures to suitably protect retained trees from damage during the proposed works.
 - Recommended means of retaining mature trees as a preference to removal.
- Where a site has a slope exceeding 25%, a geo-technical report that addresses where relevant:
 - Potential for erosion, susceptibility to landslip or other land degradation.
 - The need to stabilise disturbed areas by engineering works or re-vegetation.

4.0

16/10/2013
G78Proposed C140surf

Modification to Clause 54 and Clause 55 standards

Standard	Modified requirement									
A3/B6	Street setback Walls of buildings should be set back from streets the distance specified in the Street Setback Table below.									
	<table border="1"> <thead> <tr> <th>Development context</th> <th>Minimum setback from front street (metres)</th> <th>Minimum setback from a side street (metres)</th> </tr> </thead> <tbody> <tr> <td>If the street is Great Ocean Road, Ocean Road, Ocean Road South or Mountjoy Parade.</td> <td>9 metres</td> <td>9 metres</td> </tr> <tr> <td>For other streets.</td> <td>The street boundary setbacks of Standard A3 and B6 apply.</td> <td>The street boundary setbacks of Standard A3 and B6 apply.</td> </tr> </tbody> </table>	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)	If the street is Great Ocean Road, Ocean Road, Ocean Road South or Mountjoy Parade.	9 metres	9 metres	For other streets.	The street boundary setbacks of Standard A3 and B6 apply.	The street boundary setbacks of Standard A3 and B6 apply.
	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)							
If the street is Great Ocean Road, Ocean Road, Ocean Road South or Mountjoy Parade.	9 metres	9 metres								
For other streets.	The street boundary setbacks of Standard A3 and B6 apply.	The street boundary setbacks of Standard A3 and B6 apply.								
A4/B7	Building height The maximum building height should not exceed 7.5m.									
A5/B8	Site coverage									

SURF COAST PLANNING SCHEME

Standard	Modified requirement
	<p>The area of a lot covered by buildings should not exceed 35 per cent.</p> <p>The plot ratio of a building should not exceed 0.5.</p>
A8	<p>Significant trees</p> <p>At least 50 per cent of a lot should be available for the planting of vegetation (excludes driveways and tennis courts of all surface types).</p> <p>An area of 100m², with a minimum dimension of 8 metres, should be provided for vegetative landscaping that includes canopy trees.</p> <p>Sites, in particular the front and rear building setback areas, should be landscaped in a manner that places buildings in a bushland setting, softens the appearance of buildings in the streetscape and from adjoining properties and compliments complements the character of the town.</p> <p>A group of canopy trees should be planted on each lot with at least two in the front building setback area.</p>
B13	<p>Landscaping</p> <p>In addition to the requirements of clause 55.03-8:</p> <ul style="list-style-type: none"> ▪ At least 50 per cent of a lot should be available for the planting of vegetation (excludes driveways and tennis courts of all surface types). ▪ An area of 100m² per dwelling with a minimum dimension of 8 metres, must be provided for vegetative landscaping that includes canopy trees. ▪ Sites, in particular the front and rear building setback areas, should be landscaped in a manner that places buildings in a bushland setting, softens the appearance of buildings in the streetscape and from adjoining properties and compliments complements the character of the town. ▪ A group of canopy trees should be planted on each lot with at least two in the front building setback area.
B15	<p>Parking</p> <p>In addition to the requirements of clause 55.03-10:</p> <ul style="list-style-type: none"> ▪ Any new undercover or enclosed car parking space should be sited behind the main building façade. ▪ Only one single-width vehicle crossover providing access to parking for a dwelling should be provided to each lot.
A11/B18	<p>Walls on boundaries</p> <p>In addition to the requirements of clauses 54.04-2 and 55.04-2:</p> <ul style="list-style-type: none"> ▪ A new wall should not be located on a side or rear boundary.
A19 and B31	<p>Design detail</p> <p>In addition to the attributes in clauses 54.06 and 55.06:</p> <ul style="list-style-type: none"> ▪ The design of buildings should reflect the preferred neighbourhood character attributes, including: <ul style="list-style-type: none"> - Landscape setting - Building massing - Height - Colours, materials and finishes - Space around buildings and setbacks. ▪ Buildings should reference the attributes of classic beach houses and display a coastal design style of architecture. ▪ Any new undercover or enclosed car parking space should be sited behind the main building façade.

SURF COAST PLANNING SCHEME

5.0 Decision guidelines

27/05/2019
C140surf Proposed C140surf

The following decision guidelines apply to an application for a permit under Clause 43.05 in addition to those specified in Clause 43.05 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Development will not be supported unless it is demonstrated that a treed setting character is reinforced or re-established.
- Applications for more than one dwelling will not be supported unless it can be shown that the development can be subdivided in accordance with the subdivision requirements of Schedule 12 to the Design and Development Overlay (clause 43.02).

Building setbacks

- Whether the setback of a building from a boundary should be varied to avoid and minimise the removal of native vegetation.
- Whether the setback of a building from a boundary should be varied because of topographical or other physical constraints of the land.
- The need to maintain a sense of space and separation between buildings, including within multi-dwelling developments.

Building height

- Whether buildings should be designed to step down the slope on steep sites to reduce overall building height and bulk.
- Whether a lesser building height is required so that the building does not:
 - Protrude above ridgelines to form a silhouette against the sky when viewed from the Great Ocean Road or any significant public viewing point.
 - Project above the existing or reinstated tree canopy so as to be prominent in the landscape.
- Whether a greater building height is reasonable due to the physical constraints of the site while ensuring that the greater height will not result in reduced residential amenity by loss of views, overlooking or overshadowing.

Site coverage

- Whether a lesser site coverage is required to avoid and minimise the removal of native vegetation.
- Whether a greater site coverage is reasonable so as to reduce the overall visual bulk, height or prominence of buildings.

Landscaping

- The extent to which the landscaping of the site will achieve the effect of:
 - Placing buildings in a bushland setting.
 - Softening the appearance of buildings in the streetscape and from adjoining properties
 - ~~Complimenting~~ **Complementing** the character of the town.
- The appropriateness of reducing the landscape area requirement in order to facilitate increased dwelling diversity in areas within close walking distance of the commercial centre, whilst still providing a high quality landscape outcome.
- The need to ensure that excavation, retaining walls, paths and other ancillary works do not reduce the ability to appropriately vegetate the site.

Parking and access

- The need to ensure that driveways and parking is visually recessive in the streetscape by:

SURF COAST PLANNING SCHEME

- Discouraging undercover or enclosed car parking forward of the main building façade, with a preference, if required, for open carport structures.
- In multi-dwelling developments and battle-axe subdivisions, encouraging shared driveways.
- Siting driveways and parking so that it can be screened from the street by vegetation.
- Where undercover parking is not proposed, the need to accommodate future demand for undercover parking in a manner that is consistent with the objectives and requirements of this schedule.

Overlooking

- The appropriateness of allowing a greater degree of overlooking in order to maintain the open bushland character of the town.

Design Detail

- The need to avoid boxy building forms, by encouraging buildings with projecting eaves and discouraging parapet walls unless the building form is highly articulated.
- The need to encourage a diversity of built form, particularly in multi-dwelling developments.
- The need to encourage the use of building materials and finishes that result in a lightweight appearance.
- The need to strongly discourage suburban looking buildings and historic replicas.
- The need to encourage the use of building colours that are subtle, neutral, muted, receding and unobtrusive and assist in visually blending the building with the surrounding natural landscape, especially the tree canopy.

View sharing

- Whether the development will achieve a reasonable sharing of views from private land, with particular emphasis on significant landscape features, including views of the ocean and coastal shoreline, the Erskine River and natural bushland in the hinterland.
- The appropriate balance between affording views from individual properties with the protection of the landscape character of the town and the visual appearance of the town from public viewing points.

SURF COAST PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME

1.0 Incorporated documents

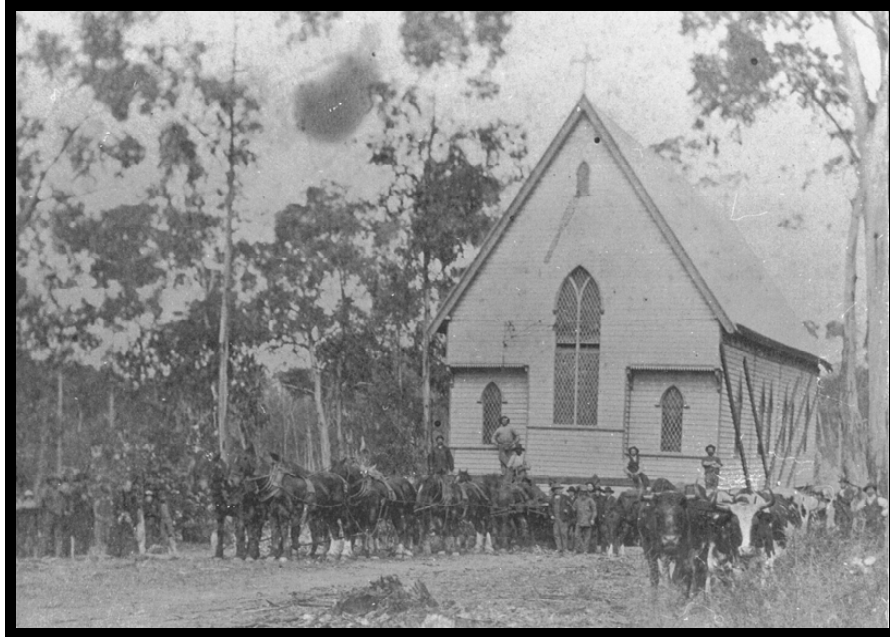
16/06/2021
C136surf Proposed C140surf

Name of document	Introduced by:
<i>Anglesea Borefield Project Incorporated Document</i> (Barwon Water and GHD, June 2009)	C51
<i>Briody Drive West Upgrade Development Contributions Plan</i> (Surf Coast Shire, October 2012)	C71 (Part 3)
<i>Cape Otway Road Australia Comprehensive Development Plan</i> (Tract, September 2020)	C125surf
<i>Cape Otway Road Australia Site Wide Plans and Precinct Concept Plans</i> (DELWP, September 2020)	C125surf
<i>Cumberland River, Cypress Trees Incorporated Plan</i> (Surf Coast Shire, June 2006)	C15 (Part 2)
<i>Cypress Ave, Lorne Foreshore Incorporated Plan</i> (Surf Coast Shire, June 2006)	C15 (Part 2)
<i>Deans Marsh Township Restructure Plan (Revised October 2013)</i> (Surf Coast Shire, October 2013)	C88
<i>Gnarwarre Battery Energy Storage System (BESS) - 189-389 Volum Road, Gnarwarre - Incorporated Document</i> (DELWP, February 2021)	C135surf
<i>Golden Beach Residential Lakes and Golf Course Development, Torquay – Concept Plan (Revision F: 13.04.00)</i> (Golden Wood Pty Ltd, 2000)	NPS1
<i>Livewire Park, Tree Top Adventure Facility, 180 Erskine Falls Road, Lorne</i> (Surf Coast Shire, April 2016)	C116
<i>Lorne Restructure Plan 2006 (Revised July 2007)</i> (Surf Coast Shire, 2007)	C34
<i>Moreton Bay Fig, Lorne Foreshore Incorporated Plan</i> (Surf Coast Shire, June 2006)	C15 (Part 2)
<i>Mountjoy Parade Heritage Design Guidelines</i> (Surf Coast Shire, April 2021)	C136surf
<i>Part of Lot A on PS 720129F (proposed Lots 312-314 on PS711644P), Winki Way, Torquay - West Coast Business Park</i> (Surf Coast Shire, April 2016)	C115
<i>Point Roadknight, Anglesea Restructure Plan</i> (Surf Coast Shire, 2004)	C16
<i>Powerline Bushfire Safety Program - Native Vegetation Removal Code of Practice</i> (DELWP, August 2016)	GC57
<i>Princes Highway Duplication – Winchelsea to Colac</i> (VicRoads, July 2014)	C91
<i>Queens Park Caravan Park Incorporated Plan</i> (Surf Coast Shire, June 2006)	C15 (Part 2)
<i>Surf Coast Shire Heritage Study Stage 2B – Statements of Significance</i> (David Rowe & Wendy Jacobs, July 2009, revised November 2021)	C50 C140surf
<i>Taylor Park Incorporated Plan</i> (Surf Coast Shire, June 2009)	C50
<i>Torquay Caravan Park Incorporated Plan June 2009 (Am Jan 2012)</i> (Surf Coast Shire, 2012)	C78
<i>Torquay Foreshore Incorporated Plan</i> (Surf Coast Shire, June 2009)	C50
<i>Torquay Jan Juc Development Contributions Plan, 16 May 2011 (Revised July 2017)</i> (SGS Economics & Planning, July 2017)	GC75
<i>Wanliss Nut Farm Incorporated Plan</i> (Surf Coast Shire, June 2006)	C15 (Part 2)
<i>Weeds of the Surf Coast Shire</i> (Surf Coast Shire, 2013)	C96

SURF COAST PLANNING SCHEME

Name of document	Introduced by:
<i>Warrnambool Line Upgrade Incorporated Document</i> (Rail Projects Victoria, December 2019)	GC121
<i>Waurrn Ponds Train Maintenance and Stabling Facility Project Incorporated Document</i> (Rail Projects Victoria, May 2020)	GC104

Surf Coast Shire Heritage Study Stage 2B



Statements of Significance

Aireys Inlet – Anglesea – Bells Beach – Buckley – Lorne – Modewarre –
Torquay – Winchelsea

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Surf Coast Shire Heritage Study Stage 2B

Statements of Significance

Aireys Inlet – Anglesea – Bells Beach – Buckley – Lorne – Modewarre –
Torquay – Winchelsea

This report is a compilation of the Statements of Significance
contained in Volumes 2 and 3 of the Surf Coast Heritage Study Stage 2B
prepared by Dr David Rowe, Authentic Heritage Services Pty Ltd &
Wendy Jacobs, Architect & Heritage Consultant

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Cover Photo: All Saints Anglican Church, Lorne, c.1884, under relocation. Source: Lorne Historical Society Inc.

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1.0 Introduction

The Surf Coast Shire Council commissioned Dr David Rowe, Authentic Heritage Services Pty Ltd and Wendy Jacobs, Architect and Heritage Consultant, to undertake Stage 2B of the Surf Coast Shire Heritage Study between October 2007 and August 2008. The resulting three volume Report comprises:

- Volume 1 which provides details about the methodology, significance assessment, criteria and thresholds adopted, and also provides recommendations for implementing the study results. A list of the heritage places where heritage citations have been prepared is provided in Section 3.1 of this Volume.
- Volumes 2 and 3 which consist of the Heritage Citations for each of the heritage places assessed as part of the Study.

In addition the Study completed the Thematic Environmental History of the Surf Coast Shire, initially prepared in 1998 as part of the Stage 1 Heritage Study authored by Dr Carlotta Kellaway (in association with Context Pty Ltd), and since reviewed and updated by Dr David Rowe as part of the Stage 2B Study.

This report extracts all the Statements of Significance from Volumes 2 and 3 and compiles them together as an easy reference for the purpose of being used as decision guidelines under Clause 43.01-4 of the Heritage Overlay of the Surf Coast Planning Scheme. Volumes 1 to 3 of the Study, in addition to the Thematic Environmental History, should be used as reference documents in providing background and support to the statements of significance.

2.0 Statements of Significance

2.1 AIREYS INLET

Federal Street– Pearse Cairn

The Pearse Cairn at Spit Point, Federal Street, Aireys Inlet, has significance for its commemorative associations to the early pioneers of the area, Thomas Butson Pearse and Martha Pearse (nee Speering). They established the Angahook Run at Aireys Inlet in 1852 and worked the property until their deaths in 1862 and 1870 respectively. Both Thomas and Martha Pearse were buried at Spit Point and this cairn was built above their graves in 1960 to a design by Ron Spence, Shire Engineer and constructed by the Shire of Barrabool. The cairn was unveiled in 1960 as part of a family get-together. Overall, it is intact and in fair-good condition, although the concrete base has cracked.

The Pearse Cairn at Spit Point, Federal Street, Aireys Inlet, is historically and socially significant at LOCAL level (AHC A.4, H.1, G.1). It is associated with the early pioneers of Aireys Inlet, Thomas Butson Pearse and his wife, Martha, who established the Angahook Run in the area in 1853. The cairn and associated graves are recognised and valued by the local community and descendants of the Pearse family for commemorative reasons.

Overall, the Pearse Cairn at Spit Point, Federal Street, Aireys Inlet, is of LOCAL significance.

10 Inlet Crescent - Angahook Bark Hut

The Angahook Bark Hut, 10 Inlet Crescent, has significance as an interpretation of one of the earliest dwellings at Aireys Inlet in the mid 19th century, built of now unusual bark construction. The original bark hut appears to have been built by Thomas Pearse and his stockmaster, Robert McConachy, in 1852. The hut survived most of the 20th century and was restored in 1979, however it was destroyed in the devastating Ash Wednesday bushfires in 1983. In 1985, the hut was predominantly reconstructed and opened to the public in 1986. It is now recognised and valued by the local community as an interpretive legacy of the pioneering years of Aireys Inlet in the 1850s.

The Angahook Bark Hut, 10 Inlet Crescent, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the local community as an importance interpretive legacy of mid 19th century life in Aireys Inlet. The Bark Hut continues to educate the wider public as a local tourist attraction.

Overall, the Angahook Bark Hut, 10 Inlet Crescent, Aireys Inlet, is of LOCAL significance.

2.2 ANGLESEA

Great Ocean Road – Regatta Boat Shed & Adjacent Race Organiser’s Stand

The Regatta Boat Shed/Anglesea Recreation & Sports Clubhouse on the east bank of the Anglesea River, has significance as a tangible legacy of the evolution and development of the Anglesea Recreation and Sports Club established in 1911, and also for its associations with the locally-important annual Anglesea Regatta which originally commenced in 1887. The more formalised carnival commenced in 1910-11 and involved several events particularly rowing, with the main event being the Grand Challenge Cup. This race involved representatives from the various houses of Anglesea, Gladstone (now Anglesea), Airey's Inlet and Torquay. From 1910-11, the Anglesea Regatta has been an important annual community event at Anglesea over the Christmas holiday period and continues to the present day. The surviving Regatta Boat Shed was opened in 1914 as the Clubhouse of the Anglesea Recreation & Sports Club, and has been the focal point of the Regatta and community events and activities since that time. Until the mid 20th century, it also acted as the local public hall. The building is in good condition and of moderate integrity. Adjacent to the boat shed is the organiser's stand, initially built in 1967, in memory of Stan McMillan of "Blink Bonnie". He was an inaugural Committee Member of the Anglesea Recreation and Sports Club, Honorary Secretary between 1914 and 1949, President from 1950 until his death in 1967, and longtime race organiser of the Anglesea Regatta.

The Regatta Boat Shed/Anglesea Recreation & Sports Clubhouse, Anglesea, is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is a physical legacy of the importance of organised recreational activities in Anglesea since 1910-11, when the first formal Anglesea Regatta was held. This involved the staging of the Grand Challenge Cup - the head of the river rowing race - together with tennis golf, swimming and "beer-chewing" tournaments. Representatives from the various houses in Anglesea, Gladstone, Airey's Inlet and Torquay participated, with "Challenge" rules and an "Acceptance" document drawn up in late 1910 by Anglesea and Airey's Inlet organisers respectively. The Anglesea Regatta emanated from the local aquatic regatta first known to have been held on the Anglesea River in 1887. It was formalised in 1910-11, when the Anglesea Recreation & Sports Club was established. Its first president was S.R.J. Mawson who donated the first Grand Challenge Cup and who was responsible for the construction of the clubhouse in 1913-14. The building and the Regatta have associations with numerous locals of the area, including S.R.J. Mawson (inaugural President of the Anglesea Recreation and Sports Club), the McMillan family of "Blink Bonnie", Parker Street and the Bingley family of "Loma Larnee", Harvey Street. From its beginnings as local summertime recreation with a high degree of hilarity, the Anglesea Regatta became an annual event through the 20th century and continues to the present day. Notable participants have included Carjie Greeves in 1932 (winner of the first VFL/AFL Brownlow Medal), and Garth Manton and Brian Goyle in 1957 (Olympians of the 1956 Melbourne Olympics). The Regatta boat shed is recognised and valued by locals throughout the area as an important staging area for the Anglesea Regatta and as a significant recreational meeting place. The historical and social significance of the boat shed is embodied in the existing physical fabric.

Adjacent to the shed is the timber organiser's stand initially built in 1967 in memory of Stan McMillan, inaugural Committee Member of the Anglesea Recreation and Sports Club, Honorary Secretary between 1914 and 1949, President from 1950 until his death in 1967, and longtime race organiser of the Anglesea Regatta. It is recognised and valued by the community for commemorative reasons and the part it plays in the staging of the annual regatta.

Overall, the Regatta Boat Shed/Anglesea Recreation & Sports Clubhouse, Anglesea is of LOCAL significance.

119 Great Ocean Road – Angahook General Store

The Angahook General Store at 119 Great Ocean Road, has significance as a legacy of commercial development in Anglesea during the interwar period, a time when Anglesea progressed dramatically as a seaside destination as a result of the opening of the Great Ocean Road. It was built in 1929 for Reg and Ivy Baldry. From 1937, it was managed by Miss Marion Francis who purchased the business in 1942. The shop has particular longtime associations with Miss Francis who was a local identity. The shop was a local community hub prior to the construction of the Memorial Hall in 1954, with township meetings, Red Cross meetings and other important community events being held there until the mid 20th century. The building appears to be in good condition and of moderate integrity.

The Angahook General Store at 119 Great Ocean Road is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is a physical legacy of the dramatic development in Anglesea during the interwar period, when the town became more popular as a seaside destination as a result of the opening of the Great Ocean Road. In particular, the General Store has associations with Miss Marion Francis, longtime owner and operator who became a local identity in the town. The General Store continues to be recognised by some locals as a reflection of early twentieth century community life, being a hub for township meetings, Red Cross meeting and other important community events prior to the construction of the Memorial Hall in 1954. The historical and social significance of the place is embodied in the surviving (albeit altered) building fabric. The Angahook General Store is the only surviving intact example of an interwar commercial building in Anglesea and one of few remaining in the Surf Coast Shire.

The Angahook General Store at 119 Great Ocean Road of architectural interest. Although the building has experienced alterations, it continues to clearly demonstrate original design qualities for an interwar commercial shop. These qualities include the gabled roof form and the stepped parapet at the front. Other intact or appropriate qualities include the strapped cement sheet wall cladding, face brick chimney, and the timber framed shopfront display windows. The projecting post-supported skillion front verandah, while introduced, is similar to the original design.

Overall, the Angahook General Store at 119 Great Ocean Road is of LOCAL significance.

129 Great Ocean Road – Children's Joy

The house at 129 Great Ocean Road has significance as predominantly intact example of a rudimentary interwar Bungalow in Anglesea, reflecting a version of a simple seaside Bungalow common for holiday houses for the period. It was built in c.1936 for William and Edith Gribble, longtime owners, with the Gribble family continuing to own the property until 1993. The house represents one of a small number of intact Bungalows in Anglesea built during the interwar period when the town experienced dramatic progress in residential development, primarily as holiday homes. The early gabled outbuilding towards the rear of the site also contributes to the significance of the place. The house and outbuilding appear to be in good condition.

The house at 129 Great Ocean Road is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a rudimentary interwar Bungalow style. These qualities include the simple gable roof form clad in terra cotta tiles, broad eaves supported by curved timber brackets at the building corners, projecting bracketed tiled window and door hood at the front, and the central doorway opening. Other intact or appropriate qualities include the timber weatherboard wall cladding (designed as a dado), strapped cement sheet wall cladding, timber framed windows

arranged in banks of three that flank the front doorway, side timber framed double hung windows and the strapped panelling design of the gable infill. The rudimentary interwar Bungalow design reflects the typical approach to seaside holiday houses for the period.

The house at 129 Great Ocean Road is historically significant at a LOCAL level (AHC A.4). It is associated with residential developments in Anglesea during the interwar period, an era that had a dramatic impact on the progress of the town as a result of the opening of the Great Ocean Road.

Overall, the house at 129 Great Ocean Road is of LOCAL significance.

131 Great Ocean Road – Rivernook

"Rivernook" at 131 Great Ocean Road has significance as one of the very few more intact dwellings built in Anglesea during the Edwardian and Late Edwardian period (c.1900-1915), and with its modest scale it epitomises the simple design and construction afforded to holiday houses for the period. Built in 1915, this was a time when Anglesea was considered a small seaside village. "Rivernook" is a representative example of the work of Walter Harrison, local builder and was constructed for Captain John and Georgina Harriet Webb of Newtown, Geelong. Overall, the dwelling appears to be in good condition and is predominantly intact.

"Rivernook" at 131 Great Ocean Road is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a modest Late Edwardian style. The qualities include the steeply pitched hipped roof form together with the shallow-hipped verandah that projects towards the street frontage and the skillion wing that projects at the rear. Other intact or appropriate qualities include the single storey height, modest scale, corrugated profile sheet metal roof cladding, horizontal timber weatherboard wall cladding, face brick chimney, narrow eaves, square timber verandah posts having solid timber brackets and decorative solid timber valances, central timber framed front doorway and timber door, and the timber framed double hung windows. "Rivernook" represents one of only two predominantly intact houses in Anglesea built during the Edwardian-Late Edwardian period, the only other being "Lorna Larnee", 45 Harvey Street, constructed in 1916-17 to a more substantial design.

"Rivernook" at 131 Great Ocean Road is historically significant at a LOCAL level (AHC.A.4). It is a rare intact physical legacy of the residential developments in Anglesea during the Edwardian and Late Edwardian period, when the town was a small seaside village.

Overall, "Rivernook" at 131 Great Ocean Road is of LOCAL significance.

45 Harvey Street – Loma Larnee

"Loma Larnee" at 45 Harvey Street has significance is a rare, more substantial example of a Late Edwardian style in Anglesea. Built in 1916-17 as the holiday home for Arthur and Elsie Bingley of "Warrambeen", Shelford, it also is a surviving moderately intact example of the Late Edwardian work of the prolific Geelong architects, Laird and Buchan. "Loma Larnee" may be compared with other contemporary examples, including the former "Sunnyside" at Belmont, a house in Mirboo North and a house at Willandra Station, N.S.W. While a holiday residence, during his time at "Loma Larnee" Arthur Bingley still contributed to community life in Anglesea. With Philip Harvey, he helped to establish the Anglesea Tennis Club, being its inaugural President in 1930. In 1936, he was Chairman of the Public Hall Committee and he was involved with the local Regatta Cup, with the "Lorna Larnee" crew winning the regatta three years in succession between 1923 and 1925. The mature cypress hedges on three sides contribute to the significance of the property. "Loma Larnee" appears to be in good condition.

"Loma Larnee" at 45 Harvey Street is architecturally significant at a LOCAL level (AHC D.2). Although noticeably altered (the most conspicuous change being the filled in verandah), it still clearly demonstrates original design qualities of a Late Edwardian style. These qualities include the L-shaped layout having a main hipped roof form that traverses the site, together with a rear minor hipped roof and encircling broken back balcony. Other intact or appropriate qualities include the asymmetrical composition, elevated height, corrugated sheet metal roof cladding, two face brick

chimneys with rendered bands, surviving remnant timber balcony posts with decorative timber brackets, remnant capped timber balcony balustrades, front portion and landing of the entrance stairs, timber framed double hung windows arranged in pairs, and the entrance openings with timber doors. "Loma Larnee" represents one of only two of the more intact Edwardian domestic examples in Anglesea, the other being the more modestly scaled "Rivernook" at 131 Great Ocean Road. It is also a representative example of the Late Edwardian work of Laird and Buchan, Geelong architects. The mature cypress hedges on three sides at "Loma Larnee" also contribute to the significance of the place.

"Loma Larnee" at 45 Harvey Street is historically significant at a LOCAL level (AHC A.4, H.1). It is a rare moderately intact physical legacy of the residential developments in Anglesea during the Edwardian and Late Edwardian periods, when the town was a small seaside village. Built in 1916-17, it has particular associations with the original owners, Arthur and Elsie Bingley. While a holiday residence, during his time at "Loma Larnee" Arthur Bingley still contributed to community life in Anglesea. With Philip Harvey, he helped to establish the Anglesea Tennis Club, being its inaugural President in 1930. In 1936, he was Chairman of the Public Hall Committee and he was involved with the local Regatta Cup, with the "Lorna Larnee" crew winning the regatta three years in succession between 1923 and 1925. "Loma Larnee" also has associations with the prolific Geelong architects, Laird and Buchan.

Overall, "Loma Larnee" at 45 Harvey Street is of LOCAL significance.

69 Harvey Street – Ben Nevis

"Ben Nevis" at 69 Harvey Street has significance as one of the more intact interwar Californian Bungalow examples in an elaborate landscaped setting in Anglesea. Built in 1923 for Carl and Millie Hale of Elsterwick, the significance of the property includes the house, rear outbuilding and large garden having a curved driveway, perimeter mature cypress trees and large exotic and native trees in the grassed area in front of the house. "Ben Nevis" in its landscape setting is comparable with "Carinya" in Tonge Street. "Ben Nevis" appears to be in good condition. Historically, the property is one of few remaining seaside dwellings still owned by the same family.

"Ben Nevis" at 69 Harvey Street is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of an interwar Bungalow style in an early landscaped setting. These qualities include the broad gable roof form clad in corrugated sheet metal, three roughcast chimneys, broad eaves and the recessed return verandah supported by round concrete columns and tapered roughcast piers. Other intact or appropriate qualities include the timber framed double hung windows, timber framed and glazed front double doors and the timber shingling and bellcast form in the front gable end. The rear gabled outbuilding constructed with strapped cement sheet wall cladding and corrugated sheet metal roof cladding, the substantial garden setting with mature perimeter cypresses, curved gravelled driveway and the open grassed area having large native and exotic trees, also contribute to the significance of the place.

"Ben Nevis" at 69 Harvey Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the substantial increase in residential development in Anglesea during the interwar period as a result of the opening of the Great Ocean Road. Built in 1923, the property has particular associations with longtime owners Carl and Millie Hale and their descendants, who have made a contribution to the development and progress of the town.

Overall, "Ben Nevis" at 69 Harvey Street is of LOCAL significance.

01 McMillan Street – Anglesea Memorial Hall

The Anglesea Memorial Hall at 1 McMillan Street has significance for its important associations with community life in Anglesea since the mid 20th century. Built in 1954 by the Anglesea Progress Committee on land donated by Phillip Harvey of "Summerleigh", 29 Harvey Street, the hall commemorates the early European settlers of the district. It has been the centre for community activities, meetings and recreational pursuits (such as the Anglesea Cinema) for over 50 years. A

rare surviving local example of a postwar Modern Functionalist design, the integrity of the hall has been compromised by a recent gabled two storey addition.

The Anglesea Memorial Hall at 1 McMillan Street is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is associated with the development of community life in Anglesea from the mid 20th century, after Phillip Harvey of "Summerleigh", 29 Harvey Street, donated land for its construction. Built in 1954, the hall commemorates the early European settlers of the district and has been the centre for community activities, meetings and recreational pursuits (such as the Anglesea Cinema) for over 50 years. It continues to be recognised and valued by the community for these reasons today. The Anglesea Memorial Hall has associations with Arthur Bingley of "Loma Larnee", 45 Harvey Street, who was the inaugural Chairman of the Hall Investigation Committee in 1936, together with Bill McRorie, who was the Honorary Secretary of the Committee at that time. The historical and social significance of the hall is embodied in the progressive image of the surviving postwar Modern Functionalist building fabric. Although altered, the original design is discernible in the central cantilevering narrow flat-roofed portico with flanking parapeted wings (which have curved corners at the junctions with the portico), main entrance with timber and glazed doors and sidelights, concrete entrance steps, broad gable roof form comprising the main hall, brick construction, and the timber framed double hung windows.

Overall, the Anglesea Memorial Hall at 1 McMillan Street is of LOCAL significance.

05 McMillan Street – Rangī Marie (Anglesea & District Historical Society)

"Rangī Marie" at 5 McMillan Street has significance as an intact and rare surviving example of a postwar Modern Functionalist style in Anglesea. Built in c.1954 for Alfred Hollebon, the dwelling is a legacy of the substantial increase in residential development in Anglesea from the interwar period when the town had become an important tourist destination. "Rangī Marie" appears to be in good condition.

"Rangī Marie" at 5 McMillan Street is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of a postwar Modern Functionalist style, and is the only known intact and residential example of its type in Anglesea. These qualities include the triple-fronted and parapetted main facade with a curved northern window bay, narrow flat-roofed entry porch, curved concrete entry steps and crazed stone plinth. Other intact or appropriate qualities include the timber framed double hung windows. The concrete retaining wall in the front garden also contributes to the significance of the place.

"Rangī Marie" at 5 McMillan Street is historically significant at a LOCAL level (AHC A.4). It is associated with residential developments in Anglesea during the postwar period, an era when the town had become an important tourist destination.

Overall, "Rangī Marie" at 5 McMillan Street is of LOCAL significance.

39-43 Parker Street – Blink Bonnie

"Blink Bonnie" at 39-43 Parker Street has significance as one of the few surviving 19th century vernacular huts constructed in bark in Victoria and the only known surviving example of a Victorian residential holiday complex of buildings in Anglesea. The site consists of a bark hut, gabled timber outbuilding and a late 19th century single storey gabled bachelor quarters building with a lookout tower. The bark hut represents the earliest known surviving and largely intact example of this type of construction in the Surf Coast Shire, most comparable with the Angahook Bark Hut at Aireys Inlet which is a replica of a reconstructed hut destroyed by fire in 1983. The other few surviving 19th century buildings constructed of bark on the Victorian Heritage Register include the Staplegrove Meat Works bark shed, Flynn (built 1870), Blacksmith's Shop, Strathbogie (built 1892 - bark wall lining only), Tea Loft at the former Bush's Store, Bendigo (built 1881 - bark roof insitu), Strathfieldsaye Homestead station & outbuildings, Perry Bridge (built 1854 - bark ceilings insitu), and buildings at Chateau Tahbilk, Tahbilk (built 1860 - sections of remnant bark wall linings surviving). The bachelor quarters building is only one of two known late 19th century residential structures in the Shire featuring a lookout tower, the other building being "Sea View Villa" in Torquay. The

property was first owned by Jessie McMillan and then Alexander Parker McMillan, banker of Geelong from c.1885 and continues to be owned by descendants of the McMillan family. The bark hut was built for £2 by caretaker Jonas Hollingsworth as a living area. The holiday residence was completed in 1887 (and was subsequently demolished in the c.1960s and replaced with the existing house). The gabled timber outbuilding was built as a kitchen in the 19th century. The gabled bachelor quarters with lookout tower may have been erected in c.1890 and was built to house the unmarried men. The buildings are largely intact.

"Blink Bonnie" at 39-43 Parker Street is architecturally significant at a LOCAL level (AHC D.2, E.1). The bark hut demonstrates original design qualities of a Victorian vernacular style more common in mid 19th century buildings. These qualities include the steeply pitched hipped roof clad in corrugated sheet metal, timber framed twelve paned double hung windows, central timber framed doorway and particularly the bark wall cladding with horizontal sapling battens (some of the bark may represent later reconstruction). The bark hut represents the earliest known surviving and largely intact example of this type of construction in the Surf Coast Shire, most comparable with the Angahook Bark Hut at Aireys Inlet which is a replica of a previous building. It represents one of few surviving 19th century bark buildings in Victoria.

The gabled outbuilding is another example of a standard Victorian design. Its integrity has been slightly compromised by the loss of a gabled porch on the south facade.

The bachelor quarters with lookout demonstrate original design qualities of a Late Victorian vernacular style, with its single storey gabled roof forms, broken back verandah and elevated hipped roofed tower. The staff quarters building is only one of two known late 19th century residential structures in the Shire featuring a lookout tower, the other building being "Sea View Villa" in Torquay.

"Blink Bonnie" at 39-43 Parker Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with some of the earliest 19th century residential developments in Anglesea and as a complex of buildings it is the only known surviving example in Anglesea today of a seaside residence reflecting the evolution of change in the 19th and 20th centuries. The 19th century buildings on the site appear to have been constructed between c.1885 and c.1890 and have long-time associations with the McMillan family, original owners, whose descendants continue to own the property today. The existing 19th century buildings represent the seaside retreat and affluent lifestyle of the family from the 1880s.

"Blink Bonnie" at 39-43 Parker Street is scientifically significant at a STATE level (AHC F.1). The bark construction of the original hut represents a rare, early and largely intact form of surviving 19th century construction in Victoria (some of the cladding may reflect reconstructed fabric). The other few surviving 19th century buildings constructed of bark on the Victorian Heritage Register include the Staplegrove Meat Works bark shed, Flynn (built 1870), Blacksmith's Shop, Strathbogie (built 1892 - bark wall lining only), Tea Loft at the former Bush's Store, Bendigo (built 1881 - bark roof insitu), Strathfieldsaye Homestead station & outbuildings, Perry Bridge (built 1854 - bark ceilings insitu), and buildings at Chateau Tahbilk, Tabilk (built 1860 - sections of remnant bark wall linings surviving).

Overall, "Blink Bonnie" at 39-43 Parker Street is of STATE significance.

River Reserve Road – Boat Sheds (3)

The three boat sheds on the west bank of the Anglesea River, Anglesea, have significance as the only known-surviving early 20th century boat sheds in the Surf Coast Shire, and as a physical legacy of the importance of aquatic recreational pursuits in Anglesea from the 19th century. The central boat shed appears to have been built in 1916-17 to a design by the Geelong architectural firm of Laird and Buchan for the Bingley family of "Loma Larnee". The boat sheds are associated with the evolution and development of the locally-important annual Anglesea Regatta which formally commenced in 1910-11 and involved several events and particularly rowing, with the main event being the Grand Challenge Cup. This race involved representatives from the various houses of Anglesea, Gladstone (now Anglesea), Airey's Inlet and Torquay. From 1910-11, the Anglesea

Regatta has been an important annual community event at Anglesea over the Christmas holiday period and continues to the present day. The surviving boat sheds are in poor condition and of moderate integrity.

The three boat sheds on the west bank of the Anglesea River are historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). They are associated with the evolution and development of aquatic recreation in Anglesea from the early 20th century and in particular, with the annual Anglesea Regatta rowing race held on New Years Day from 1910-11. The central boat shed also appears to have associations with the Bingley family of "Loma Larnee", having been constructed for them in 1916-17 to a design by the Geelong architectural firm of Laird and Buchan. The buildings continue to be recognised by the community for traditional aquatic recreational activity in the locality. The historical and social significance of the buildings is embodied in the physical fabric. These buildings represent the only known surviving boat sheds in the Surf Coast Shire.

Overall, the three boat sheds on the west bank of the Anglesea River are of LOCAL significance.

01 Tonge Street – Carinya

The dwelling known as "Carinya" at 1 Tonge Street has significance as one of the more substantial and intact examples of an interwar Bungalow in Anglesea. Built in 1921 for John and R.P. McKenzie, the design of the house, with its broad gable and return verandah having a central gabled portico, appears to have been a local interpretation of Indian Bungalow design. The house is in good condition and is predominantly intact.

The dwelling known as "Carinya" at 1 Tonge Street is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of an interwar Bungalow style. These qualities include the broad steeply pitched gable roof form, together with the minor gable that projects to the side and the return shallow-pitched verandah having a central gabled portico at the front. Other intact or appropriate qualities include the elevated single storey height, corrugated profile sheet metal roof cladding, horizontal timber weatherboard wall cladding, two elongated face brick chimneys, wide eaves, square timber verandah posts having curved solid timber brackets, decorative timber eaves brackets to the verandah portico and side gable, timber shingling, strapped panelling and ventilator openings (but not the windows) in the gable ends, timber framed double hung windows (arranged in banks of three at the front with the central windows having bowed sashes), and the segmentally-arched hall window under the central portico. The design of "Carinya" represents one of the more substantial examples of interwar Bungalows in Anglesea. The large front setting also contributes to the significance of the place.

The dwelling known as "Carinya" at 1 Tonge Street is historically significant at a LOCAL level (AHC A.4). It is associated with the dramatic increase in residential development in Anglesea during the interwar period as a result of the opening of the Great Ocean Road. "Carinya" was built just prior to the opening of the Great Ocean Road in 1921 and reflects the design philosophies published by leading architects of the period relating to interwar Bungalow designs and designing for the local climate.

Overall, "Carinya" at 1 Tonge Street is of LOCAL significance.

2.3 BELLS BEACH

140 Bells Road – Addiscot Homestead

Addiscot Homestead, 140 Bells Road, Bells Beach, has historical significance at a LOCAL level for its associations with John Calvert Bell (1861-1937), whose ownership of the property from 1905 witnessed its further development as a sheep grazing property and the construction of the surviving portion of the timber Late Victorian styled dwelling (AHC A.4, H.1). More importantly, Bell's contribution to farming and community life, including his term as Barrabool Shire Councillor between 1897 and 1901 prior to taking up Addiscot, appears to have been the basis for the change in the name of Jan Juc to Bellbrae in 1922. It was through a naming competition held by the Barrabool

Shire where the name was selected, indicating the community's respect for J.C. Bell, then long term resident of Addiscot. J.C. Bell and family also have early and long term associations with the coastal reserve now known as Bells Beach. The Addiscot property originally fronted onto Bells Beach, with the narrow foreshore reserve privately leased to J.C. Bell as part of his Addiscot property from 1905 until soon after his death in 1940-41. The beach was the location for family seaside recreation in the early 20th century. Compulsory acquisition of further land from J.C. Bell's daughter, Mary K.A. Bell, in 1970 and 1971 brought about the reservation of the Bells Beach land as a National Park, with road access having been established since 1966, a year after the first annual Easter surf competition that was to become internationally renowned. Although there is debate as to whether the name of Bells Beach originates from William Bell (first Crown land purchaser of the Addiscot land) or from J.C. Bell and family, it was the latter family that have long term associations with the coastal reserve as part of their sheep grazing property and as their private beach until 1937. These associations are embodied in the surviving physical fabric of the homestead (built c.1912), the rural landscaped setting including the uninterrupted views between the homestead and Bells Beach, and the rear laundry outbuildings that represent the most intact buildings of the J.C. Bell era on the property today.

Overall, Addiscot Homestead, 140 Bells Road, Bells Beach, is of LOCAL significance.

2.4 BUCKLEY

1600 Princes Highway – Former Laketown School

The former Laketown School building at 1600 Princes Highway, Buckley, has outstanding significance as a substantially intact and now rare surviving brick example of the Victorian Education Department's standard 40-Type school design with attached residence. This standard design was used for the construction of State school buildings throughout Victoria in the 1870s and 1880s. Probably designed by the Department's architect, Henry Bastow, the Laketown State School No. 2063 (originally known as Mount Moriac School No. 2063) opened on 1 June 1878. At that time, the school building formed part of the small Laketown settlement. Today, it is the only surviving physical legacy of Laketown that was established in the mid 1850s with the construction of the Lady of the Lake Hotel, and is the only known surviving brick 40-Type school with attached residence in Victoria. The former School building is in good condition.

The former Laketown School building at 1600 Princes Highway, Buckley, is architecturally significant at a STATE level (AHC D.2, E.1). It demonstrates original Victorian stylistic design qualities of the Victorian Education Department's standard 40-Type school design with attached residence, being one of only four known examples of this type surviving in Victoria. These qualities include the steeply-pitched gable roof form to one side (comprising the former school room), together with the minor gabled entry porch at the front and the gabled form comprising the former teacher's residence that traverses the site. Other intact or appropriate qualities include the single storey height, asymmetrical composition, galvanised corrugated steel roof cladding, face brick wall construction, bluestone plinths, timber bargeboards, remnant timber finials, modest eaves with exposed timber rafter ends, ventilator in the gable end, timber framed 12 paned double hung windows, bluestone window sills and ventilator sill, door openings at the side of the front porch and centrally located on the traversing former residential wing, and the face brick voussoirs forming the window and door heads.

The former Laketown School building at 1600 Princes Highway, Buckley, is historically and socially significant at a LOCAL level (AHC A.4, G.1, H.1). It is associated with the cultural development of Laketown (now known as Buckley) in the 19th century, and particularly as the centre of education in the district from 1878, when the building opened as the Mount Moriac State School No. 2063. Probably designed by the Education Department's head architect, Henry Bastow, the school building served the local community until its closure in 1893. Over 190 pupils attended the school during its short life of 15 years, the first head teacher being John Taylor. Although the former school building is now a private home, it clearly reflects the standard 40-Type school design of the 1870s, and its historical significance is embodied in the early physical fabric. The former Laketown School building is the only surviving 19th century legacy of the Laketown settlement.

Overall, the former Laketown School building at 1600 Princes Highway, Buckley, is of STATE significance.

2.5 LORNE

06-08 Beal Street – Banuke

The house known as "Banuke" at 6-8 Beal Street has significance as a predominantly intact and rare local example of an Edwardian style in Lorne, and as a legacy of the residential developments in this part of Lorne in the 19th and early 20th centuries for prominent Melbourne and Western District families. Built in 1903 initially for Captain Charles Parsons and later owned by the McIntyre family of "Mountside" Homestead at Winchelsea, the house is one of only five known surviving examples of Edwardian dwellings in Lorne overlooking Loutit Bay. Although the house has experienced some minor alterations towards the rear, it is predominantly intact and in good condition. The rear outbuilding is a legacy of the lifestyle of the early owners as it appears to have functioned as the maids' quarters in part of the 20th century.

The house known as "Banuke" at 6-8 Beal Street is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of an Edwardian style. These qualities include the broad hipped roof form, rear double hipped (M) roofs, encircling broken back verandah and rear skillion wing. Other intact or appropriate qualities include the single storey height, timber weatherboard wall cladding, corrugated profile sheet metal roof cladding, timber framed casement windows arranged in banks of three, timber framed front doorway with sidelights, brick chimney, stop chamfered timber verandah posts, timber verandah brackets and valances and balustrade capping. The rear gabled outbuilding and garden setting (identified by the open grassed areas and stone retaining wall to the Beal Street frontage) also contribute to the significance of the place. The front timber post and woven wire fence, although not original, is in keeping with the Edwardian character and appearance of the dwelling. Architecturally, "Banuke" represents one of five known surviving examples of Edwardian dwellings in Lorne, with "Banuke" being a particularly intact version. "Banuke" also makes a significant contribution to the Mountjoy Parade Residential Heritage Area HO77.

The house as "Banuke" at 6-8 Beal Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in this part of Lorne in the very early 20th century commonly for prominent Melbourne and Western District families. Built in 1903 for Captain Charles Parsons, the house has particular longtime associations with the McIntyre family of "Mountside" Homestead, Winchelsea, from 1914-15 until at least the mid 20th century.

Overall, "Banuke" at 6-8 Beal Street is of LOCAL significance.

01-07 Charles Street – Police Reserve & Lock Up Buildings

The two former Police Lockup buildings at 1-7 Charles Street, Lorne, have significance as intact examples of a standard Public Works Department design and as a physical legacy of early law enforcement in the town. Given the history of several police sites in Lorne, the significance lies in the two existing Police Lockup buildings rather than the site itself. The portable design of the buildings has allowed them to be easily transported to the different police locations. They are in fair condition.

The two former Police Lockup buildings at 1-7 Charles Street are architecturally significant at a LOCAL level (AHC D.2). They demonstrate original design qualities of a standard Public Works Department design for portable lockups, closely reflecting the design drawings for the Casterton Lockup of 1907. These qualities include the gable roof forms clad in galvanised corrugated steel, and the stop chamfered exposed timber posts with horizontal timber weatherboard wall cladding. Other intact or appropriate qualities include the gable ends with timber ventilators, narrow window openings with wire mesh and vertical metal security bars, modest eaves and the round metal gutters supported by elongated brackets.

The two former Police Lockup buildings at 1-7 Charles Street are historically and socially significant at a LOCAL level (AHC A.4, G.1). They are associated with law enforcement in Lorne from the very early 20th century and reflect the standard design approach to police infrastructure by the Public Works Department. The buildings are recognised by the Lorne community as an historical legacy of the town's early development and associated police infrastructure.

Overall, the two former Police Lockup buildings at 1-7 Charles Street are of LOCAL significance.

03 Fern Avenue – Valetta

The house known as "Valetta" at 3 Fern Avenue has significance as a moderately intact example of a Late Victorian style in Lorne. Built in 1892-93 for Edward Seymour, teacher and second Principal of the Lorne State School, the house reflects the type of housing constructed in the town as part of its growing popularity as a seaside resort in the 19th century. It appears to be in good condition and of moderate integrity.

The house known as "Valetta" at 3 Fern Avenue is architecturally significant at a LOCAL level (AHC D.2). Although there have been some alterations, it continues to clearly demonstrate original design qualities of a Late Victorian style. These qualities include the hipped roof form that traverses the site, together with minor hipped roofs at the rear. Other intact or appropriate qualities include the elevated single storey height, timber weatherboard wall cladding, corrugated sheet metal roof cladding, rendered chimneys with projecting cornices, narrow eaves, timber framed double hung windows, and the four panelled timber front door with highlight. While the return verandah may not be completely original, it is similar to a number of comparable Late Victorian dwellings in Lorne, including the timber verandah posts and capped timber balustrade.

The house known as "Valetta" at 3 Fern Avenue is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Lorne in the 1890s when the town was becoming popular as a seaside resort. In particular, "Valetta" has associations with the original longtime owner, Edward Seymour, local school teacher and the second Principal to the Lorne State School from 1891-1900 and from 1908 until 1914.

Overall, the house known as "Valetta" at 3 Fern Avenue is of LOCAL significance.

10 Howard Street – Lorne Public Cemetery

The Lorne Public Cemetery, 10 Howard Street, Lorne, has significance as an important place of commemoration and as a significant cultural landscape to the town. It represents one of five 19th century cemeteries in the Surf Coast Shire. Five acres for the cemetery were temporarily reserved in 1878, with a further 5 roods and 3 perches in 1893. The cemetery is set on elevated sloping land and features numerous headstones and surrounds, together with native trees (particularly eucalypts) within and surrounding the site.

The Lorne Public Cemetery, 10 Howard Street, is historically and aesthetically significant at a LOCAL level (AHC A.4, H.1, E.1). It is associated with the development of the township of Lorne from 1878, when 5 acres of land were temporarily reserved as a cemetery. The first trustees were Thomas Mountjoy, John Elkington, John Gosney, Edward Hall and possibly John Stirling. The cemetery demonstrates important visual qualities. These qualities include the elevated rural bushland setting comprising an open grassed area of sloping land featuring numerous headstones, grave surrounds laid out in regular rows, and several native trees (particularly eucalypts) within and surrounding the site.

The Lorne Public Cemetery, 10 Howard Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the Lorne community for cultural, spiritual and commemorative reasons.

Overall, the Lorne Public Cemetery, is of LOCAL significance.

51 Mountjoy Parade – Lorne War Memorial

The Lorne War Memorial, 51 Mountjoy Parade, Lorne, has significance as the town's principal commemorative monument to the locals who fought and died in the First World War and in subsequent conflicts. Built of Lorne stone in 1923, the rough-faced obelisk was originally located in the library paddock (now Stribling Reserve), adjacent to a commemorative avenue of flowering gum trees. The transformation of the library paddock in 1955 to a football and cricket ground witnessed the war memorial being relocated to the riverbank of the Erskine River. It was again relocated to a position near the swimming pool on the foreshore before finally being moved to its current location fronting Mountjoy Parade. The memorial appears to be in good condition and is largely intact.

The Lorne War Memorial, 51 Mountjoy Parade, is historically and socially significant at a LOCAL level (AHD A.4, H.1, G.1). It has associations with local soldiers who fought and died in the First World War and in later years (including the Second World War, Korean War and Vietnam War), having been erected by local residents in 1923 in the library paddock (now Stribling Reserve). The memorial is recognised and valued by the local community for its commemorative associations with locals who served and paid the ultimate sacrifice. It continues to be the focus of local Anzac Day services in the town.

The Lorne War Memorial, 51 Mountjoy Parade, is aesthetically significant at a LOCAL level (AHC D.2). Although of a standard design comprising a rough-faced obelisk of Lorne stone, the memorial is one of the earliest veteran related monuments in the Shire of its type and reflects community attitudes towards the design of war memorials after the First World War.

Overall, the Lorne War Memorial, 51 Mountjoy Parade, is of LOCAL significance.

64 Otway Street – Stanmorr B&B

Stanmorr B&B is of local significance because of its historical and architectural values. It is a good example of an early 1920s Lorne residence, later used as a guest house and then as a B&B, a typical progression in usage in this major resort town. (criterion A4) Significant elements include the external appearance and fabric of the building, particularly its early twentieth century elements.

56 Smith Street – Kyanga

"Kyanga" at 56 Smith Street, has significance as a rare surviving example of a Late Victorian Italianate styled dwelling in Lorne and as a legacy of the residential developments in the town in the late 19th century for prominent Melbourne and Western District families. Built in 1891-92 for Robert J. Stirling, it has long term associations with Wilhemina Westerton of Malvern until at least the mid 20th century. "Kyanga" is also one of five surviving Late Victorian dwellings constructed in Lorne in the 1890s. While there have been some rear alterations and additions, the dwelling clearly reflects its original Late Victorian Italianate design and is moderately intact and in good condition.

"Kyanga" at 56 Smith Street is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of a Late Victorian Italianate style. These qualities include the hipped roof form that traverses the site, together with the minor hip and faceted bay window that project towards frontage, return verandah and the rear double hipped (M) roof forms. Other intact or appropriate qualities include the corrugated sheet metal roof cladding, horizontal timber weatherboard wall cladding, two rendered brick chimneys with projecting cornices, narrow eaves, timber framed windows in the front faceted bay, timber framed double hung windows, four panelled front door with highlight, square timber verandah posts with projecting moulded capitals and the capped timber verandah balustrade.

"Kyanga" at 56 Smith Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential development in Lorne in the 19th century at a time when the town was growing in popularity as a seaside resort. Built in 1891-92 for Robert J. Stirling, it has longtime associations with Wilhemina Westerton of Malvern and the Westerton family from 1909-10 until the latter 20th century.

Overall, "Kyanga" at 56 Smith Street is of LOCAL significance.

58 Smith Street – House

The house at 58 Smith Street, has significance as a predominantly intact, modest and contextually rare surviving example of a Late Victorian style in Lorne and as a legacy of the residential developments in Lorne in the late 19th century for prominent Melbourne and Western District families. Built in 1895-96 for Robert J. Stirling, it has longer term associations with the Peel family of "Tower Hill", Inverleigh, as their seaside retreat. The house represents one of only five known surviving Late Victorian dwellings in Lorne constructed in the 1890s. The house appears to be in fair condition.

The house at 58 Smith Street is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a Late Victorian style. These qualities include the hipped roof form that traverses the site, together with the double hipped (M) roof that projects at the rear, return verandah and the rear skillion wing. Other intact qualities include the elevated single storey height, horizontal timber weatherboard wall cladding, corrugated profile sheet metal roof cladding, rendered brick chimney with projecting cornice, narrow eaves, square timber verandah posts, decorative timber verandah brackets and simple timber fretwork valance, capped timber balustrade, timber framed double hung windows and the timber framed doorway with sidelights and highlights.

The house at 58 Smith Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Lorne at a time when its popularity as a seaside resort was becoming more well known. Built in 1895-96, it has long term associations with the Peel family of "Tower Hill", Inverleigh. Like many 19th and early 20th century homes, the dwelling at 58 Smith Street reflects the seaside lifestyle of many prominent Melbourne and Western District families who had holiday homes in the town.

Overall, the house at 58 Smith Street is of LOCAL significance.

2.6 MODEWARRE

910 Cape Otway Road – Avenue of Honour

The Avenue of Honour, Cape Otway Road, Modewarre, has significance for its commemorative associations with locals who fought and died in the First World War, together with General Birdwood, Commander of Anzac troops and Albert Jacka, former Modewarre local who won Australia's first Victoria Cross. It also has significance as the only surviving intact Avenue of Honour in the Surf Coast Shire. Initially planted as an avenue of elms on 28 June 1918 prior to the cessation of the First World War, the avenue was replaced with the existing 32 cypress trees in the c.1940s, except for one surviving elm (tree number 33, dedicated to Albert Jacka). It is one of approximately 163 memorial tree avenues in Victoria (and one of a fewer number that survive today). The Avenue of Honour appears to be in fair condition and is predominantly intact.

The Avenue of Honour, Cape Otway Road, is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It has associations with local residents who fought and died in the First World War and is valued by the local community as an important commemoration of their sacrifice and contribution. Initially planted as elms on 28 June 1918, these trees were replaced with cypresses in the mid 1940s. The avenue has particular associations with General Birdwood, Commander of the Anzac troops (tree number 1), Albert Jacka (tree number 33) and local soldiers. Jacka won Australia's first Victoria Cross at Gallipoli.

The Avenue of Honour of 32 cypress trees and one elm tree, Cape Otway Road, is aesthetically and scientifically (botanically) significant at a LOCAL level (AHC E.1, F.1). It demonstrates visual qualities in the creation of an important cultural landscape of mature exotic trees in Modewarre.

Overall, the Avenue of Honour, Cape Otway Road, is of LOCAL significance.

465 Considines Road – Former Modewarre State School No.396

The former Modewarre State School No. 396, Considines Road, Modewarre, has significance as the earliest-known surviving school building in the Shire, and as an example of the Board of Education's 'suggested plan VIII', intended for a one room school. Built in 1872, the School building is also a physical legacy of the progress and development of Modewarre in the 19th century. Overall, the building is in fair condition and of low-moderate integrity and continues to be recognised for the important part it played as a centre of education until the second half of the 20th century. The trees at the front of the School building (particularly the tree marking the School's centenary) and the overgrown hedging also contribute to the significance of the place.

The former Modewarre State School No. 396, Considines Road, is architecturally significant at a LOCAL level (AHC D.2). Although altered, it still clearly demonstrates original design qualities of a Victorian Picturesque style, based on the Board of Education's 'suggested plan VIII'. These qualities include the simple gabled roof form clad in galvanised corrugated steel, four timber framed twelve paned double hung windows on one longitudinal side, timber framed double hung window in the gable end, door openings in the gable ends, bluestone chimney breast on one longitudinal side elevation. Internally, the coved ceiling lined in beaded edged timber boards, hardplaster wall surfaces, fireplace opening and the timber mantel are other original design qualities. The former Modewarre School building is the earliest known surviving 19th century school building in the Surf Coast Shire.

The former Modewarre State School No. 396, Considines Road, is historically and socially significant at a LOCAL level (AHC A.4, G.1). Although no longer functioning as a school building, the existing structure is a physical legacy of the progress, development and aspirations of the Modewarre community in the 1870s. Built in 1872 and although it no longer functions as a school, it continues to be recognized and valued by the Modewarre community for the role it played in the education of local people and as a local community facility.

Overall, the former Modewarre State School No. 396, Considines Road, is of LOCAL significance.

910 Cape Otway Road – Modewarre Memorial Hall

The Modewarre Memorial Hall, Cape Otway Road, Modewarre, has significance as a memorial to the locals who served in the First World War and as an important local public building valued by the community for various social and other activities since its opening in 1923. The building is in good condition and of moderate integrity. The memorial board of brass plaques (bearing the names of the soldiers of World War One) relating to the Avenue of Honour on Cape Otway Road, and the Roll of Honour (both inside the Hall), together with the nearby mature Oak tree at the front of the hall, also contribute to the significance of the place.

The Modewarre Memorial Hall is architecturally significant at LOCAL level (AHC D.2). Although partially altered by the introduction of the front and side skillion additions and rear toilet wing, it still demonstrates original design qualities for a hall building of the interwar period. These qualities include the gable roof form clad, timber framed double hung twelve paned windows, timber entry doors, vertical timber strapping, timber finial and pendant in the gable end, and the contextually-substantial timber name plate below which reads "Modewarre Memorial Hall Erected 1923". The nearby Oak tree contributes to the aesthetic values of the place.

The Modewarre Memorial Hall is historically and socially significant at a LOCAL level (AHC A.4, G.1). It is recognised and valued by the local community as an important memorial to the locals who served in the First World War, and as the centre of social activity in the community since its construction in 1923. The building has important associations with the evolution and development of the community during the interwar period and reflects the esteem in which locals were held in serving their country during the Great War.

Overall, the Modewarre Memorial Hall is of LOCAL significance.

440 Considines Road – Former Bible Christian Siloam Chapel

The former Bible Christian Siloam Chapel, 440 Considines Road, Modewarre, has high level significance as the earliest known surviving Bible Christian Chapel in Victoria, and only one of three known surviving former Bible Christian Chapels in the State. Built in 1858, one of the earliest incumbents to the Mount Moriac and Bambra circuit (which included Modewarre) was the Rev. James Rowe. He was one of the earliest Bible Christian ministers to arrive in Australia in 1850. First established in South Australia through emigrant Cornish miners, the Bible Christian Church soon spread to Victoria, being established at Modewarre by the late 1850s. The former Bible Christian Chapel at Modewarre also has associations with the local temperance movement, being the centre for temperance lectures and other community activities from 1861. The Chapel also served as a Sabbath School from an early period. The union of the Methodist Churches in Victoria in 1902 (including the Bible Christian Church) brought about the demise of the Bible Christian Church at Modewarre. It is now a rare physical legacy of this former Methodist Church denomination. While substantially deteriorated, the former Bible Christian Chapel at Modewarre also has significance as a moderately intact example of a Victorian Georgian style, typical for non-conformist Churches in the early-mid 19th century.

The former Bible Christian Siloam Chapel, 440 Considines Road, Modewarre, is architecturally significant at a STATE level (AHC D.2, E.1). The earliest known Bible Christian Chapel in Victoria and only one of three surviving purpose-built Bible Christian Chapels in the State, the Modewarre building demonstrates original design qualities of a rudimentary Victorian Georgian style. These qualities include the steeply pitched and parapeted roof form, corbelled gable ends, central round-arched door opening with projecting quoinwork, stone tablet above the door opening, quoinwork at the building corners and the rendered brick finish featuring ruled lines representing ashlar blockwork. Other intact or appropriate qualities include the slate roof tiles, and the projecting buttresses and rectangular window openings at the sides.

The former Bible Christian Siloam Chapel, 440 Considines Road, Modewarre, is historically significant at a STATE level (AHC A.4, H.1). It is associated with the earliest evolution and development of the Bible Christian Church in Victoria in the 1850s, having been constructed in 1858 to serve the Modewarre community as part of the Mount Moriac and Bambra circuit. It also has associations with several clergy, the earliest being the Rev. James Rowe (1861-63), who arrived in South Australia as one of the two first Bible Christian ministers in Australia. The Chapel also has associations as a Sabbath School in the 19th century and from 1861 until c.1900 as a centre of the temperance movement and other community activities.

Overall, the former Bible Christian Siloam Chapel, 440 Considines Road, Modewarre of is STATE significance.

2.7 TORQUAY

04 Anderson Street – Sea View Villa

Although altered, the property known as Sea View Villa, 4 Anderson Street, Torquay, has significance as a rare local example of a Late Victorian styled 19th century timber seaside holiday residence with a viewing tower. This house was built in 1894-95 for the prominent and philanthropic Smith family, headed by Charles Henry Smith, manager of the Clyde Works woollscourers at Breakwater and later owner of C.H. Smith and Sons woollscouring and fellmongery business. 'Sea view Villa' may have been designed by the prolific Geelong architects, Laird and Barlow, who had a close friendship with the original owner. 'Sea view Villa' has long associations with the Smith family, who owned the property until 1966. During that time, members of the family served the Geelong and Torquay communities in various capacities. Sea View Villa represents one of only two known dwellings with lookout towers in the Surf Coast Shire, the other being the late 19th century former staff quarters at Blink Bonnie, Anglesea.

Sea View Villa is architecturally significant at a LOCAL level (AHC D.2). Although altered, it still demonstrates original design qualities of a Late Victorian style. These qualities include the gable roof form that traverses the site, together with the side gable that projects towards the front and rear, viewing tower, rear skillion and the rear gabled building form. Other intact or appropriate qualities

include the asymmetrical composition, single storey height, horizontal weatherboard wall cladding, galvanised corrugated iron roof cladding (overpainted green), modest eaves, timber eaves brackets, timber framed double hung windows, timber framed arched tower windows, tower flagpole, unpainted brick chimney with a multi-corbelled top, timber finials (altered), and the decorative timber bargeboards. The well-treed front landscape, including the Moonah trees, also contributes to the significance of the place. The viewing tower represents a rare feature in Torquay and the Surf Coast Shire, with Sea View Villa being only one of two dwellings in the Shire with towers, the other being the late 19th century former staff quarters at Blink Bonnie, Anglesea.

Sea View Villa is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the Smith family from 1894 until 1966. The original owner, Charles Henry Smith was a successful businessman and with his wife, Mary, they were prominent philanthropists in Geelong. Their son, William Henry Smith, was also an important local philanthropist, and was extensively involved with serving the Geelong and Torquay communities in various capacities in the mid 20th century. 'Sea View Villa' may also have associations with the prolific Geelong architectural firm of Laird and Barlow. The property is also historically significant as a rare legacy of the seaside residences built in Torquay in the 19th century, with a substantial number of houses having been destroyed in the bushfires of 1940.

Overall, Sea View Villa is of LOCAL significance.

19 Anderson Street – Former Butcher Shop & Associated Outbuildings

The former butcher's shop and associated outbuildings at 19 Anderson Street have significance as a rare intact grouping of buildings relating to an interwar butcher's operations in Torquay and as one of the earlier locations of surf board manufacture and sales in the town. Built in 1919-20 by the father and son builders, Sam and Bert Howes for Thomas Floyd Pescud, butcher of Market Square, Geelong, the concrete blocks for the construction of the building were manufactured by David Berryman and Thomas Pescud. The building served as a butchery for many years, but by mid 20th century it had been converted into a drapers shop for a Mr Mack, the store being operated by a Miss Paine of Geelong. From the 1960s it was the location of Paddy's Morgan's Surf Board shop. The former butcher's shop is predominantly intact, although there have been noticeable alterations to some of the rear outbuildings. Overall, they are a largely intact grouping of interwar buildings in good-fair condition.

The former butcher's shop and associated outbuildings at 19 Anderson Street are architecturally significant at a LOCAL level (AHC D.2). They demonstrate original interwar era design qualities. For the former butcher's shop these qualities include the simple gable roof form, together with the broad skillion verandah that projects at the front and is supported by introduced timber posts. Other intact or appropriate design qualities of the former butcher's shop include the single storey height, corrugated profile sheet metal roof cladding, concrete block wall construction, timber weatherboard gable infill, and shopfront windows and the door opening (albeit relocated). The early design qualities of the outbuildings include the gabled roof forms, concrete block wall construction (including the courses of blockwork under the eaves with double holed ventilation openings), exposed timber eaves brackets and the timber weatherboard gable ends with timber ventilators.

The former butcher's shop and associated outbuildings at 19 Anderson Street are historically significant at a LOCAL level (AHC A.4, H.1). They represent the most intact and earliest surviving grouping of interwar buildings associated with a commercial operation in Torquay. Built in 1919-20 by Sam and Bert Howes for Thomas Floyd Pescud, butcher of Market Square, Geelong, the buildings served as Pescud's local butchery through the first half of the 20th century. Also associated with the construction of the buildings is David Berryman, who, along with Thomas Pescud, manufactured the concrete blocks for the wall construction. From the 1960s, the former butcher's shop was the location of Paddy Morgan's surf board outlet, being one of the earlier commercial enterprises associated with the surfing industry in Torquay.

The former butcher's shop and associated outbuildings at 19 Anderson Street are scientifically significant at a LOCAL level (AHC G.1). The hand-made concrete blocks reflect an unusual form of construction for interwar buildings in Torquay. The only other known example of this form of construction is the neighbouring (and altered) dwelling at 17 Anderson Street that was once associated with the butcher's shop.

Overall, the former butcher's shop and associated outbuildings at 19 Anderson Street are of LOCAL significance.

27 Anderson Street – Torquay Uniting Church

The Torquay Uniting Church, 25-27 Anderson Street, Torquay, has significance for its associations with the development of the Presbyterian (and Uniting) Church in the town from the early 20th century, when the first Church services were held in the public hall from 1893. The first permanent Presbyterian Church in Torquay comprised a relocated building from new Mariners, Steiglitz. It was replaced in 1925 by the present building designed in an interwar Carpenter Gothic style by the prolific Geelong architects, Laird and Buchan. Although altered at the front, the Torquay Uniting Church has historical and social value as the earliest Church denomination in Torquay, symbolising the importance of faith and faith education in the town. This historical and social value is embodied in the surviving physical fabric. Overall, the Church building appears to be in good condition. It is one of six Carpenter Gothic churches in the Surf Coast Shire.

The Torquay Uniting Church, 25-27 Anderson Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the development of the Presbyterian (and later Uniting) Church in Torquay from 1893, when the first Presbyterian services were held in the newly-completed public hall. The original permanent Presbyterian Church building in Torquay was opened in 1900, comprising a relocated building from new Mariners, Steiglitz. It was replaced by the existing interwar Carpenter Gothic styled building in 1925, which had been designed by the prolific architectural firm of Laird and Buchan. The Presbyterian (and later Uniting) Church has the longest associations of all the Church denominations in Torquay and these associations are embodied in the surviving original physical fabric that is clearly evident on the exterior.

The Torquay Uniting Church, 25-27 Anderson Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by sections of the Torquay community for religious reasons, as a symbol of their faith, and their history of local participation in faith education.

The Torquay Uniting Church, 25-27 Anderson Street, has architectural interest. Although altered by the dominant porch at the front, it continues to demonstrate original design qualities of an interwar Carpenter Gothic style. These qualities include the steeply pitched gable roof form, together with the rear parapeted vestry. Other intact or appropriate qualities include the timber weatherboard wall cladding, corrugated profile sheet metal roof cladding, metal ventilation stacks, modest eaves with exposed timber rafters, decorative battening and panelling in the main gable end and the timber framed pointed arched windows along the sides.

Overall, the Torquay Uniting Church, 25-27 Anderson Street, is of LOCAL significance.

35 Bell Street – Torquay Caravan Park

The Torquay Caravan Park, 35 Bell Street, has significance as the centre of public coastal recreation in Torquay for picnicking, camping and sporting activities since the 1880s. Initially withheld from public sale in 1875 as the only cleared land north of Spring Creek, it was temporarily reserved for public recreation in 1889 and permanently reserved in 1907. Although the park has been transformed since the 19th century, the significance of the park lies in its historical and social value, and its evolution and development throughout the 20th century as a highly popular tourist resort, particularly during the summer months. The many gum trees, tea trees and senescent pine trees which dominate the park, series of curvilinear drives and paths and the open grassed areas forming the camp sites are a physical manifestation of the park's evolution and development. The range of camping accommodation - from tents and caravans to modest holiday cabins - further reflects this evolution and development and also contributes to its heritage value. The condition of

the trees within the park range from fair to good, with a number of the mature exotics in poor condition. The only known surviving bathing box (which is in poor condition) adjacent to the works depot, also contributes to the significance of the place.

The Torquay Caravan Park, 35 Bell Street, is historically significant at a LOCAL level (AHC A.4). It is associated with the earliest forms of coastal recreation from the 1880s, which heralded the beginning of Torquay as a popular Victorian tourist resort. Initially known as a "timber reserve" and withheld from sale, it was not until April 1889 when the existing park was temporarily reserved for public recreation and camping, a use which continues to the present day. Associated with the park from its fledgling years was the Torquay Improvement Association which was established in 1889 (as the Spring Creek Progress Association) to agitate against the development of the reserve for private residential subdivision. Also associated with the reserve is the Committee of Management, initially formed in 1889 to care for and manage the area. Both the Improvement Association and the Committee of Management were responsible for a series of tree plantings, fencing and the planting of marram grass within the park from as early as 1890. Although initially a "timber reserve", it represented the only cleared land north Spring Creek in 1888. The bathing box adjacent to the works depot (while relocated) represents the only known surviving structure of its type in Torquay, being a physical legacy of a popular form of beach recreation on the Torquay foreshore when many bathing boxes lined "Cosy Corner" between 1900 and 1956.

The Torquay Caravan Park, 35 Bell Street, is aesthetically significant at a LOCAL level (AHC E.1). It demonstrates important visual qualities as identified in the many exotic and native trees (predominantly pine, gum and tea trees), series of curvilinear roadways and pathways finished in bitumen and with gravelled and grassed verges, and in the grassed open areas used as camping sites.

The Torquay Caravan Park, 35 Bell Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the community for its associations as a holiday resort for campers and for its long-time public recreational use.

Overall, the Torquay Caravan Park, 35 Bell Street, is of LOCAL significance.

18 Bristol Road – Former Payne’s Garage

The former Payne’s Motor Garage and associated dwelling, 18 Bristol Road, Torquay, has outstanding significance as a rare known surviving example of the interwar Bungalow design type for a motor garage and residence in Victoria, and as one of few surviving examples of a combined purpose-built motor garage and residential development. Built in 1933-34 for Alfred Payne, motor engineer, the garage and dwelling reflect the growth in the importance of Torquay as a tourist destination during the interwar period, resulting from the greater affordability of the motor car and the increased accessibility to the western Victorian coast given the opening of the first stage of the Great Ocean Road between Torquay and Eastern View in 1922. The garage also has significance for its very early and unusual precast concrete panel wall construction, possibly based on the J.W. Fowler (or similar) system. Overall, the buildings appears to be predominantly intact and in good condition when viewed from the street.

The former Payne’s Motor Garage and associated dwelling, 18 Bristol Road, Torquay, are architecturally significant at a STATE level (AHC D.2, E.1). These buildings - and particularly the motor garage, represents one of very few known examples of the interwar Bungalow design type surviving in Victoria, a type which has direct stylistic associations with similar motor garages constructed in the U.S.A. for the period. No other surviving interwar Bungalow styled garages have been identified in Victoria. The buildings are also a rare example of a combined purpose-built interwar era garage and residence. The original interwar Bungalow design qualities of the motor garage include the broad gable roof form clad in corrugated sheet metal, together with the loggia at the front defined by three large segmental arches supported by stuccoed piers. Other intact or appropriate qualities include the symmetrical composition, single storey domesticated scale, stuccoed concrete panel wall construction with projecting stuccoed concrete piers, projecting label moulds over the arches in the front loggia, central timber and glazed front door opening with flanking shopfront window openings, broad eaves with exposed timber rafters, rectangular window opening

on the east facade (now blocked up) decorative gable infill (timber shingling, timber battening and panelling, and the gable brackets) and the large timber vehicular door on the east side. The rear, slightly smaller gabled wing constructed of painted corrugated sheet metal also contributes to the significance of the place.

The original interwar Bungalow design qualities of the adjoining dwelling include the parapeted linking wing between the dwelling and the garage, and particularly the broad recessive hipped roof form, two minor gable roofs (including the verandah gable) that project towards the street frontage, galvanised corrugated steel roof cladding, stuccoed concrete wall construction, and the broad eaves. Other intact or appropriate qualities include the tapered round Doric verandah columns on rendered piers having concrete cappings and incised panels, timber framed double hung boxed windows arranged in banks of three at the front and supported by timber framed, bellcast timber shingled window hood above the front windows, small rectangular window at the front, timber framed double hung side windows and the timber shingling and brackets in the gable infill.

The former Payne's Motor Garage and associated dwelling, 18 Bristol Road, Torquay, are historically significant at a STATE level (AHC A.4, H.1). The buildings are a tangible legacy of the increased popularity of the motor car during the interwar period and the infrastructure that was established to service the new vehicle industry. Built in 1933-34 for Alfred Payne, first motor engineer in Torquay, the motor garage is reflective of the subsequent growth in Torquay as a tourist destination, in part as a result of the wider ownership of the motor car and the opening of the Great Ocean Road from Torquay to Eastern View in 1922.

The former Payne's Motor Garage and associated dwelling, 18 Bristol Road, Torquay, are scientifically significant at a LOCAL level (AHC F.1). The precast concrete panel construction, attached to projecting narrow piers and finished in a roughcast stucco, reflects a concrete system of construction like that patented by J.W. Fowler in 1928, during an era when different forms of concrete construction were being trialled and tested. Locally, it is an unusual form of wall construction.

Overall, the former Payne's Motor Garage and associated dwelling, 18 Bristol Road, Torquay, is of STATE significance.

08-12 Price Street – Torquay Public Hall

The Torquay Public Hall, 10-12 Price Street, Torquay, has significance for its important associations with community life in Torquay since 1940 and particularly the Torquay Improvement Association who instigated its construction. The building replaced the previous public hall that had been built in 1892 for the Spring Creek Progress Association and it was destroyed in the bushfire that ravaged Torquay in 1940. The existing building was designed by A.C. Leith and Bartlett in an interwar Modern Functionalist style. It has been the centre for community activities, meetings and recreational pursuits (such as the local cinema) for over 60 years. A rare surviving local example of a postwar Modern Functionalist design, the integrity of the hall has been compromised by the side additions to the hall and the bricking up of the windows on the front wings. The building appears to be in fair-good condition when viewed from the street.

The Torquay Public Hall at 10-12 Price Street is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is associated with the development of community life in Torquay from 1940, and particularly with the Torquay Improvement Association who instigated its construction and who have played a critical role in the development needs to the town since 1889. The existing hall was built to replace the earlier hall constructed in 1892 that was destroyed in the bushfire which ravaged Torquay on 14 March 1940. It has been and continues to be the centre for community activities, meetings and recreational pursuits (such as the local cinema). It continues to be recognised and valued by the community for these reasons today. The historical and social significance of the hall is embodied in the progressive image of the surviving interwar Modern Functionalist building fabric. Although altered through the side additions to the hall and some modifications to the front wings, the original design is discernible in the elevated central pavilion with its projecting shallow-pitched hipped roof and lightweight wall cladding, geometric timber framed fixed glazed windows comprising the front facade of the central pavilion, the lettering "TORQUAY" on the front pavilion, double timber

and glazed entrance doors, rear broadly-pitched gable hall roof, and the flanking parapeted cuboid brick wings at the front.

Overall, the Torquay Public Hall at 10-12 Price Street is of LOCAL significance.

17 Pride Street – St Luke’s Anglican Church

St. Luke's Anglican Church, 17 Price Street, Torquay, has significance for its associations with the development of the Anglican Church in the town from the early 20th century, when Church services were first held in private homes and during the summer months in the public hall or kiosk on The Esplanade. This Church building represents the first permanent home of St. Luke's Anglican Church, having been relocated to the northern portion of the site in 1946. Originally built in 1913 to serve St. Luke's Anglican Church at Fyansford, the original design of the relocated building was retained when it opened for worship in 1947. It was relocated to its present position in 1989. The adjoining hall was built in 1955-56 as a Sunday School hall and was dedicated to the memory of Charles Henry Smith, stalwart of the Church of England in Geelong. Although the original front porch has been removed, the Church building symbolises the importance of faith and faith education of the Anglican Church in the town. This historical and social value is embodied in the surviving physical fabric. Overall, the Church building appears to be in good condition and the adjoining hall contributes to the historical and social values. It comprises one of six Carpenter Gothic churches in the Surf Coast Shire.

St. Luke's Anglican Church, 17 Price Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the development of the Anglican Church in Torquay from the early 20th century, when services were held in private homes or during the summer months in the Public Hall or Kiosk on The Esplanade. In particular, this building has associations with the local Anglican Church after its relocation from Fyansford in 1946, where it had been built in 1913 to serve the local St. Luke's congregation there. Repositioned from the northern to the southern portion of the site in 1989, the building has served the Torquay Anglican community until the present day. The adjoining hall was opened in 1956 and dedicated to the memory of Charles Henry Smith, stalwart of Christ Church in Geelong, and well-known owner of the holiday home "Sea View Villa" at 4 Anderson Street, Torquay.

St. Luke's Anglican Church, 17 Price Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by sections of the Torquay community for religious reasons, as a symbol of their faith, and their history of local participation in faith education. The adjoining hall has commemorative value, having been dedicated to the memory of Charles Henry Smith, member and benefactor of the Church of England in Geelong, and owner of the holiday residence, 'Sea View Villa' in Anderson Street, Torquay.

St. Luke's Anglican Church, 17 Price Street, has architectural interest. Although relocated and partly altered by the removal of the original entrance porch and the replacement of the existing parapeted entry, it continues to demonstrate original design qualities of a Federation Carpenter Gothic style. These qualities include the steeply pitched gable roof form, together with the rear gabled chancel, projecting side gabled vestry, corrugated profile sheet metal roof cladding, horizontal timber weatherboard wall cladding, Celtic cross surmounting the chancel gable, timber framed pointed arched stained glass windows along the sides, timber bargeboards, timber gable brackets and the decorative gable infill (timber battening and stuccoed panelling, supported by timber brackets).

Overall, the Torquay Uniting Church, 17 Price Street, is of LOCAL significance.

The Esplanade – Torquay Foreshore Precinct

The Torquay Foreshore Precinct between Point Danger and Yellow Bluff, and bound by The Esplanade to the west, has significance as the historic location of coastal recreation in Torquay from the late 19th century. It also has significance for its landscape and commemorative values denoted by the open grassed areas, line of Norfolk Island pine trees near the foreshore, mature Cypress and other exotic and native trees (including the Cypress trees at Point Danger), bluestone retaining wall along the foreshore, and the memorials and memorabilia in the area including the war memorials

and memorial plaque to William Parker at Point Danger, and the memorial to A.L. Long and the Joseph H. Scammell anchor on the elevated grassed foreshore reserve. The Torquay Foreshore Precinct has associations with: the respective Committees of Management who have protected, cared and managed improvements and developments to the area since the 1880s; William Parker who helped in the massive tree planting of the foreshore in 1919-20; and with the Torquay Improvement Association which also assisted in tree planting and other beautification schemes in the 20th century. Overall, several of the mature exotic trees are in fair-poor condition.

The Torquay Foreshore Precinct is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with beach recreation at Torquay since the late 19th century - and particularly from the 1880s when it was permanently reserved for public recreation. The foreshore precinct reflects the historical and social heart of Torquay as a seaside resort. The beach area was originally known as 'cosy corner', with many timber beach boxes constructed on the foreshore from the late 1880s until the interwar period. Although these boxes no longer survive, the evolution and development of the area is manifested in the landscape qualities, memorials and memorabilia that characterise it today. The precinct has associations with the Committees of Management which cared, protected and managed the area from the 1880s, and which carried out landscape and other improvements from 1894, including the planting of 12 acres of marram grass and several trees. It was in 1919 when 2000 trees 'of various sorts' were planted, with other trees planted soon after. Shelter sheds in the form of rotundas and seats, together with pathways and other structures were introduced on the foreshore reserve from the 1890s, while a kiosk was constructed at Point Danger in 1930, to cater for the increased tourist trade. In 1951, a stone war memorial cairn was erected at Point Danger, and this part of the precinct now forms an important local commemorative area today. The bluestone retaining wall along the beach foreshore was introduced in the mid 20th century and reflects attempts that were made along the Victorian coast line at this time to reduce erosion, with similar walls built at Barwon Heads.

The Torquay Foreshore Precinct is aesthetically significant at a LOCAL level (AHC E.1). It demonstrates important visual qualities identified by the elevated grassed areas, line of Norfolk Island Pine trees near the beach foreshore, Cypress and other mature exotic and native trees (including the Cypress trees at Point Danger), bluestone retaining wall on the foreshore, war memorials and William Parker memorial plaque at Point Danger, and the A.L. Long memorial and Joseph H. Scammell anchor in the foreshore reserve.

The Torquay Foreshore Precinct is socially significant at a STATE level (AHC G.1). It is recognised and valued by the Torquay and more broadly the Victorian community for its seaside recreational value. Point Danger is also recognised at a local level for its commemorative value, as a place of memory to those who fought and died in wars throughout the 20th century.

Overall, the Torquay Foreshore Precinct is of LOCAL significance.

18 The Esplanade – House

The dwelling at 18 The Esplanade, has significance as one of the few surviving and largely intact examples of an interwar Bungalow in Torquay. It was built in 1925-26 for Mrs Ada Dunn, storekeeper, who had also built the adjoining shop at this time. The construction of the shop and this dwelling reflects the increase in building activity in Torquay during the interwar period, as a result of the growing popularity of the town as a tourist resort after the opening of the Great Ocean Road in 1922. Overall, the dwelling appears to be in excellent condition when viewed from the street.

The dwelling at 18 The Esplanade is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of an interwar Bungalow style. These qualities include the gable roof form that traverses the site, together with the minor gable that projects towards the street frontage, another minor gable with front broken back roof that projects at the side, and the broken back return verandah. Other intact or appropriate qualities include the asymmetrical composition, single storey height, horizontal timber weatherboard wall cladding, face brick chimney with terra cotta pots, wide eaves, paired square timber verandah posts having simple geometric timber fretwork between, boxed-in lightweight clad verandah piers and balustrades, projecting flat-roofed faceted bay window having a timber framed central window with a bowed sash and flanking

timber framed double hung windows, and the other timber framed double hung windows under the verandah.

The dwelling at 18 The Esplanade is historically significant at a LOCAL level (AHC A.4). Built in 1925-26 for Mrs Ada Dunn, it is associated with residential developments in Torquay during the interwar period, a time when building activity had increased as a result of the growing popularity of the town as a tourist resort and the opening of the Great Ocean Road.

Overall, the dwelling at 18 The Esplanade is of LOCAL significance.

47-55 The Esplanade – Taylor Park

Taylor Park at 55 The Esplanade has significance as a well landscaped recreation area named in memory of John William Taylor, local resident who contributed much to the community life of Torquay in the late 19th and early 20th centuries. First withheld from public sale and residential subdivision in 1882, it has been the location of public recreation since that time. Recreational activities have included camping (in the 1880s), golf (a course was temporarily established and used until 1924), and bowling and croquet (from 1924). The layout of the clearings and gravelled pathways largely reflect the original design, while the many exotic and native trees (including pines, cypresses, gums, and tea trees), planted from the early 20th century, dominate the park today. The site is also an important bird sanctuary, with a man-made lake having been established in the southern portion of the park in 1975-76. Two formal entrance gates are located on the northern and southern portions of the park fronting The Esplanade, the southern gates having been introduced in 1935, originating from the former Model School in Spring Street, Melbourne. Overall, the park is largely intact although a large number of the trees are in poor condition.

Taylor Park at 55 The Esplanade is aesthetically significant at a LOCAL level (AHC E.1). It demonstrates important visual qualities that symbolise the initial aspirations of the Torquay Improvement Association and early residents including John William Taylor from the very early 20th century. These qualities are outlined in the layout of the clearings (having U shaped clearings and paths in the northern and southern portions connected by a central straight clearing), gravelled pathways, large numbers of native and exotic trees (including pines, cypresses, gums and tea trees), man-made lake in the southern portion of the site to assist the local bird population, and the bowling green in a central portion of the site fronting The Esplanade. The bluestone gate piers with cast iron gates at the northern and southern ends of park (fronting The Esplanade), also contribute to the aesthetic significance of the place.

Taylor Park at 55 The Esplanade is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the early development of the Torquay township from as early as 1882, when the land comprising the park was withheld from public sale for the purpose of public recreation. From the late 19th century, the park has been a focus for recreational activity, including camping (in the 1880s), golf (until 1924), and bowling and croquet (from 1924). The park is also a bird sanctuary to local bird life, with a man-made lake having been introduced in 1975-76. The park has associations with the Torquay Improvement Association which agitated for its permanent reservation as a public park from the late 19th century, and particularly with John William Taylor, local resident, who was a staunch advocate for the permanent use of the park for recreational purposes in the late 19th and early 20th centuries, and after whom the park has been named. The park also has associations with Arthur Taylor and Messrs Parker and Harrison who continued the planting of trees, flowering shrubs and bulks after the death of J.W. Taylor in 1922 and with Alan and Ernest Taylor who instigated the relocation of the former Model School gates from Spring Street, Melbourne, to form the main southern entrance to Taylor Park in 1935.

Taylor Park at 55 The Esplanade is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the Torquay community as an historic place for public recreation and bird life. It is also recognised for its commemorative value, having been named in memory of John William Taylor, well known local identity who contributed much to community life in the town.

Overall, Taylor Park at 55 The Esplanade is of LOCAL significance.

2.8 WINCHELSEA

17 Armytage Street – Former Shire Engineer’s House

The former Shire Engineer's house, 17 Armytage Street, has significance as a substantially intact example of a Federation style in Winchelsea and for its associations as the residence of the Winchelsea Shire Council Engineer until the late 20th century. It was built in 1911 by the local builders, G. Richmond and H.E. Warner, for the Winchelsea Shire Council as the Shire Engineer's house. Overall, the former Shire Engineer's house appears to be in good condition when viewed from the street. The dwelling represents one of a small number of intact Federation era houses in the town.

The former Shire Engineer's house, 17 Armytage Street, Winchelsea, is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a Federation style. These qualities include the hipped roof form, together with the minor gables that project at the front, side and rear, and the return bullnosed verandah supported by square timber posts and adorned with timber fretwork valances and curved timber brackets. Other intact or appropriate qualities include the asymmetrical composition, single storey height, face brick chimneys with multi-corbelled tops, modest eaves, galvanised corrugated steel roof cladding, horizontal timber weatherboard wall cladding, paired timber framed double hung windows, front timber doorway, window hoods with curvilinear Art Nouveau timber brackets under the project gables, and the decorative gable infill (timber battening and panelling, and supporting timber brackets). The dwelling is a good example of the small number of intact Federation era houses in Winchelsea.

The former Shire Engineer's house, 17 Armytage Street, Winchelsea, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, and is a physical legacy of the steady progress of the town at this time. The dwelling also has associations as the residence of the Winchelsea Shire Engineer from the time of its construction in 1911 until the late 20th century. It was built in 1911 by the builders, G. Richmond and H.E. Warner, the latter being well-known locally for a number of houses in the town and district.

Overall, the former Shire Engineer's house at 17 Armytage Street, Winchelsea, is of LOCAL significance.

13 Austin Street – Fairview

Fairview at 13 Austin Street, Winchelsea, has significance as one of a small number of surviving 19th century bluestone buildings in the central township area, and as a predominantly intact example of a Victorian vernacular style. Built in 1883 for George and Ann Alsop, long-term owners and occupiers, the dwelling appears to be in fair condition when viewed from the street.

Fairview at 13 Austin Street is architecturally significant at a LOCAL level (AHC D.2). One example of a small number of surviving 19th century bluestone buildings in the central township area, the building demonstrates original design qualities of a Victorian vernacular style. These qualities include the gable roof form that traverses the site, brick chimney with a corbelled top, central front door opening with transom, and the flanking twelve paned timber framed double hung windows. The remnant decorative timber bargeboards are also early.

Fairview at 13 Austin Street is historically significant at a LOCAL level (AHC A.4). Built in 1883 for long-term owners George and Ann Alsop, the dwelling is associated with building developments in the central township area after the mid 19th century, when the town became an early centre for commerce, education, postal services and social activities.

Overall, Fairview at 13 Austin Street is of LOCAL significance.

37 Austin Street – Former Wesleyan Mission Chapel

The former Wesleyan Mission Chapel at 37 Austin Street, Winchelsea, has significance as one of only three known surviving mid 19th century chapel buildings surviving in the Surf Coast Shire. Built in c.1863, it initially served as the chapel for the local Primitive Methodist Church, although the church failed to take hold in Winchelsea. The building subsequently became the location of Edward Carse's school between 1867 and c.1876. These associations with the Primitive Methodist Church and Edward Carse's school were at a time when Winchelsea became an early centre for commerce, education, postal services and social activities and they are embodied in the surviving fabric of the original Victorian Primitive Gothic styled bluestone building. The former chapel is of low integrity and appears to be in fair condition when viewed from the street.

The former Wesleyan Mission Chapel at 37 Austin Street is historically significant at a LOCAL level (AHC A.4, D.2). Although the building has been altered, its original associations as the chapel of the local Primitive Methodist Church between c.1863 and 1867 and as Edward Carse's private school from 1867 until c.1876 are embodied in the surviving stone building. This building is a physical legacy of the early cultural development of Winchelsea from the mid 19th century. It represents one of only three known surviving mid 19th century chapel and/or school buildings in the Surf Coast Shire.

The former Wesleyan Mission Chapel at 37 Austin Street has architectural interest. Although altered and the original timber gabled wing having been removed, the original Victorian Primitive Gothic Revival design is discernible in the stone portion of the building. These design qualities include the steeply pitched gable roof form, bluestone wall construction, narrow eaves, timber bargeboards and the front pointed arched window opening with smooth-finished stone quoining.

Overall, the former Wesleyan Mission Chapel at 37 Austin Street is of LOCAL significance.

27 Barkly Street – Former Army Hut

The former army hut at 27 Barkly Street, Winchelsea, has significance as a large, elongated and local example of the standard P1 hut prototype common for defence related building development during the Second World War era. The vernacular design and construction - with its single gable roof form and elongated rectangular composition, together with its corrugated galvanised steel roof and wall cladding - epitomise the basic features of the P1 prototype. Although relocated from the Gherang Army Camp to the existing site after 1955, the building still largely embodies its original character and appearance. It appears to be moderately intact and in poor condition.

The former army hut at 27 Barkly Street is historically and scientifically significant at a LOCAL level (AHC D.1, F.1). It is associated with military building development during the Second World War and represents a large, elongated and local version of the standard P1 hut prototype used in the construction of several defence-related army camps throughout Victoria from 1928 until after the Second World War. The historical and scientific significance of the hut is embodied in the physical fabric: in the gabled form, elongated rectangular composition, corrugated sheet metal roof and wall cladding (laid horizontally for the walls), gable ventilator, timber framed windows and ventilation openings in the walls.

Overall, the former army hut at 27 Barkly Street is of LOCAL significance.

29 Barkly Street – House

The dwelling at 29 Barkly Street, has significance as one of the most striking and unusual traditional Federation and interwar Bungalow designs in Winchelsea. Built between 1923 and 1927 (initially for Herbert Batson whose life was tragically cut short in 1924), the detailing (including the interwar Bungalow-like verandah columns, piers and balustrades, variety of cappings to the chimneys, diamond leadlight windows and crowning elements to the projecting window bays), crisp rendered wall finishes and Federation style composition make this dwelling particularly distinctive and not readily comparable to other early 20th century houses in Winchelsea. The dwelling is substantially intact and appears to be in fair-good condition when viewed from the street.

The dwelling at 29 Barkly Street is architecturally significant at a LOCAL level (AHC D.2, E.1). As one of the most striking and unusual early 20th century houses in Winchelsea, it demonstrates outstanding design qualities of a transitional Federation and interwar Bungalow style. These qualities include the broad central gambrel roof form, together with minor gables that project at the sides and at the front, and the broken back return verandah to one side. Other intact or appropriate qualities include the single storey height, asymmetrical composition, rendered wall finishes, terra cotta tile roof cladding, terra cotta roof ridge ornamentation and finials, rendered chimneys (each with different cappings), tapered verandah columns on rendered concrete piers with projecting cappings and incised rectangular panels, curved rendered balustrades with incised rectangular panels and projecting cappings, projecting faceted bay windows crowned with a battlemented parapet (front window) and solid hood (side window), bracketed flat roofed bay window roofs, timber framed casement windows with diamond pattern leadlighting, chequer-patterning in the gable infill, round windows under the verandah, and the front doorway.

The dwelling at 29 Barkly Street is historically significant at a LOCAL level (AHC A.4). It is associated with residential developments in Winchelsea in the early 20th century and reflects the steady progress of Winchelsea at that time. In particular, the dwelling has associations with Herbert Batson whose family owned the substantial estate, Barwon Park. It was Batson who instigated the construction of the dwelling in 1923-24. Building works appear to have been delayed as a result of Batson's death, and it was not until c.1927 when it was completed and sold to Thomas T. Mulder. The completed dwelling is a legacy of Batson's apparent quest for an unusual design.

Overall, the dwelling at 29 Barkly Street is of LOCAL significance.

05 Batson Street – Former Anglican Vicarage

The former Anglican Vicarage, 5 Batson Street, Winchelsea, has significance as one of the few surviving mid 19th century dwellings in Winchelsea and as one of a select number of intact Victorian Picturesque Gothic bluestone residences in the Winchelsea area. Built in 1855 to a design by the Geelong architect and surveyor, A.C. MacDonald, the dwelling was constructed as the Vicarage to St. Thomas's Church of England in Barwon Terrace, the first incumbent being the Reverend Edward Tanner. The former Vicarage reflects the aspirations of the Anglican Church in Winchelsea in the 1850s and while it has experienced some alterations and additions over time, it is predominantly intact and in fair-good condition.

The former Anglican Vicarage at 5 Batson Street is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of a Victorian Picturesque Gothic style. These qualities include the steeply pitched gable roof form that traverses the site, together with the gable that projects towards the front. Other intact or appropriate qualities include the asymmetrical composition, two storey height, coursed squared rubble bluestone wall construction, three early elongated face brick chimneys with rubble bluestone breasts, multi-paned timber framed double hung windows, projecting dormer windows with six-paned timber framed casements and the panelled timber door. Although there are more substantial and affluent examples of the Victorian Picturesque Gothic design type (such as Murdeduke, Mountside and Wormbete Homesteads), the former Vicarage is largely intact and the design is a physical legacy of the aspirations of the Anglican Church in Winchelsea in the mid 19th century.

The former Anglican Vicarage at 5 Batson Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the early development of St. Thomas's Anglican Church in Winchelsea in the mid 19th century, after the first Church had been built in 1846 and the first incumbent, the Rev. Edward Tanner, had been appointed in 1854. Built in 1855 to a design by the Geelong architect and surveyor, A.C. MacDonald, the building represents one of a rare number of surviving intact mid 19th century residences in Winchelsea.

Overall, the former Anglican Vicarage at 5 Batson Street is of LOCAL significance.

10 Blacks Road – Kooringa

'Kooringa' at 10 Blacks Road, Winchelsea, has significance as a local example of the unusual wall construction system, Knitlock, patented in 1917 by the eminent American architect, Walter Burley Griffin, and taken up by the local builder, Herbert Warner (in partnership with a Mr Anderson, financier, and Allan McDonald, MLA.) in 1923. Built in 1923-24, 'Kooringa' also has significance for its associations with the Commonwealth Government's Soldier Settlement Scheme, the land having been taken up by the returned soldier, Sydney Gilmore Black, and his wife, Alice. 'Kooringa' appears to be in fair-good condition when viewed from the road and is largely intact.

'Kooringa' at 10 Blacks Road, is historically and scientifically significant at a LOCAL level (AHC A.4, H.1, F.1). It demonstrates innovation in its locally rare and unusual form of concrete wall construction, Knitlock, patented by the American architect, Walter Burley Griffin in 1917 and taken up by the local builder, Herbert Warner (in partnership with a Mr Anderson, financier and Allan McDonald, MLA) in 1923. 'Kooringa' was built in 1923, with evidence of the Knitlock construction identified in the interlocking wall system that consisted of concrete wall tiles having offset joints used to construct the wall, with strengthening ribs at modular intervals. While documentary evidence has not been ascertained linking Warner to the building of 'Kooringa', physical evidence suggests his involvement. It was also in 1923 when Warner built the Winchelsea Memorial Grandstand of Knitlock construction. The Barrabool Church Sunday Hall, also built in 1923, represents another example of the system. Overall, 'Kooringa' is one of five known examples of this type of construction in the Surf Coast Shire. Also associated with the property is the Closer Settlement Board as part of the Soldier Settlement Scheme where land was leased to returned servicemen of the First World War. The land and house, 'Kooringa' have associations with the farmer and returned soldier, Sydney Gilmore Black and his wife, Alice, original lessees. Alice Black (later Alice McClelland) was a long term occupier of the property.

Overall, 'Kooringa' at 10 Blacks Road is of LOCAL significance.

15 Gosney Street – Winchelsea Primary School

The Winchelsea Primary School, 15 Gosney Street, has significance as the long-serving centre of education in Winchelsea in 1878, reflecting the cultural progress of the town from that time. Although altered and extended, the significance of the place is embodied in the surviving original (1878) and early (1914) building fabric: in the steeply-pitched gabled Victorian eclectic Picturesque Gothic styled building and in the northern addition. Representing an atypical example of the architectural repertoire of the Victorian Education Department, the building complex appears to be in good condition.

The Winchelsea Primary School, 15 Gosney Street, is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is associated with the cultural development of Winchelsea in the 19th century, and particularly as the centre of education in the town from 1878, when the building opened as the Winchelsea State School. The complex continues to serve the community for educational purposes to the present day. The surviving original and early buildings reflect its historical and social values, as they continue to be recognised and valued by the local community as a legacy of teaching and personal development. The original building appears to have associations with the Education Department's architect, Henry Bastow, although the design is unlike most of the standard school building types produced by him in the 1870s and 1880s in Victoria. The original school building also represents one of only four known surviving 19th century schools in the Surf Coast Shire.

The Winchelsea Primary School has architectural interest. Although altered and extended, the original Victorian eclectic Picturesque Gothic design of the original (1878) building is clearly discernible in the steeply-pitched gabled roof form and slightly projecting central gable, galvanised corrugated steel roof cladding, brick chimneys, brick wall construction (but not the overpainting), timber bargeboards, pendants and trusses, round and lancet-like ventilators, timber framed 12 paned double hung windows and modest eaves. The Federation era (1914) additions also contribute to the architectural interest of the place with their paired gabled forms and hipped roofs (to the west) clad in galvanised corrugated steel, brick wall construction (but not the overpainting), brick chimneys

with corbelled tops, brick plinth, timber framed 12 paned double hung windows arranged in banks of four, and in the window hoods supported by timber brackets.

Overall, the Winchelsea Primary School, 15 Gosney Street, is of LOCAL significance.

39 Harding Street – House

The house at 39 Harding Street, has significance as a moderately intact and representative example of the Victorian style constructed in bluestone in the Winchelsea township. It represents one a small number of surviving 19th century bluestone buildings in the central township area. Built in c.1874 for Daniel Orchard, farmer and long-term owner, the dwelling has experienced alterations and additions at the rear, but the original bluestone portion is mainly intact and in good condition when viewed from the street.

The house at 39 Harding Street is architecturally significant at a LOCAL level (AHC D.2). It is a representative example of a small number of surviving 19th century bluestone buildings in the central Winchelsea township and demonstrates original design qualities of a Victorian style. These qualities include the hipped roof form that traverses the site, together with the shallow hipped concave verandah that projects towards the street frontage and the unpainted coursed squared rubble bluestone wall construction. Other intact or appropriate qualities include the single storey height, symmetrical composition, corrugated sheet metal roof cladding, face brick chimney at the rear, central front door opening and the flanking timber framed double hung windows, and the square timber verandah posts.

The house at 39 Harding Street is historically significant at a LOCAL level (AHC A.4). It is associated with residential developments in Winchelsea after the mid 19th century, at a time when the town became an early centre for commerce, education, postal services and social activities, and the retirement location for a number of people from the land. The house was built in c.1874 for Daniel Orchard, farmer and long-term owner.

Overall, the house at 39 Harding Street is of LOCAL significance.

28 Hesse Street – Former Winchelsea Shire Hall

The former Winchelsea Shire Hall, 28 Hesse Street, has significance as a local civic and architectural landmark in Winchelsea. A physical legacy of the former Winchelsea Shire that was established in 1864 (replacing the Winchelsea District Roads Board that founded in December 1860), the existing Shire Hall building replaced an earlier building that had been constructed in 1866) Designed by the Geelong architects Seeley and King in 1907, the existing building is a largely conventional example of a Federation Free style. It is largely externally intact and in good condition. The surviving original interior fabric, together with the mature palm, elm and ash trees on the site and the bluestone war memorial planter at the front also contribute to the significance of the place.

The former Winchelsea Shire Hall, 28 Hesse Street, is architecturally significant at a LOCAL level (AHC D.2, E.1). A local social and architectural landmark in the town, it demonstrates original design qualities of a Federation Free style. These qualities include the elevated and recessive elongated jerkin head roof form (comprising the hall/chambers space within), together with a small hipped roofed wing at the east end and the front elongated hipped pavilion. This pavilion is dominated by a central rendered Free style portico supported by widely-spaced, paired square columns on bluestone plinths, and crowned by a parapet having a curved central bay and flanking bays of elevated, stylised curvilinear parapets. Other intact or appropriate qualities include the galvanised corrugated steel and slate roof cladding, unpainted bluestone wall construction, rendered chimneys having terra cotta pots, round galvanised ventilation stacks on the roofline of the rear hall/chambers, flat and round-arched window openings with timber framed double hung windows, quoined window surrounds, round-arched main door opening with timber framed fanlight and two panelled timber doors. Internally, the original spatial arrangement is still discernible, while the coved timber-lined ceilings and hard plaster walls of the chambers space and contractor's room, together with the round-arched stained glass window on the west wall of the chambers, corner fireplaces, moulded timber window and door architraves, timber table and chairs (in the contractor's room) and the

timber World War I and II honour boards and photographic displays also contribute to the significance of the place. At the front of the building is a bluestone war memorial planter while at the sides are mature palm, cypress and other exotic trees. The memorial and trees further contribute to the significance of the Shire Hall site.

The former Winchelsea Shire Hall, 28 Hesse Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is a tangible legacy of the evolution and development of the former Shire of Winchelsea Council, established in 1864 (replacing the Winchelsea District Roads Board founded in 1860). The first Shire Hall was built in 1866 to a design by Henry Robert Bastow, staunch member of the Plymouth Brethren and later Head of the architectural branch of the Victorian Education Department. It was demolished in 1907 when the existing Shire Hall was constructed to a design by the Geelong architectural firm of Seeley and King. It is of interest that Thomas Seeley was a member of the Independent Order of Rechabites and it may have been through friendly society associations as to how both Bastow in 1866 and Seeley in 1907 were awarded their commissions to design these buildings. Both architects were not known for their civic architecture. The former Winchelsea Shire Hall also has associations with several local civic and community events and celebrations. These include Council meetings until the amalgamation of the Shire in 1994, visits by Governors and other dignitaries, and the location of exhibitions and weddings.

The former Winchelsea Shire Hall, 28 Hesse street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the local community as the historic centre of local government and civic and community events and celebrations in Winchelsea throughout the 20th century.

Overall, the former Winchelsea Shire Hall, 28 Hesse Street, is of LOCAL significance.

39 Hesse Street – The Isles

'The Isles' at 39 Hesse Street, has significance as a predominantly intact example of a Federation style in Winchelsea and for its associations as the residence of Allan McDonald, MHR, who contributed much to community life in Winchelsea and district in the first half of the 20th century. It was built in 1916 for McDonald by his neighbour and local builder, H.E. Warner, at a time when Warner also constructed his own dwelling, 'Toyerville', in a similar design and when McDonald had joined the Australian Imperial Force, serving at Bullecourt and Belgium in the Great War. After returning from the war, McDonald became a long-serving politician, initially serving from 1933 until 1940 as a Member of the Victorian Legislative Assembly, before being elected to the seat of Corangamite in 1940 as a Federal Member for the House of Representatives. He remained as an MHR until the 1950s. Upon his death in 1953, McDonald was accorded a state funeral for his service as a politician. In partnership with Warner and a Mr Anderson (financier) in the early 1920s, McDonald established a manufacturing works at the rear of Warner's property to produce concrete Knitlock wall and roof systems. The most notable example of this form of construction in Winchelsea is the Memorial Grandstand, built in 1923, although it was Warner who was primarily responsible for the construction works. 'The Isles', represents one of a small number of intact Federation era houses in the town. It is in good condition and the open capped concrete front fence - also built by H.E. Warner - is rare and also contributes to the place.

'The Isles' at 39 Hesse Street, Winchelsea, is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a Federation style. These qualities include the triple-fronted hipped roof form, together with the minor gables that project at the front and side, and the return broken back verandah supported by paired square timber brackets (having timber fretwork between) and with simple solid curved timber valances. Other intact or appropriate qualities include the asymmetrical composition, single storey height, face brick chimneys with multi-corbelled tops and terra cotta pots, modest eaves, galvanised corrugated steel roof cladding, horizontal timber weatherboard wall cladding, timber framed double hung windows, front timber doorway, bracketed window hoods, and the decorative gable infill (timber battening and panelling, and supporting timber brackets). The dwelling is a good example of the small number of intact Federation era houses in Winchelsea. The open capped concrete fence is early and locally rare and also contributes to the significance of the place.

'The Isles' at 39 Hesse Street, Winchelsea, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, and is a physical legacy of the steady progress of the town at this time. In particular, the dwelling is associated with the long-serving politician in the Victorian Legislative Assembly (1933-1940) and Federal Member for Corangamite in the House of Representatives (1940-1950s), Allan McDonald, having been built for him and his wife, Sarah, in 1916. It was also in 1916 when McDonald served in the Australian Imperial Force at Bullecourt and Belgium in the Great War. Also associated with the dwelling is the local builder, Herbert Ernest Warner, who also constructed his own home next to McDonald's in 1916. Although Warner is believed to have been responsible for the building of a number of houses in Winchelsea, he is best known for establishing manufacturing works at the rear of his property with a Mr Anderson (financier) and Allan McDonald for the production of concrete Knitlock wall and roof systems.

Overall, 'The Isles' at 39 Hesse Street, Winchelsea, is of LOCAL significance.

41 Hesse Street – Toyerville

Toyerville, 41 Hesse Street, has significance as a predominantly intact example of a Federation style in Winchelsea and for its associations as the residence of the local builder, Herbert Ernest Warner. It was built in 1916 by Warner as his own home, a time when Warner also constructed the neighbouring dwelling, 'The Isles' for Allan McDonald, MHR, in a similar design. Warner was responsible for building a number of houses in Winchelsea and is best recognised for establishing manufacturing works at the rear his property with a Mr Anderson (financier) and Allan McDonald (MHR) to produce concrete Knitlock wall and roof systems. The most notable example of this form of construction in Winchelsea is the Memorial Grandstand, built in 1923. Warner's own dwelling, Toyerville, represents one of a small number of intact Federation era houses in the town. It is in fair condition and the open capped concrete front fence - also built by Warner - is rare and also contributes to the place.

Toyerville at 41 Hesse Street, Winchelsea, is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a Federation style. These qualities include the triple-fronted hipped roof form, together with the minor gables that project at the front and side, and the return broken back verandah supported by paired square timber brackets (having timber fretwork between) and with simple solid curved timber valances. Other intact or appropriate qualities include the asymmetrical composition, single storey height, face brick chimneys with multi-corbelled tops and terra cotta pots, modest eaves, galvanised corrugated steel roof cladding, horizontal timber weatherboard wall cladding, timber framed double hung windows, front timber doorway, bracketed window hoods, and the decorative gable infill (timber battening and panelling, and supporting timber brackets). The dwelling is a good example of the small number of intact Federation era houses in Winchelsea. The open capped concrete fence is early and locally rare and also contributes to the significance of the place.

Toyerville at 41 Hesse Street, Winchelsea, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, and is a physical legacy of the steady progress of the town at this time. In particular, the dwelling is associated with the local builder, Herbert Ernest Warner, who constructed it as his own home in 1916, along with the neighbouring dwelling for Allan McDonald, MHR at the same time. Although Warner is believed to have been responsible for the building of a number of houses in Winchelsea, he his best known for establishing manufacturing works at the rear of his property with a Mr Anderson (financier) and Allan McDonald (MHR) for the production of concrete Knitlock wall and roof systems. The Winchelsea Grandstand, built in 1923, is his most substantial and notable example, although other buildings of this unusual concrete system patented by the American architect, Walter Burley Griffin in 1917 and 1918, also survive locally.

Overall, Toyerville at 41 Hesse Street, Winchelsea, is of LOCAL significance.

Main Street – Bills Water Trough

The horse trough, near the entrance to the Barwon Hotel, Main Street, Winchelsea, is significant as part of the Annis and George Bills Estate, which was established to provide watering facilities for horses after George's death in 1927. The structure is also a legacy of the days of horse drawn vehicles and the importance of Winchelsea as a stopping post on the route between Geelong and the Western District.

The horse trough is historically and socially significant at a LOCAL level (AHC A.4, H.1, G.1). It is associated with Annis and George Bills from c.1927, who established a fund in the early 20th century to provide adequate watering facilities for horses. The trough is just one of over a thousand troughs installed throughout Australia, and the USA, which are a legacy of the Bills Estate. The troughs are recognised by the local Winchelsea community as demonstrating a distinctive custom that is no longer in use.

Overall, the horse trough is of LOCAL significance.

01 Main Street – Barwon Hotel

The Barwon Hotel, 1 Main Street, Winchelsea, has paramount significance as one of the oldest surviving buildings in Victoria, the oldest surviving building in Winchelsea and is a physical legacy in the history of settlement in the town and in Western Victoria. Originally built in 1842 for Charles Beal and Prosper Trebeck, founders of Winchelsea in the same year, the Barwon Inn (as it was originally called) was soon destroyed by fire and rebuilt in 1843. Although the Barwon Hotel has been substantially altered over time, the significance of the building is embodied in the surviving and clearly discernible original (1843) physical fabric in the rear projecting gabled wing constructed of bluestone, and the rear bluestone wall and paving representing the original stables outbuilding. The hotel complex appears to be in fair condition when viewed from outside the property.

The Barwon Hotel, 1 Main Street, has historical and social significance at a LOCAL level (AHC A.4, H.1). It is associated with the earliest building development in Winchelsea in 1843 and has paramount importance in reflecting the history of settlement in the town and more broadly, Western Victoria. Initially constructed in 1842 for Charles Beal and Prosper Trebeck, founders of Winchelsea, the building was soon destroyed by fire and rebuilt in the following year. The Barwon Hotel is also the longest-serving commercial building in Winchelsea, and has played host to many important functions affecting local community life, including visits by notable dignitaries such as Governor Latrobe (1842) and the Duke of Edinburgh, Prince Alfred (1867) as well as the location of District Roads Boards meetings between 1860 and 1866. The building is recognised and valued by the local community as the historic social and commercial centre of the town. Although considerably altered over time, the historic and social significance of the place is embodied in the surviving physical fabric: the rear projecting gabled wing constructed of bluestone, and to a lesser extent the linking gabled wing built of bluestone (linking the front and rear gabled forms) and the rear bluestone wall and paving representing the original stables outbuilding.

Overall, the Barwon Hotel, 1 Main Street, is of LOCAL significance.

34 Main Street – Winchelsea Post Office

The Winchelsea Post Office, 34 Main Street, has significance as a largely intact example of a timber Federation styled Post Office building designed by the Works Branch of the Commonwealth Department of Home Affairs in 1915, under the influence of J.S. Murdoch, First Commonwealth Government Architect. The Post Office is also an important legacy of government infrastructure established in Winchelsea prior to the First World War. Overall, the building appears to be in good condition when viewed from the street.

The Winchelsea Post Office, 34 Main Street, is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original design qualities of a Federation style, established by the Works Branch of the Commonwealth Department of Home Affairs, and based on earlier prototypes in Victoria, New South Wales and particularly Queensland. These design qualities include the gabled roof form that traverses the site, together with the minor gable that projects towards the street frontage, side porch at the front (formed under an extension of the traversing roof) and the rear

gabled and hipped roof forms. Other intact or appropriate qualities include the asymmetrical composition, domestic-like single storey scale, corrugated sheet metal roof cladding, brick chimneys with rendered tops, horizontal timber weatherboard wall cladding, broad eaves with exposed timber rafters, paired round stylised Doric verandah columns (arranged as a group of three at the corner) on solid timber weatherboard balustrades, large window openings at the front and rear, timber ventilators in the gable ends, bracketed timber window hood over the side window, front door opening and the rear post-supported porch to the original quarters. Stylistically, the Winchelsea Post Office is directly comparable to other rural post offices in Victoria, notably those at Skipton (1912) and Kaniva (1913).

The Winchelsea Post Office, 34 Main Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the development of government infrastructure in the town before the First World War, and particularly with the Works Branch of the Commonwealth Department of Home Affairs, who designed the building in 1915. Ultimate design responsibility for Commonwealth buildings rested with the Senior Assistant to the Director-General of Works, John Smith Murdoch. He had been responsible for the designs of several timber, domestically-scaled post offices in rural Queensland at the turn of the century and it appears to have been from these designs where the stylistic compositions of Federation era rural post offices (like that at Winchelsea) originated.

The Winchelsea Post Office, 34 Main Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the Winchelsea community as an integral part of the infrastructure in the town.

Overall, the Winchelsea Post Office, 34 Main Street, is of LOCAL significance.

35 Main Street – Daisy Cottage

Daisy Cottage at 35 Main Street has significance as a predominantly intact and rare local example of an Edwardian style in Winchelsea, and for its long standing associations as the residence of the Head Teacher of the Winchelsea State School throughout the 20th century. Built in 1903-04 for William Orchard, local baker, the cottage was occupied by teachers of the Winchelsea State School until the late 1950s or early 1960s. It was owned by the Education Department from 1913. Overall, the cottage appears to be in good condition when viewed from the street, and is one of only seven Federation/Edwardian era dwellings of heritage value in Winchelsea.

Daisy Cottage at 35 Main Street is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of an Edwardian style. These qualities include the hipped roof form that traverses the site, together with the gable roof and the bullnosed verandah that project towards the street frontage and the rear double hipped (M) roof forms. Other intact or appropriate qualities include the single storey height, asymmetrical composition, red painted galvanised corrugated steel roof cladding, horizontal timber weatherboard wall cladding, face brick chimney with a multi-corbelled top, modest eaves, timber verandah posts, framed timber fretwork verandah valance and solid timber verandah brackets, timber framed double hung windows, timber framed front doorway with four panelled timber door and timber framed transom above, and the elaborate patera motifs in the bargeboards of the front gable end.

Daisy Cottage at 35 Main Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, and is a physical legacy of the steady progress of the town at this time. The dwelling also has associations as the residence of the Head Teachers of the nearby Winchelsea State School. These teachers include George Hiscox (1904-08), George B. Corbett (1914-22), George Evans (1922-25), Ernest William Holland (1926-36), Lewis Strawhorn (1936-40), Thomas E.G. Mortimer (1940-49), Phillip Forbes Jenkin (1950-51) and Alfred Oppy (1952-55).

Overall, Daisy Cottage at 35 Main Street is of LOCAL significance.

39 Main Street – Chelsea House

Chelsea House, 39 Main Street, has significance as a predominantly intact example of a Federation style in Winchelsea and for its associations as a boarding house throughout the first half of the 20th century, and as a doctor's residence and surgery from the 1950s. Built in 1913 for Albertina Orchard, a local baker who, with her husband, William, owned a bakery at 44 Main Street until 1909-10, the former boarding house first appears to have been named 'Chelsea House' in 1920-21. Overall, Chelsea House appears to be in good condition when viewed from the street.

Chelsea House at 39 Main Street, Winchelsea, is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of a Federation style. These qualities include the hipped roof form, together with the minor gables that project at the front and side, and the return bullnosed verandah. Other intact or appropriate qualities include the asymmetrical composition, single storey height, face brick chimneys with multi-corbelled tops, modest eaves, green painted galvanised corrugated steel roof cladding, horizontal timber weatherboard wall cladding, paired timber framed double hung windows in the gable ends, timber framed double hung window with transom under the verandah, panelled timber doors with transoms, timber framed sidelights to the main entrance, and the decorative gable infill (timber battening and ripple iron panelling).

Chelsea House at 39 Main Street, Winchelsea, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, and is a physical legacy of the steady progress of the town at this time. The dwelling also has associations as a boarding house (initially operated by the original owner, Albertina Orchard, a former baker) from the time of its construction in 1913 until the mid 20th century. Chelsea House also has associations as the local doctor's residence and surgery from the 1950s.

Overall, Chelsea House at 39 Main Street, Winchelsea is of LOCAL significance.

41 Main Street – House

The house at 41 Main Street, has significance as a substantially intact and locally unusual example of an interwar Bungalow in Winchelsea. The design draws on the Japanese and Arts and Crafts-inspired Bungalows in California, U.S.A. in a subtle, localised manner. The house appears to have been built in either 1919 or 1927 and is in good condition when viewed from the street.

The house at 41 Main Street is architecturally and historically significant at a LOCAL level (AHC A.4, D.2, E.1). It is a physical legacy of the steady progress of Winchelsea in the early 20th century and it demonstrates original design qualities of a contextually unusual example of an interwar Bungalow style. These qualities include the broad hipped roof form, together with gables that project towards the front and sides. Other intact or appropriate qualities include the single storey height, asymmetrical composition, horizontal timber weatherboard wall cladding, corrugated sheet metal roof cladding, face red brick chimney with a rendered projecting capping, very wide eaves with exposed timber rafters, front verandah formed under the main hipped roof and the projecting side gable, paired timber verandah posts, projecting flat-roofed rectangular bay window on the front gable, banks of three timber framed double hung windows at the front, single timber frame double hung windows, front doorway, and the decorative gable infill (bellcast timber shingling and timber brackets). The design has an affinity with the Japanese and Arts and Crafts-inspired Bungalows in California in the very early 20th century and it expresses (in a localised manner) contemporary architectural attitudes during the interwar era.

Overall, the house at 41 Main Street is of LOCAL significance.

44 Main Street – Former Orchard Bakery & Associated Dwelling

The former Orchard bakery and dwelling at 44 Main Street, have significance as the only known surviving Late Victorian era shop and dwelling complex in Winchelsea and for demonstrating original Late Victorian and early 20th century design qualities. The dwelling was built in 1893-94 while the shop was constructed in 1895-6. It served as William Orchard's bakery from 1902-03, continuing this function until at least the 1950s, when it then became a milk bar. It appears that the former bakery building was altered in 1927, with the construction of the stepped parapet, which remains intact and contributes to the significance of the building. Overall, the former bakery and dwelling complex

appear to be in fair condition when viewed from the street (but poor condition at the rear) and are moderately intact.

The former Orchard bakery and dwelling, 44 Main Street, are architecturally significant at a LOCAL level (AHC D.2) as the only known predominantly intact Late Victorian era shop and dwelling complex in Winchelsea. The bakery building demonstrates original early 20th century design qualities. These qualities include the dominant timber framed and stepped parapet featuring timber piers with projecting mouldings and pressed metal cladding simulating brickwork, entrance ingo and door opening, and shopfront opening to the west. Other intact or appropriate qualities include the single storey height, horizontal timber weatherboard wall cladding, corrugated profile sheet metal roof cladding, and the linking wing with its timber parapet having projecting timber piers, and the single timber door opening.

The associated dwelling demonstrates original design qualities of a Late Victorian style. These qualities include the front hipped roof form, together with the bullnosed verandah that projects towards the street frontage and the rear double (M) hipped roof forms. Other intact or appropriate qualities include the single storey height, symmetrical composition, horizontal timber weatherboard wall cladding, galvanised corrugated steel roof cladding, face red brick chimney at the front and the rear brick chimney, narrow eaves, central timber framed front doorway (with four panelled timber door and transom), and the flanking timber framed double hung windows, and the timber verandah posts, timber framed fretwork and timber brackets.

The former Orchard bakery and dwelling, 44 Main Street, are historically significant at a LOCAL level (AHC A.4, H.1). They are associated with commercial developments in Winchelsea during the Late Victorian era, when the town continued to make steady progress. The dwelling (built in 1893-94) and the shop/former bakery (built in 1895-96), have associations with William Orchard and his wife, Albertina, original owners and bakers. They commenced their bakery business at this location in 1902-03. The complex has long term associations as a bakery in Winchelsea until at least the mid 20th century and the former bakery continues to function as a commercial premises as a milk bar today.

Overall, the former Orchard bakery and dwelling, 44 Main Street, are of LOCAL significance.

53 Main Street – Former Police Station

The former Police Station at 53 Main Street, has significance as the earliest long term police residence and as a predominantly intact example of a Late Victorian style in Winchelsea. Built in c.1903-04 for Mrs Catherine Lauder whose family owned a number of landholdings in the town, the dwelling was associated with the police station from its construction until the 1950s. The dwelling represents one of very few largely intact Late Victorian styled houses in Winchelsea and it appears to be in good condition when viewed from the street.

The former Police Station at 53 Main Street is architecturally significant at a LOCAL level (AHC D.2). One of very few intact examples of its type in Winchelsea, it demonstrates original design qualities of a Late Victorian style. These qualities include hipped roof form at the front, together with the hipped concave verandah that projects towards the street frontage and the rear double hipped (M) roof forms. Other intact or appropriate qualities include the single storey height, symmetrical composition, horizontal timber weatherboard wall cladding, red painted galvanised corrugated steel roof cladding, brick chimney with a corbelled top, narrow eaves, stop chamfered timber verandah posts, central timber framed front doorway with panelled timber door, and the timber framed double hung windows.

The former Police Station at 53 Main Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with residential developments in Winchelsea in the very early 20th century, at a time when the town continued to make steady progress. In particular, this dwelling has associations as the long time location of the police station from its construction in c.1903-04 until the 1950s. It has associations with a number of police constables, including Michael Dwyer (1909-10), Albert Collett (1914-15), Ernest J Edwards (1930-31), Charles Leonard Worcester (1935-36), and David Shields (1940-45). The dwelling has long time associations with the Lauder family from c.1903-04 until 1959, the original owner being Catherine Lauder and later owners being her daughters, Mary and Isabella.

Overall, the former Police Station at 53 Main Street is of LOCAL significance.

59 Main Street – House

The dwelling at 59 Main Street has significance for its associations with Robert Gosney, local resident, who contributed much to the community life of Winchelsea and wider Victoria, as Shire Rate Collector and later Shire Secretary, and Secretary of the Public Library and one-time Grand Master of the Ancient Order of Independent Oddfellows in Victoria. Possibly built in c.1869-70, with additions in c.1885 and again in c.1890-91, the dwelling is an early example of a Victorian style, the early alterations probably reflecting the growth in the Gosney family in the late 19th century. Overall, the dwelling appears to be in fair condition and although altered from the original design, the early additions also contribute to the significance of the place.

The dwelling at 59 Main Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the long time owners and occupiers, the Gosney family, and particularly Robert Gosney (1847-1911) who contributed much to community life in Winchelsea as the Shire Rate Collector and later Shire Secretary. He also held other positions in the community in the late 19th and early 20th centuries, including the role of Secretary to the Public Library, correspondent to the Winchelsea State School and Grand Master of the Ancient Independent Order of Oddfellows in Victoria. The associations with Robert Gosney and family are embodied in the existing physical fabric of the dwelling which appears to have been built in c.1869-70, the early alterations and additions possibly reflecting the growth in the Gosney family between the 1870s and the 1890s.

The dwelling at 59 Main Street has architectural interest. Although altered, these early changes contribute to the historical significance of the place. The dwelling demonstrates a number of original and early design qualities of a Victorian style. These qualities include the double gabled roof form that traverses the site with its projecting post supported bullnosed verandah, long gable roof form on the west side (which appears to represent the addition of c.1890-91), single storey height, asymmetrical composition, horizontal timber weatherboard wall cladding and the corrugated sheet metal roof cladding. Other intact or appropriate qualities include the brick chimneys, narrow eaves, front timber framed doorway with a four panelled timber door and flanking timber framed double hung windows, timber framed double hung tripartite window in the gable end with a curved hood above, and the decorative timber bargeboards and turned timber finial and pendant.

Overall, the dwelling at 59 Main Street is of LOCAL significance.

65-67 Main Street – Balgownie

Balgownie at 65-67 Main Street, has significance for its long time associations as the residence of the local surgeon, reflecting the steady growth of Winchelsea and the need for a permanent medical service by the 1860s. These associations are embodied in the physical Victorian style fabric of the dwelling built in either c.1864 or c.1868 and later extended between 1911 and 1914. These Federation era additions also contribute to the significance of the place. The house was first occupied (and later owned) by Dr Henry Meyler, the first resident medical practitioner in Winchelsea. Upon Meyler's death in 1889, the residence was occupied and later owned by Dr Arthur Eddie, who served as a resident surgeon and physician in the town until his death in 1930. Overall, Balgownie appears to be in good condition when viewed from the street. While an altered example of a Victorian style, the significance of Balgownie lies in its historical significance which is expressed through the existing building fabric. The rear underground tank also contributes to the significance of the place.

Balgownie at 65-67 Main Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the early medical practitioners in Winchelsea as their local residence, these associations being embodied in the surviving physical fabric. Built in either c.1864 or c.1868, the dwelling was first occupied (and later owned) by Dr Henry Meyler, first resident medical practitioner in Winchelsea. After his death in 1889, it was occupied and later owned by Dr Arthur Eddie, long time local surgeon and physician who resided at Balgownie until his death in 1930. The Federation era alterations to the dwelling appear to have been carried out by Dr Eddie between 1911 and 1914. The dwelling is also a physical legacy of the early progress and residential development of

Winchelsea from the 1860s, and particularly with the need for a permanent medical service in the town.

Balgownie at 65-67 Main Street has architectural interest. Although the Victorian design has been substantially altered with later Federation era changes introduced, the stylistic attributes of the dwelling are still clearly discernible. The Victorian style qualities include the single storey height, hipped roof form at the front and the rear double hipped (M) roof forms, brick chimneys with corbelled tops and terra cotta pots, narrow eaves, timber framed front doorway with four panelled timber door, sidelights and highlights, flanking floor to ceiling timber framed double hung windows, horizontal timber weatherboard wall cladding and the corrugated profile sheet metal roof cladding. The Federation era changes which reflect the further evolution of the dwelling include the western extension to the front hipped roof, return verandah with stop chamfered timber posts featuring moulded timber capitals, and the diagonal corner window bay featuring a tripartite timber framed double hung window.

Overall, Balgownie at 65-67 Main Street is of LOCAL significance.

205 McConachy Street – Winchelsea Cemetery

The Winchelsea Cemetery, 205 McConachy Street, Winchelsea, has significance as an important place of commemoration and as a significant cultural landscape to the local area. It represents one of five 19th century cemeteries in the Surf Coast Shire. Nine acres for the cemetery were reserved in 1859, with a further 8 acres reserved for cemetery purposes in 1887. The cemetery is set on sloping land and features numerous headstones and surrounds, together with exotic and native trees including Cypress pines and native trees around the perimeter of the site. Approximately 1980 burials are recorded in the cemetery from the 1850s until c.2000.

The Winchelsea Cemetery, 205 McConachy Street, is historically and aesthetically significant at a LOCAL level (AHC A.4, H.1, E.1). It is associated with the development of the township of Winchelsea from the 1850s with the reservation of 9 acres as a cemetery in 1859 and an additional 8 acres for cemetery purposes in 1887. The cemetery demonstrates important visual qualities. These qualities include the rural setting comprising an open grassed area of sloping land featuring numerous headstones, grave surrounds laid out in regular rows, with perimeter vehicular drives and several Cypress pines and native trees.

The Winchelsea Cemetery, 205 McConachy Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the Winchelsea community for cultural, spiritual and commemorative reasons.

Overall, the Winchelsea Cemetery, 205 McConachy Street, is of LOCAL significance.

05 Mercer Street – St John the Baptist Roman Catholic Church

The St. John the Baptist Roman Catholic Church, 5 Mercer Street, has significance as a tangible legacy in the development and life of the Catholic Church in Winchelsea since the late 19th century, and as a predominantly intact example of a Late Victorian Gothic Revival style. Built in 1892 to a design by the Melbourne architects, civil engineers and surveyors, Craven, Brown and Marquand, the rear apsidal sanctuary, side projecting sacristy and an additional bay of the nave were added in 1924. Overall, the church building appears to be in good condition. The nearby bell (imported from Ireland in 1924) also contributes to the significance of the place.

The St. John the Baptist Catholic Church, 5 Mercer Street, is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original and locally unusual design qualities of a Late Victorian Gothic Revival style. These qualities include the steeply pitched and parapeted gable roof form clad in dichromatic slate, with white-painted dressings (giving an outward Lombardic-like expression as especially evidenced in the patterned face brick and freestone voussoirs in the pointed arched window heads), projecting steeply pitched gable porch and the large wheel window in the main gable end. Other intact or appropriate qualities include the face red brick wall construction, rear apsidal sanctuary and side sacristy, Celtic cross that surmounts the main front gable end, pointed

arched windows with decorative stained glass in the hopper sashes and diamond leadlighting in the two paned windows, and the corbelled ends to the gable roofs. The nearby bell (imported from Ireland and blessed by Archbishop Mannix in 1924) also contributes to the significance of the place. Internally, there are a number of memorial gifts that contribute to the significance of the place.

The St. John the Baptist Catholic Church, 5 Mercer Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the development and witness of the Roman Catholic Church in Winchelsea since its construction in 1892. From that time, the Catholic Church has been charged with several parish priests, one notable and much-admired incumbent being Father Michael Hehir between 1912 and 1934. Father Hehir was responsible for the early 20th century additions to the Church and was Winchelsea's longest-serving parish priest. Such was the esteem bestowed to Father Hehir that in 1944, ten years after his death, a graveside service was held in his memory. St. John the Baptist Church also has associations with the architects, engineers and surveyors, Craven, Brown and Marquand who were responsible for its design. Craven was the MLA for Benambra. The Winchelsea building appears to have been the only documented Church design by Craven, Brown and Marquand.

St. John the Baptist Catholic Church, 5 Mercer Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the local Catholic community for religious reasons, as a symbol of their faith, and their history of local participation in faith education. Inside the church are a number of memorial gifts bestowed by parishioners in memory of family members. These gifts are also valued for commemorative reasons.

Overall, St. John the Baptist Catholic Church, 5 Mercer Street, is of LOCAL significance.

05 Mercer Street – St John the Baptist Roman Catholic Presbytery

The St. John the Baptist Presbytery, 5 Mercer Street, has significance for its associations with the life and witness of the Roman Catholic Church in Winchelsea, and as a moderately intact example of a Federation style. Built in 1906 and opened by Dr Carr, Archbishop of Melbourne in March of that year, the building has served as the home and office of local parish priests throughout the 20th century. Apart from some minor alterations and additions, it continues to clearly read as a Federation era dwelling.

The St. John the Baptist Presbytery, 5 Mercer Street, is architecturally significant at a LOCAL level (AHC D.2). Although altered, it still demonstrates original design qualities of a Federation style. These qualities include the broad hipped roof form, together with rear and side projecting minor hipped roofs and the minor gable that projects towards the front (Mercer Street). Other intact or appropriate qualities include the asymmetrical composition, single storey height, galvanised corrugated steel roof cladding, pressed face red brick wall construction, broken back return verandah supported by timber posts with curved solid timber valances, face red brick chimneys with cement cappings and stringcourses, modest eaves, roughcast wall finishes under the eaves, chamfered building corner under the return verandah with timber framed double hung window and bluestone foundation stone below, other timber framed double hung windows featuring three paned upper sashes, front timber door and sidelight, decorative infill in the front gable (timber battening and rendered panelling) and the projecting rectangular window bay on the side facade. The presbytery appears to be in fair-good condition and is moderately intact.

The St. John the Baptist Presbytery, 5 Mercer Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the evolution and development of the Roman Catholic Church in Winchelsea, as the home and office of incumbent parish priests between 1906 and the late 20th century. Built in 1906, the presbytery was opened by Dr T.J. Carr, Archbishop of Melbourne. The legacy of some priests, including Father Conlon, Father Casmento, Father Coleman and Father Saul, is physically expressed in the minor alterations and additions to the building, including the timber walls under the front gable (c.1944-45), projecting rectangular bay window (c.1944-45), rear carport (c.1966) and bathroom upgrades (1970s).

The St. John the Baptist Presbytery, 5 Mercer Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the local Catholic community for religious reasons as the home and office of the local parish priest in the 20th century.

Overall, the St. John the Baptist Presbytery, 5 Mercer Street, is of LOCAL significance.

09 Mercer Street – Plum Tree Cottage

Plum Tree Cottage, 9 Mercer Street, has significance as one of the earliest surviving bluestone cottages in the Winchelsea township and is one of a small number of remaining largely intact 19th century bluestone buildings in the central township area. Built between 1857 and 1864, the early owner was John McDonald, mason and quarryman, who may have been responsible for its construction. The cottage appears to be in good condition when viewed from the street.

Plum Tree Cottage, 9 Mercer Street, is architecturally significant at a LOCAL level (AHC D.2, E.1). It represents one of the earliest surviving bluestone cottages in the Winchelsea township and is one of a small number of surviving largely intact 19th century bluestone buildings in the central township area. The cottage demonstrates original design qualities of a Victorian vernacular style. These qualities include the steeply pitched hipped roof form that traverses the site, lack of eaves and the unpainted coursed squared rubble bluestone wall construction. Other intact or appropriate qualities include the central front doorway and flanking timber framed double hung windows, face brick chimneys (albeit altered), surviving timber shingle roof cladding under the existing corrugated sheet metal roof cladding, single storey height and the modest scale.

Plum Tree Cottage, 9 Mercer Street, is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the earliest residential developments in Winchelsea after the town was laid out in the 1850s, having been built between 1857 and 1864, possibly by John McDonald, early owner and mason and quarryman. The cottage is a physical legacy of building developments in Winchelsea from the mid 19th century, at a time when the town became an early centre for commerce, education, postal services and social activities, and the retirement location for a number of people from the land.

Overall, Plum Tree Cottage, 9 Mercer Street, is of LOCAL significance.

21 Mercer Street – Former Bootmaker's Shop & Dwelling

The former bootmaker's shop and dwelling at 21 Mercer Street, has significance as one of the earliest-surviving buildings in the central Winchelsea area, and particularly one of the earliest timber buildings in the township. Built in c.1867 as David Cooper's bootmaker's shop and dwelling, the building is a representative example of a Victorian style of moderate integrity. It is a physical legacy of the initial developments in Winchelsea after the mid 19th century when the town became an early centre for commerce, education, postal services and social activities, and the retirement location for a number of people from the land. The building appears to be in fair-good condition when viewed from the street.

The former bootmaker's shop and dwelling at 21 Mercer Street is architecturally significant at a LOCAL level (AHC D.2). Although the front verandah has been introduced, the building clearly demonstrates original design qualities of a Victorian style. These qualities include the double gabled roof forms that traverse the site, two painted brick chimneys with corbelled tops and brick stringcourses, central timber framed front doorway with transom, and the flanking window openings with timber framed double hung windows. Other intact or appropriate qualities include the single storey height, horizontal timber weatherboard wall cladding and the corrugated sheet metal roof cladding. The building represents one of the earliest-surviving in the central township area, and is one of few surviving 19th century timber buildings in the town.

The former bootmaker's shop and dwelling at 21 Mercer Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with some of the earliest building developments in the central township area after the mid 19th century, when the town became an early centre for commerce, education, postal services and social activities. In particular, the former bootmaker's shop and

dwelling have long-term associations with the Cooper family, local bootmakers. First established in c.1867 by David Cooper who emigrated to Victoria with his family in 1857, the business was carried on by Cooper's son, Joshua, which in turn was taken up by Joshua's son, Joshua Daniel (Jock). Another of David Cooper's sons, Daniel Matthews Cooper, had also established a bootmaker's shop at the corner of Willis and Jackson Streets in the 1860s, although it was Cooper's other son, Joshua, who remained in Winchelsea and continued the family business.

Overall, the former bootmaker's shop and dwelling at 21 Mercer Street is of LOCAL significance.

02-18 Railway Terrace – Winchelsea Railway Station

The Winchelsea Railway Station, 2-18 Railway Terrace, has significance as a representative example of the "Creswick Style" of station building erected as part of the Geelong-Colac railway line in 1877. It was from the 1860s when considerable debate ensued about the actual route of a railway line linking Geelong with the Western District. The existing line relates to the 'black' line option, with the station building at Winchelsea reflecting the importance of the growing rural settlement in the 1870s. The Victorian Boom styled building is a landmark structure in the town and is largely intact, with the main platform also forming part of the original fabric. The building appears to be in good condition.

The Winchelsea Railway Station, 2-18 Railway Terrace, is architecturally significant at a LOCAL level (AHC D.2, E.1). A landmark building in the town, the station demonstrates original design qualities of a Victorian Boom style, the composition and arrangement of spaces also forming part of the "Creswick" style of station building design. The original design qualities include the elongated hipped roof form, together with the projecting minor hipped roof at the rear and the broadly projecting verandah over the platform supported by fluted cast iron columns with decorative capitals and curved, elongated brackets. Other intact or appropriate qualities include the single storey height, polychrome brick wall construction, slate roof cladding, galvanised corrugated steel verandah roof cladding, polychrome brick chimneys with bracketed projecting tops, modest eaves with decorative brackets, cream brick quoinwork, window and door openings and the timber framed double hung windows. The station platform adjacent to the station building, including the bluestone retaining wall, also contributes to the significance of the place.

The Winchelsea Railway Station, 2-18 Railway Terrace, is historically significant at a LOCAL level (AHC A.4). It is associated with the infrastructure development of railway construction as part of the Geelong to Colac 'black' line in the early 1870s, bringing railway communication to the Western District. The importance of Winchelsea as a growing Victorian town is reflected in the standard "Creswick" style station building that was constructed in 1877 amid great local celebrations. The station building has associations with the Victorian Railway Department's Engineer in Chief, T. Higinbotham, who was responsible for its construction, and with J. King, contractor.

The Winchelsea Railway Station, 2-18 Railway Terrace, is socially significant at a LOCAL level. It is recognised and valued by the Winchelsea community as an important 19th and 20th century infrastructure link.

Overall the Winchelsea Railway Station at 2-18 Railway Terrace is of LOCAL significance.

01A Willis Street – Former Winchelsea Public Library

The former Winchelsea Public Library, 1a Willis Street, has significance as a long-serving local landmark and as a physical legacy of the progress of public education in the town from the late 19th century. Built in 1894 to a design by the Geelong architectural firm of Watts, Tombs and Durran, the building has further significance as a substantially intact and rare example of a Late Victorian styled public building in Winchelsea. The building is in good condition.

The former Winchelsea Public Library, 1a Willis Street, is architecturally significant at a LOCAL level (AHC D.2, E.1). An important and rare example of its type in Winchelsea, it demonstrates original design qualities of a Late Victorian style. These qualities include the L plan and intersecting steeply pitched gable roof forms. Other intact or appropriate qualities include the single storey height,

asymmetrical composition, polychrome brick wall construction, corrugated profile sheet metal cladding, gabled entrance porch supported by timber posts and featuring timber fretwork valances, panelled timber entrance doors, timber framed multi-paned double hung windows, timber infill gable trusses and the "Public Library" signage on the front gable end.

The former Winchelsea Public Library, 1a Willis Street, is historically significant at a LOCAL level (AHC A.1, H.4). It is associated with the progress of public education in Winchelsea, having been built in 1894 to a design by the Geelong architects, Watts, Tombs and Durran. The building represents the second location of the local public library, the first location being in the former round bluestone water tower (now demolished) at the rear of the Barwon Hotel from 1860. The existing building served as the local public library until the early 1970s and in more recent times it has been the location of the Surf Coast Shire Tourist Information Centre.

The former Winchelsea Public Library, 1a Willis Street, is socially significant at a LOCAL level (AHC G.1). It is recognised and valued by the local community for its role in the progress of public education during 19th and 20th centuries and for its landmark status of one of the town's important public buildings.

Overall, the former Winchelsea Public Library, 1a Willis Street, is of LOCAL significance.

11 Willis Street – Former Timon Schroeter's Store

The former Timon Schroeter's store at 11 Willis Street, has significance as one of few surviving early 20th century commercial buildings in Winchelsea and as a moderately intact example of an interwar era commercial building. Built in c.1927-28 for Timon Schroeter, farmer and long-term owner and storekeeper until his death in 1941, the store continues to be used for commercial purposes until the present day. It appears to be in good condition when viewed from the street.

The former Timon Schroeter's store at 11 Willis Street is architecturally significant at a LOCAL level (AHC D.2). It demonstrates original design qualities of an interwar commercial building. These qualities include the rectangular parapets constructed of lightweight cladding punctuated by rectangular timber ventilators, projecting hipped timber post-supported verandah, timber framed shopfront windows and doors on the Willis Street facade and the timber framed two paned double hung windows and timber door. Other intact or appropriate qualities include the galvanised sheet wall cladding (folded to reflect strapped horizontal boards), hipped roof form and galvanised corrugated sheet metal roof cladding and timber framed double hung windows to the rear attached dwelling.

The former Timon Schroeter's store at 11 Willis Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with commercial developments during the interwar period when the town continued to progress. Built in c.1927-28 for Timon Schroeter, farmer and later long-term storekeeper, the building has continued to be used for commercial purposes to the present day.

The former Timon Schroeter's store at 11 Willis Street is scientifically significant at a LOCAL level (AHC F.1). The galvanised steel external wall cladding, folded to reflect strapped horizontal boards, represents an inventive and unusual construction type for the interwar period. In Winchelsea, the former Timon Schroeter store is one of three known early 20th century buildings with this form of cladding.

Overall, the former Timon Schroeter's store at 11 Willis Street is of LOCAL significance.

13 Willis Street – Shinnars' Café and Dwelling

The Shinnars' Café and Dwelling at 13 Willis Street have significance as an intact example of a late interwar commercial building and residence, and as one of few surviving early 20th century commercial buildings in Winchelsea. Built in 1946 for William Patrick Shinnars, the design of the café building appears to have been drawn from the neighbouring Globe Theatre, with its prominent stepped parapet with gable roof behind, central entrance ingo and projecting front skillion

verandah. The Shinners' Cafe continues to operate as a store to the present day. The buildings appear to be in good condition when viewed from the street.

The Shinners' Cafe and Dwelling at 13 Willis Street is architecturally significant at a LOCAL level (AHC D.2). As one of few surviving early 20th century buildings in Winchelsea, the building complex demonstrates original design qualities for the late interwar period. These qualities include the gable roof that terminates into a hip at the rear, front stepped parapet of lightweight cladding, shopfronts with central ingo and door opening and the front post-supported projecting skillion verandah. Other intact or appropriate qualities include the single storey height, stuccoed wall finish, corrugated profile sheet metal roof cladding, hipped roof forms of the dwelling, modest eaves of the dwelling, stuccoed chimney, central door opening of the dwelling with flanking window openings, flat-roofed post-supported porch that terminates into narrow window hoods at the sides, and the porch posts supported by stuccoed piers with a squat stuccoed balustrade between. Overall, the store (former cafe) reflects the conventional interwar commercial design of a select number of commercial buildings in the Surf Coast Shire, the most notable being the adjoining Globe Theatre at 17-29 Willis Street.

Overall, the Shinners' Cafe and Dwelling at 13 Willis Street is of LOCAL significance.

17-19 Willis Street – Globe Theatre

The Globe Theatre, 17-19 Willis Street, Winchelsea, has outstanding significance for its associations with the internationally famous soprano singer, Marjorie Lawrence, and as a predominantly intact interwar cinema in Victoria that has served as the cultural and social centre of the town since 1926-27. The Theatre was built for Marjorie Lawrence and her siblings as the local picture theatre and concert hall. In 1928, Marjorie gave her farewell concert at the Globe Theatre before going to Paris to study under Madam Ceile Ghilly. In Europe in the ensuing years, Lawrence was to hold a number of dramatic leads, becoming the Paris Opera Company's leading dramatic soprano. Upon her triumphant return to Australia in 1939, she kept a promise to perform first at Winchelsea. This performance occurred on 16 June 1939 as part of a local civic reception. Apart from some representatives of the press, the 480 available seats in the Globe Theatre were occupied by residents of the Shire. Lawrence returned again in 1944 and gave another performance to a crowded and enthusiastic audience at the Globe. More common use of the theatre has included the showing of movie pictures and the hosting of weddings (including that of Marjorie's brother, Lindsay, in 1931), concerts, dances, speech nights, and horticultural shows. In 1946, the Theatre was acquired by the Winchelsea Shire and since 1990 it has been managed by the Winchelsea Lions Club. The building is a predominantly intact and early example of a rural interwar theatre and cinema, being of conventional design but constructed of unusual metal wall cladding. The interior - with its covered pressed metal ceilings, v jointed timber dados and cement sheet wall cladding, stage with original scenery back drop and front entrance foyer and sales booths - also contribute to the significance of the place. Overall, the building is in good condition.

The Globe Theatre, 17-19 Willis Street, Winchelsea, is historically and socially of STATE significance (AHC A.4, H.1, G.1). Built in 1926-27, it has direct associations with the famous international soprano, Marjorie Lawrence, original part-owner (with her siblings) who gave her farewell concert in the building in 1928 prior to studying in Paris where she became a leading and internationally renowned dramatic soprano. The Globe Theatre played host to her triumphant return in 1939, where she gave her first Australian performance amid an enthusiastic and crowded audience of locals from Winchelsea. Lawrence also gave a return performance in 1944. More locally, the Globe Theatre has associations with the showing of movie pictures throughout the 20th century and has played host to numerous weddings (including that of Marjorie Lawrence's brother, Lindsay), concerts, dances, balls, speech nights and horticultural shows. The Globe Theatre is recognised and valued by the community as an important cultural and social centre in Winchelsea, in addition to its close associations with the internationally renowned singer, Marjorie Lawrence.

The Globe Theatre, 17-19 Willis Street, Winchelsea, is architecturally significant at a LOCAL level (AHC D.2, E.1). It demonstrates original interwar era design qualities and is a landmark building in this part of Winchelsea. The original design qualities include the broad gable roof form (which

constitutes the hall), together with the slightly smaller gable that projects towards the front dominated by a bracketed, stepped parapet, and the form and location of the front verandah. Other intact or appropriate qualities include the metal and strapped cement sheet wall cladding, galvanised corrugated steel roof cladding, paired galvanised ventilation stacks, modest eaves, side timber framed four paned double hung windows with timber architraves and stylised segmentally arched timber window pediments having cement sheet infill, front four paned timber framed double hung windows, central broad entrance ingo under the front verandah with ticket booth openings in the diagonal walls and the central double door opening having a pair of three panelled timber doors, four paned timber framed casement window above the verandah, and the rear skillion porch at the side. The interior of the building also contributes to its significance, including the coved and decorative pressed metal hall ceiling, pressed metal ceiling roses and the ventilation openings in the hall ceiling, pressed metal stage and entrance foyer ceilings, v jointed timber dado and strapped cement sheet wall linings, metal ventilation openings in the walls, three panelled timber doors, raised platform and stage accessed by a series of steeply configured timber steps at the northern end, landscape scenery forming the stage set, and the narrow passage north of the stage.

The Globe Theatre, 17-19 Willis Street, Winchelsea, is scientifically significant at a LOCAL level (AHC F.1). The galvanised steel external wall cladding, folded to reflect strapped horizontal boards, represents an inventive and unusual construction type for the interwar period. In Winchelsea, the Globe Theatre is one of three known early 20th century buildings with this form of cladding.

Overall, the Globe Theatre, 17-19 Willis Street, Winchelsea, is of STATE significance.

20 Willis Street – Winchelsea Hotel

The Winchelsea Hotel, 20 Willis Street, Winchelsea, has significance as one of the longest-serving commercial buildings in Winchelsea and continues to serve its original hotel purpose, a function that spans over 140 years. Originally built in late 1864 for owner and hotel keeper, Timothy Hardyman, the hotel has continued to serve the local Winchelsea community throughout the 19th and 20th centuries. While the Winchelsea Hotel has been substantially altered and extended since its original construction in 1864, the changes to the building in the 1920s and in 1940 are clearly discernible and express the evolution of the place over time. These changes in themselves contribute to the historic and social significance of the place. The hotel is associated with the evolution of Winchelsea's commercial development since the 1860s when the town was a growing stopping post on the route between Geelong and the Western District. Since that time, it has been a local landmark, recognised for cultural and social reasons. While the building is not highly intact to any particular style or era (ie. 19th century era or interwar era) and therefore not considered to be of architectural significance, the historic and social significance of the place is embodied in the surviving fabric representing the important developmental eras. The building appears to be in good condition.

The Winchelsea Hotel is historically significant at a LOCAL level (AHC Criterion A.4). It is associated with early commercial developments in Winchelsea in the mid 19th century. In particular, the original Winchelsea Hotel and Store was built in late 1864 for Timothy Hardyman, the site also including a garden by 1865. The hotel has experienced substantial change throughout the 20th century. These changes are reflected in the physical fabric and provide an appreciation of the historical evolution of the place. The hotel forms a local heritage landmark as one of the longest-serving 19th century commercial buildings in the town. Between c.1916 and 1920, a rear hipped roof outbuilding was constructed. In the late 1920s, the front facade, central and rear portions of the building were largely destroyed by fire and the hotel was rebuilt to an interwar design. A further change in 1940 witnessed the construction of face brick facades and new porches on the Willis and Austin Street exteriors. The exterior was altered and dominated by a post-supported return verandah from 2005. The second of only two hotels in Winchelsea, the historical development of the Winchelsea Hotel reflects the changing needs of the local community over the past 145 years. It has associations with numerous owners and occupiers during this period.

The Winchelsea Hotel is socially significant at a LOCAL level (AHC Criterion G.1). It is recognised and valued by sections of the local community for cultural and recreational reasons as an important meeting place.

The Winchelsea Hotel has architectural interest. Greatly altered from its original 1864 design, the broad hipped roof form of the original building survives today. The hotel has architectural interest for its layering of architectural fabric that reflect changes brought about by the fire of the late 1920s and changing needs and aspirations of the owners. The interwar alterations and additions are largely discernible today in the overall roof forms of the building, while the brick construction and some detailing are representative of the changes made in 1940. At the rear, the hipped roof outbuilding reflects an addition of c.1916-20, while the gabled amenities wing at the rear of the side (Austin Street) porch represents an addition of the 1920s. There are more intact 19th century commercial buildings in Winchelsea, including the former Murrell's General Store in Willis Street and the former Colonial Bank of Australasia at 33 Main Street, together with a more intact public interwar building in The Globe Theatre in Willis Street. However, the changes to the building fabric of the Winchelsea Hotel provide an understanding of its historical evolution.

Overall, the Winchelsea Hotel at 20 Willis Street, Winchelsea, has LOCAL significance.

22 Willis Street – Murrell's Store

Murrell's Store at 22 Willis Street, has significance as one of the earliest and longest-serving 19th century commercial buildings in Winchelsea still continuing its original function. It was built in c.1864 for Findon Murrell, long term owner and storekeeper until the early 20th century. The original facade was remodelled in the very early 20th century, including the removal of the bluestone parapet (replaced with a stepped lightweight parapet) and the construction of projecting rectangular timber framed shopfronts. These alterations and additions contribute to the significance of the place, reflecting its evolution as a commercial building. Murrell's store also has associations with Louis Levey throughout the first half of the 20th century. The building has significance as one of only two surviving Victorian styled commercial buildings in Winchelsea. It appears to be in good condition when viewed from the street.

Murrell's Store at 22 Willis Street is architecturally significant at a LOCAL level (AHC D.2). Although altered since it was originally built in c.1864, the very early 20th century alterations and additions contribute to its significance, as a legacy of its evolution and development as one of Winchelsea's longest-serving commercial buildings. The building demonstrates original and early design qualities of a Victorian style, with early 20th century additions. These qualities include the double hipped (M) roof form, rear gabled wing, timber framed projecting shopfront displays under the verandah, round-arched front window and door openings with quoined surrounds, multi-paned timber framed front windows, and the timber framed and panelled timber doors (with glazing in the upper panels) at the front. Other intact or appropriate qualities include the red brick chimney, unpainted bluestone wall construction, corrugated sheet metal profile roof cladding, and the single storey height.

Murrell's Store at 22 Willis Street is historically significant at a LOCAL level (AHC A.4, H.1). It is associated with the earliest commercial developments in Winchelsea in the early 1860s, when the fledgling town was beginning to develop. Built in c.1864, it has long-term associations with Findon Murrell, original owner and storekeeper until the early 20th century. Murrell served as a Winchelsea Shire Councillor (including two terms as President) in the 1880s. The store also has associations with another long-term owner and storekeeper, Louis Levey, from 1905-06 until his death in 1952. The historical significance is embodied in the existing physical fabric as one of Winchelsea's longest functioning commercial buildings.

Overall, Murrell's Store at 22 Willis Street is of LOCAL significance.

37 Willis Street – Meningoort (former hospital)

Meningoort at 37 Willis Street, Winchelsea, has significance for its associations as a private hospital operated by Sarah "Annie" Stephenson from the 1920s, and as a substantially intact example of a Late Victorian Picturesque style. Built in 1890-91, it was not until 1918 when George and Annie

Stephenson occupied the property, acquiring it by 1919-20. Trained by the local doctor and surgeon, Dr Arthur Eddie (resident medical practitioner in Winchelsea from 1888 until 1930), Annie Stephenson contributed much to community life in Winchelsea through her treatment of numerous patients at Meningoort throughout the interwar period, including maternity patients and those suffering various illnesses such as broken bones and pneumonia. Meningoort has been restored in recent times and appears to be in good condition when viewed from the street. It represents one of the most intact 19th century Victorian styled timber dwellings in Winchelsea.

Meningoort at 37 Willis Street is architecturally significant at a LOCAL level (AHC D.2, E.1). Representing one of the most intact 19th century timber dwellings in Winchelsea, Meningoort demonstrates original design qualities of a Late Victorian Picturesque style. These qualities include the central gabled roof form that traverses the site, together with flanking gabled wings that project at the front and rear and the bullnosed front verandah. Other intact or appropriate qualities include the symmetrical composition, single storey height, timber weatherboard wall cladding, corrugated sheet metal roof cladding, narrow eaves, face brick chimneys, round fluted cast iron verandah columns with decorative capitals, elaborate cast iron verandah valances and brackets, central timber framed front doorway with four panelled timber door and transom above, timber framed double hung windows, and the bracketed timber window hoods.

Meningoort at 37 Willis Street is historically significant at a LOCAL level (AHC A.4, H.1). It has particular associations with Sarah 'Annie' Stephenson who contributed much to local community life as Winchelsea's local nurse who treated numerous patients at her Meningoort hospital during the interwar period. Trained by the local surgeon, Dr Arthur Eddie, Annie Stephenson's hospital was the location of many births as well as the treatments of many illnesses including broken bones and pneumonia. George and Annie Stephenson had occupied Meningoort in 1918 and acquired the property in 1919-20. The dwelling had been built in 1890-91.

Overall, Meningoort at 37 Willis Street is of LOCAL significance.

5 Strategy and Effectiveness

5.1 Draft Budget 2022-23 for Public Exhibition

Author's Title:	Manager Finance
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Finance
Division:	Strategy and Effectiveness
Attachments:	Nil

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to present to Council the Draft Budget 2022-23 as prepared for public exhibition.

Outcome Statement

Adoption of the Draft Budget 2022-23 for exhibition is in line with Council's community engagement policy giving stakeholders the opportunity to provide feedback via a submission. Submitters also have the opportunity to present to Council at a Special Council Meeting for Hearing of Submissions.

Key beneficiaries are residents, ratepayers, visitors and business owners of the Surf Coast Shire Council.

Key benefits	Key risks
The budget enables fulfilment of the Council Plan strategies and provides the financial resources for delivery of Council's services.	Inflation is a risk associated with the implementation of the budget during 2022-23. Robust review of monthly reporting and the wider economy will identify issues early and allow for mitigating action to be taken. In addition, monitoring of global market conditions on capital cost escalations and further 'front end' project management including project costing review will be undertaken.
Compliance with the <i>Local Government Act 2021</i> .	

Key benefits	Key risks
Compliance with Council's Community Engagement Policy.	

Finance and Resource Implications

The Draft Budget 2022-23 includes the following statutory four-year statements: Comprehensive Income Statement; Balance Sheet, Statement of Changes in Equity, Statement of Cash Flows, Statement of Capital Works and Statement of Human Resources as well as notes to the statements. In addition to the statutory statements a financial plan showing ten years has been included as an appendix.

Community Engagement

The Draft Budget 2022-23 has been informed by the Council Plan (including Health and Wellbeing Plan) and the Financial Plan 2021-2031 which were adopted in September 2021 following significant community engagement and input from a community representative panel. This report recommends the Draft Budget Report 2022-23 be put out for public exhibition on 27 April inviting public submissions closing 10 am on 24 May. Information about the Draft Budget Report 2022-23 and engagement process will be advertised in local newspapers and on Council's social media platforms.

Recommendation

That Council:

1. Endorses Draft Budget 2022-23 as tabled as the proposed budget prepared by Council for the purposes of Section 94(1) of the *Local Government Act 2020*.
2. Authorises the Chief Executive Officer to give public notice of the preparation of the proposed budget and invite submissions on the proposed budget.
3. Ensures access to the proposed budget is available in electronic format via Council's website and in hardcopy at the Council Office for the exhibition period 27 April to 24 May.
4. Notes that a Special Council Meeting for Hearing Submissions will be held on Monday 30 May 2021 at 6:00pm if required.
5. Considers all submissions on the proposed budget.
6. Considers the adoption of the budget and the declaration and levy of rates and charges for the 2022-23 financial year at the Council Meeting to be held on Tuesday 28 June 2022.

Council Resolution

Moved Cr Pattison, Seconded Cr Hodge

That Council:

1. Endorses Draft Budget 2022-23 as tabled as the proposed budget prepared by Council for the purposes of Section 94(1) of the *Local Government Act 2020*.
2. Authorises the Chief Executive Officer to give public notice of the preparation of the proposed budget and invite submissions on the proposed budget.
3. Ensures access to the proposed budget is available in electronic format via Council's website and in hardcopy at the Council Office for the exhibition period 27 April to 24 May.
4. Notes that a Special Council Meeting for Hearing Submissions will be held on Monday 30 May 2021 at 6:00pm if required.
5. Considers all submissions on the proposed budget.
6. Considers the adoption of the budget and the declaration and levy of rates and charges for the 2022-23 financial year at the Council Meeting to be held on Tuesday 28 June 2022.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – Do Not Exhibit Draft Budget

This option is not recommended by officers as it may lead to Council contravening the Local Government Act.

Report

Background

Process of development of the budget to date:

1. Budget Briefing #1 Budget process discussion November 2021.
2. Officers prepare preliminary operating and capital budgets December 2021 – February 2022.
3. Budget Briefing #2 Budget Ten Year Model, Fees & Charges and Capital Program March 2022.

4. Budget Briefing #3 - New recurrent and project proposal prioritisation March 2022.
5. Officers prepare Draft Budget Report 2022-23.
6. Draft Budget Report 2022-23 document provided to Councillor for review March 2022
7. Budget Briefing #4 Draft budget document report discussion April 2022.

Discussion

Section 94 of the Local Government Act 2020 requires that:

- (1) A Council must prepare and adopt a budget for each financial year and the subsequent three financial years by—
 - (a) 30 June each year; or
 - (b) any other date fixed by the Minister by notice published in the Government Gazette.
- (2) A Council must ensure that the budget gives effect to the Council Plan and contains the following—
 - (a) financial statements in the form and containing the information required by the regulations;
 - (b) a general description of the services and initiatives to be funded in the budget;
 - (c) major initiatives identified by the Council as priorities in the Council Plan, to be undertaken during each financial year;
 - (d) for services to be funded in the budget, the prescribed indicators and measures of service performance that are required to be reported against by this Act;
 - (e) the total amount that the Council intends to raise by rates and charges;
 - (f) a statement as to whether the rates will be raised by the application of a uniform rate or a differential rate;
 - (g) a description of any fixed component of the rates, if applicable;
 - (h) if the Council proposes to declare a uniform rate, the matters specified in section 160 of the Local Government Act 1989;
 - (i) if the Council proposes to declare a differential rate for any land, the matters specified in section 161(2) of the Local Government Act 1989;
 - (j) any other information prescribed by the regulations.

The Draft Budget 2022-23 complies with the requirements listed above.

Financial and Resource Impact Analysis

The Budget document is a four-year plan that outlines the financial and non-financial resources that Council requires to achieve the strategic objectives described in the Council Plan. It also includes a ten-year plan which outlines our recurrent expenditure, allocations to our commitments, discretionary allocations and the balance in the accumulated unallocated cash reserve for each ten years. The plan shows a modest improvement from our 2021-2031 Financial Plan with increased

non-committed allocations over the life of the plan whilst also maintaining our accumulated unallocated cash reserve balance over \$250k over the life of the plan.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 18 - Establish a sustainable financial position.

The Draft Budget 2022-23 has been developed with financial prudence and attention to the long-term financial challenge of balancing the budget and prioritising funding of projects and services. Section 2 of the document describes the services and initiatives to be funded in the budget and section 3.9 lists the planned capital works.

Council has made modest improvements to its financial position compared to the 2021-2031 Financial Plan over the ten-year horizon with additional non-committed allocations whilst retaining a minimum of \$250 thousand in the Accumulated Unallocated Cash Reserve each year.

Relevant Legislation, Policy, Strategies and Plans

The Draft 2022-23 Budget has been prepared in accordance with the *Local Government Act 2020*, the *Local Government (Planning and Reporting) Regulations 2020*, and in line with industry best practice guidance issued by the state government. The Draft Budget Report 2022-23 has been informed by the Council Plan (including Health and Wellbeing Plan) and the Financial Plan 2021-2031 which were adopted in September 2021 following significant community engagement and input from a community representative panel.

Previous Councillor and Audit and Risk Committee Consultation

This item is not within the scope of matters considered by the Audit and Risk Committee.

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 9 November 2021

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>Y</i>	<i>Cr Adrian Schonfelder</i>	<i>Y</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>Y</i>		

Councillor Briefing Date: 2 March 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>N</i>
<i>Cr Paul Barker</i>	<i>Y</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>Y</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>Y</i>		

Councillor Briefing Date: 9 March 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>N</i>
<i>Cr Paul Barker</i>	<i>Y</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>Y</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>Y</i>		

Councillor Briefing Date: 12 April 2022 (post preparation of Agenda)

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>		<i>Cr Liz Pattison</i>	
<i>Cr Paul Barker</i>		<i>Cr Adrian Schonfelder</i>	
<i>Cr Mike Bodsworth</i>		<i>Cr Libby Stapleton</i>	
<i>Cr Kate Gazzard</i>		<i>Cr Heather Wellington</i>	
<i>Cr Rose Hodge</i>			

6 Community Life

6.1	SCS-015 Control of Noise from Recreation Reserves Policy Review
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Authors Title:	Coordinator Recreation Planning
General Manager:	Damian Waight, Acting General Manager
Department:	Community Projects and Partnerships
Division:	Community Life
Attachments:	<ol style="list-style-type: none">1. SC S-015 Control of Noise from Council Facilities Policy - Reviewed [6.1.1 - 3 pages]2. SC S-015 Control of Noise from Recreation Reserves Policy - Adopted 27 11 2018 [6.1.2 - 2 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

Council's Control of Noise from Recreation Reserves Policy (SCS-015) was created in 2011. The policy review has been completed after the Environment Protection Authority (EPA) Victoria's review of statutory policies and guidelines relating to the management of noise in Victoria was completed in July 2021.

The Policy's intent is to protect neighbouring residents living near Council reserves and facilities from high levels of noise. The existing policy has applied to Council owned and/or managed recreation reserves only, however following this review, Officers recommend that the policy apply to all Council owned and/or managed facilities to ensure consistent policy application, not exclusive to recreation reserve, and be renamed to SCS-015 Control of Noise from Council Facilities Policy.

The policy does not apply to land that Council does not own and/or manage (i.e., managed by other agencies such as Great Ocean Road Coast and Parks Authority or Parks Victoria), in this instance each individual land manager is responsible for abiding by the relevant legislation.

A review of the existing Policy has been undertaken by Council's Environmental Health, Events, Facility Operations, Integrated Planning and Community Projects and Partnerships teams. Minor changes are recommended relating to permitted

hours of operation in line with *The Environment Protection Act 2017*, Noise Protocol and the General Environment Duty (GED) that came into effect from 1 July 2021. The centerpiece of the new Act is the General Environment Duty (GED). The GED requires everyone to eliminate or minimise impacts to human health and the environment, as far as reasonably practicable. The GED changes the focus of noise compliance and enforcement. Under the GED and the Environment Protection Act 2017 (the Act) any source of noise can be unreasonable.

Therefore, Council Officers have reviewed and updated Council’s Noise from Council Facilities Policy to reflect the changes in legislation and the new GED. Officers are recommending the policy includes times when noise is prohibited from Council facilities in line with the GED. The changes to the policy are to ensure the Council meets its obligations under the GED and ensures amenity is maintained surrounding Council facilities.

The previously adopted policy included prohibited times specific to music and event noise. The reviewed policy recommended for adoption now covers a greater range of noise sources.

Outcome Statement

The Noise Policy is for the protection of neighbouring residents living adjacent to Council facilities to minimise impacts to human health caused by noise.

Key benefits	Key risks
Protection of neighbouring residents' health and wellbeing	Reputational risk – Council not allowing certain activities / events in their facilities
Compliance with The Environment Protection Act 2017, Noise Protocol and the General Environment Duty (GED) that came into effect from 1 July 2021	Council officers have a limited role in enforcement and rely on police to respond to noise issues from Council facilities.

Finance and Resource Implications

There are no finance and resource implications arising from this report.

Community Engagement

The Policy changes have been informed by the changes to the Environment Protection Act and no community engagement was undertaken to review the Policy.

Recommendation

That Council:

1. Notes that SCS-015 Control of Noise from Recreation Reserves Policy has been reviewed considering changes to the Environment Protection Regulations 2021;
2. Revokes the existing SCS-015 Control of Noise from Recreation Reserves Policy as attached at Appendix 2; and
3. Adopts SCS-015 Control of Noise from Council Facilities Policy as attached at Appendix 1.

Council Resolution

Moved Cr Gazzard, Seconded Cr Hodge

That Council:

1. Notes that SCS-015 Control of Noise from Recreation Reserves Policy has been reviewed considering changes to the Environment Protection Regulations 2021;
2. Revokes the existing SCS-015 Control of Noise from Recreation Reserves Policy as attached at Appendix 2; and
3. Adopts SCS-015 Control of Noise from Council Facilities Policy as attached at Appendix 1.

CARRIED 6|1

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton	Cr Wellington	Nil

Alternative Options

Option 1 – Renews the existing SCS-015 Control of Noise from Recreation Reserves Policy

This option is not recommended by Officers as the new revised policy aligns with the updated *Environment Protection Regulations 2021* encompasses all Council facilities and is designed to protect neighbouring residents from high levels of noise.

Option 2 – Do not adopt the new SCS-015 Control of Noise from Council Facilities Policy as attached at Appendix 1

This option is not recommended by Officers as Council will not be abiding by the *Environment Protection Regulations 2021* and this would not protect neighbouring residents living adjacent to Council facilities from noisy activities.

Report

Background

Council's Control of Noise from Recreation Reserves Policy (SCS-015) was created in 2011 and was due for review in November 2020. The policy review has been completed after the Environment Protection Authority Victoria's (EPA) review of statutory policies and guidelines relating to the management of noise in Victoria was completed in July 2021.

The Policy intent is to protect neighbouring residents living adjacent to Council reserves and facilities from noise. The existing policy applies to Council owned and/or managed recreation reserves only, however following a review, Officers recommend that the policy apply to all Council owned and/or managed facilities to ensure consistent policy application not exclusive to recreation reserves and be renamed to SCS-015 Control of Noise from Council Facilities Policy.

There have been very few complaints recorded relating to the control of noise from Council facilities in recent years since the implementation of the policy in 2011, which is an indication users of Council facilities act respectfully and have abided by the Policy.

Discussion

The Environment protection laws have changed. The centerpiece of the new Act is the General Environment Duty (GED). The GED requires everyone to eliminate or minimise impacts to human health and the environment, as far as reasonably practicable. The GED changes the focus of noise compliance and enforcement. Under the GED and the Environment Protection Act 2017 (the Act) any source of noise can be unreasonable. Therefore, Council has reviewed and updated the Noise Policy to reflect the changes in legislation and the new GED.

A review of the existing SCS-015 Control of Noise from Recreation Reserves Policy has been undertaken by Council's Environmental Health, Events, Facility Operations and Social Infrastructure Planning teams with minor changes recommended. The main changes are the previous policy only adopted prohibited times for music and event noise, the revised policy includes prohibited times for all types of noise.

Officers recommend implementing prohibited times for noise from Council facilities in line with the GED (see table below). The changes to the policy are to ensure the Council meets its obligations under the GED, amenities are maintained surrounding Council facilities and are aligned with the Act. The existing policy refers to noise as "music noise and amplified sound" whereas the revised policy includes a broader definition of noise per the below table.

Group	Prescribed items	Prohibited times
1	<ul style="list-style-type: none"> Motor vehicles (but not when entering or leaving a site) Vessel or personal watercraft Lawnmowers or other grass cutting devices Any equipment with an internal combustion engine not in Group 2 	Monday to Friday before 7am and after 8pm Weekends and public holidays before 9am or after 8pm
2	<ul style="list-style-type: none"> Electric power tools, chainsaws or circular saws Gas or air compressors Pneumatic power tools, hammers or other impacting tools or grinding equipment 	Monday to Friday before 7am or after 8pm Weekends and public holidays before 9am or after 8pm
3	<ul style="list-style-type: none"> Heating equipment (including central heating, a hot water system or a heat pump, air conditioner or split heating system) Swimming pool, spa or water pumps except when used to fill a header tank. Vacuum cleaners 	Monday to Friday before 7am or after 10pm Weekends and public holidays before 9am or after 10pm
4	<ul style="list-style-type: none"> An air conditioner, evaporative cooler or split system used for cooling* 	Monday to Friday before 7am or after 11pm Weekends and public holidays before 9am or after 11pm
5	<ul style="list-style-type: none"> Musical instruments Electric audio goods, including stereos, radios, TV's and public address systems 	Monday to Thursday before 7am or after 10pm Friday before 7am or after 11am Saturday and public holidays before 9am or after 11pm Sunday before 9am or after 10pm
6	<ul style="list-style-type: none"> Electrical goods not in group 2,3,4 or 5, other than an item for personal care or grooming or for food heating, cooling or preparation 	Monday to Friday before 7am or after 8pm Weekends and public holidays before 9am or after 8pm

Council has a duty under the GED to eliminate or minimise impacts on human health and the environment, as far as reasonably practicable.

Outcome Analysis

The benefits of the revised policy ensures Council meets its obligations under the new Environment Protection Regulations and helps protect the health and wellbeing of residents neighbouring Council facilities.

Financial and Resource Impact Analysis

Nil

Council Plan Assessment

Theme Two - Healthy Connected Community

Strategy 3 - Facilitate the provision of social infrastructure and open space to enable healthy lifestyles.

Strategy 6 - Enable communities to strengthen their social connections and participate in community life.

Relevant Legislation, Policy, Strategies and Plans

Section 9 (2)(a) of the LGA 2020 states that Council decisions are to be made and actions taken in accordance with the relevant law.

This policy has been drafted in accordance with the *Environment Protection Act 2017*, *Environment Protection Regulations 2021* and *Noise Protocol and GED* and has been updated in accordance with all relevant legislative changes.

Previous Councillor and Audit and Risk Committee Consultation

This item is not within the scope of matters considered by the Audit and Risk Committee.

This item was presented at a Councillor briefing held in October 2021 for noting only and re-presented at a subsequent Councillor briefing held on 5 April 2022 for noting only.



SCS-015 Control of Noise from Council Facilities

TRIM Reference: D21/137250 Due for Review: November 2023
Responsible Officer: Manager Community Strengthening

Purpose

This policy provides direction on the control of noise at facilities that are owned or managed by Council.

Policy Principles

The *Environment Protection Act 2017* (the Act) has the General Environment Duty (GED) at its centre which requires all Victorians to eliminate or minimise impacts to human health and the environment, as far as reasonably practicable. Therefore to ensure Council are meeting the obligations set out in the GED, this policy outlines the requirements for all users of Council facilities to manage noise.

Scope

This policy will apply to all Employees, Community Asset Committees, User Groups and Sports Clubs who hire out a Council facility including but not limited to public halls and social rooms.

Policy

Noise from a Council facility must comply with the EPA Publication: Noise Protocol "1826.4: Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues". This protocol determines the allowable noise limits for the day, evening and night periods, which must be observed.

This is a useful tool if Council were to receive a complaint, however due to the varying noise sources likely to be emitted from Council facilities and without an environmental noise assessment being completed, these noise limits are unknown. Therefore to ensure that Council meets the obligations under the GED and minimises the impacts to human health and the environment, as far as reasonably practicable, the prescribed items and prohibited times for noise as set out in the Environment Protection Regulations 2021 (the Regulations) have been adopted into this policy.

Prohibited times for noise

Group	Prescribed items	Prohibited times
1	<ul style="list-style-type: none">Motor vehicles (but not when entering or leaving a site)Vessel or personal watercraftLawnmowers or other grass cutting devicesAny equipment with an internal combustion engine not in Group 2	Monday to Friday before 7am and after 8pm Weekends and public holidays before 9am or after 8pm
2	<ul style="list-style-type: none">Electric power tools, chainsaws or circular sawsGas or air compressorsPneumatic power tools, hammers or other impacting tools or grinding equipment	Monday to Friday before 7am or after 8pm Weekends and public holidays before 9am or after 8pm



We exist to help our community and environment to thrive

COUNCIL POLICY

Group	Prescribed items	Prohibited times
3	<ul style="list-style-type: none"> Heating equipment (including central heating, a hot water system or a heat pump, air conditioner or split heating system) Swimming pool, spa or water pumps except when used to fill a header tank. Vacuum cleaners 	Monday to Friday before 7am or after 10pm Weekends and public holidays before 9am or after 10pm
4	<ul style="list-style-type: none"> An air conditioner, evaporative cooler or split system used for cooling* 	Monday to Friday before 7am or after 11pm Weekends and public holidays before 9am or after 11pm
5	<ul style="list-style-type: none"> Musical instruments Electric audio goods, including stereos, radios, TV's and public address systems 	Monday to Thursday before 7am or after 10pm Friday before 7am or after 11pm Saturday and public holidays before 9am or after 11pm Sunday before 9am or after 10pm
6	<ul style="list-style-type: none"> Electrical goods not in group 2,3,4 or 5 other than an item for personal care or grooming or for food heating, cooling or preparation 	Monday to Friday before 7am or after 8pm Weekends and public holidays before 9am or after 8pm

*Prohibited times do not apply to noise from an air conditioner used for cooling during a heat health alert.

Noise from prescribed items can be unreasonable outside of the prohibited times, under the definition of unreasonable noise. Unreasonable noise also applies to noise types not listed in the Regulations, such as ongoing and frequent noise sources.

All activities are to be ceased (including the cleaning up and closing down) prior to the prohibited times.

Council may allow later operations where it is satisfied that noise from the facility will be inaudible within all noise sensitive areas or is of special social significance. Applications to allow later operations must be submitted in writing and the applicant must notify residents living within a 200 metre radius of the location where the activity or event will occur.

The Act, Regulations, Planning Permits, Noise Protocol and the Liquor Licence will always take precedence over this policy.

Music noise from outdoor entertainment venues and events

There are certain requirements for outdoor entertainment venues and events which are stipulated by the EPA, including possible requirement for a permit. Please visit the EPA website for further details: [Outdoor music noise and event permits](#).

Local Government Act 2020 Principles

Principles	Applicable to policy	If yes, provide details
Governance Principles (Consideration of the Governance Principles under s.9 of LGA 2020)	No	
Community Engagement (Consideration of Community Engagement Principles under s.56 LGA 2020)	No	No. All changes to the Policy are directly in line with legislative changes.
Public Transparency (Consideration of Public Transparency Principles under s.58 of LGA 2020)	Yes	All facility hirers will be informed of the newly adopted Policy.



We exist to help our community and environment to thrive

COUNCIL POLICY

Strategies and Plans (Consideration of Strategic Planning Principles under s.89 of LGA 2020)	Yes	Council Plan 2021-2025 – Strategy 3 & 6
Financial Management (Consideration of Financial Management Principles under s.101 of LGA 2020)	No	
Service Performance (Consideration of Service Performance Principles under s.106 of LGA 2020)	No	

Definitions

Liquor Licence = A licence issued under the *Liquor Control Reform Act 1998*.

Outdoor entertainment event = An event where music is played and is held on public land including a road reservation, public open space, park, foreshore reserve or land of a similar nature, including an event held on such land in a temporary building or structure, such as a marquee, tent or temporary soundstage, not being a permanent fixture of the land and erected for the purposes of the event.

Outdoor entertainment venue = any premises (other than residential premises) where music is played in the open air and which cannot feasibly be totally enclosed and sound-proofed because of its size. Examples - Sports and other large outdoor arenas and major sports and recreation facilities having substantial provision for spectators, including privately owned land used as an outdoor entertainment venue.

Unreasonable noise = is unreasonable having regard to the following - (i) its volume, intensity or duration (ii) its character; (iii) the time, place and other circumstances in which it is emitted (iv) how often it is emitted; (v) any prescribed factors or (b) is prescribed to be unreasonable noise." Noise can be annoying or disturbing. If the noise continues or is too loud, it can impact on your health and wellbeing.

Transport noise = from individual vehicles, road traffic, trams and trains can disturb sleep and have other health impacts. Laws restrict noise levels from individual vehicles. State Government policies set noise standards for the design of new road and rail transport infrastructure.

Construction noise = comes from activities such as demolition, site preparation and building. Work practices and normal working hours control construction noise. Major infrastructure noise can come from large building projects such as freeways, tunnels and rail lines.

Music noise = from both indoor and outdoor venues and outdoor entertainment events must comply with noise limits. Venue operators and event managers must take reasonable steps to manage their activities to minimise the risk of harm from noise. There are also rules restricting the operating hours and number of outdoor concerts held in a year.

Commercial, industrial and trade noise = businesses must minimise the risk of harm to human health and the environment as a result of noise from their premises and comply with noise limits. Businesses must make sure that any noise from their activities or premises doesn't unreasonably impact the local community.

Related Procedure

Complaints Handling Policy SCS-032 and Complaints Handling Procedure

References

Community Asset Committee Delegations.

Document History

Version	Document History	Approved by – Date
1	<i>Amended</i>	<i>Council Resolution – 27 November 2018</i>
2	Review - 2021	

COUNCIL POLICY



Control of Noise from Recreation Reserves	Document No:	SCS - 015
	Approval Date:	27 November 2018
	Approved By:	Council
	Review Date:	26 November 2020
	TRIM Reference	D18/148856
Responsible Officer:	Manager Recreation and Open Space Planning	
Authorising Officer:	Chief Executive Officer	

1. Purpose

This policy is to provide direction on the control of noisy activities taking place on recreation reserves that are owned or managed by Council.

2. Scope

This policy will assist with compliance of the State Environment Protection Policy No. N2 – Control of Music Noise from Public Premises (the “SEPP-N2”) and to ensure protection of the residents living adjacent to Council owned and managed recreation reserves from high levels of noise.

3. Application

This policy will apply to all employees, Section 86 Committees of Managements and sports clubs who hire out all or part of recreation reserves including public halls and social rooms. It will also apply to the use of social rooms by clubs.

4. Definitions

Liquor Licence = A licence issued under the *Liquor Control Reform Act 1998*

5. Policy

The use of musical instruments and any electrical amplified sound reproducing equipment including a stereogram, radio, television and public address systems are not permitted on recreation reserves during these times:

Outdoor Venues.

Monday to Thursday	before 7am and after 10pm
Friday	before 7am and after 11pm
Saturday and Public Holidays	before 9am and after 11pm
Sunday	before 9am and after 10pm
New Year's Eve	before 9am and after 1am on the next morning (New Year's Day)

Indoor Venues.

Monday to Thursday	before 7am and after 11pm
Friday	before 7am and after 12 midnight
Saturday and Public Holidays	before 9am and after 12 midnight
Sunday	before 9am and after 11pm
New Year's Eve	before 9am and after 1am on the next morning (New Year's Day)

All non-emergency mechanical equipment other than that used for refrigeration, air conditioning and heating are not permitted to operate during these times.

All activity including cleaning up and closing down at outdoor and indoor venues is to cease within one hour of the times listed in the above tables.

COUNCIL POLICY



Council may allow later operations where it is satisfied that music from the premises will be inaudible within all noise sensitive areas or is of special social significance. Applications to allow later operations must be submitted in writing and the applicant must notify residents living within a 200 metre radius of the location where the activity or event will occur.

If there is inconsistency between SEPP-N2, any relevant Liquor Licence issued for the premises or activity and this Policy, SEPP-N2 and the Liquor Licence takes precedence.

A liquor licence will generally state the allowed times that liquor can be served and a statement about compliance with SEPP N2 and not causing amenity issues in the area.

6. Records

Records shall be retained for at least the period shown below.

Record	Retention/Disposal Responsibility	Retention Period	Location
D18/148856	07/01-13.1.1	Permanent	HPE Content Manager

7. Attachments

Not applicable

8. References

S.86 Committee Delegations

6.2	Community Asset Committee Changes to Membership - Deans Marsh Hall, Connewarre Reserve, Globe Theatre and Stribling Reserve
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Author's Title:	Recreation Planning Officer
General Manager:	Damian Waight, Acting General Manager
Department:	Community Projects and Partnerships
Division:	Community Life
Attachments:	Nil

Officer Conflict of Interest: No Officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contain no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to accept resignations from and consider appointments to Community Asset Committees.

Outcome Statement

The proposed outcome from this report is:

- To appoint three new members to the Deans Marsh Community Hall and Memorial Reserve Community Asset Committee (CAC) following the recent resignation of two members in late 2021.
- To appoint one new member to the Stribling Reserve CAC following the resignation of one member in July 2021.
- To accept the resignations of Kathy Scanlon (Connewarre CAC), Gen Picot (Deans Marsh CAC) and Jarmal Richard (Globe Theatre CAC).

Key benefits	Key risks
Volunteers participate and contribute to community life	Despite promotion, there is a risk that some people may not have known of the opportunity to join the committees.
Council facilities are managed and developed by the community that uses them.	Some people may not be able to fulfil volunteer roles depending on other time commitments and interests.
Participation on these committees builds connections and skills for community members.	

Finance and Resource Implications

There are no finance and resource implications arising from this report.

Community Engagement

Community Asset Committees enable the community to engage and participate in the management of important facilities. The capacity of these committees is enhanced by having a broad range of members who work together in a cohesive manner.

The membership of these committees is usually drawn from the local community.

Each proposed appointment of new committee members has included engagement with each of the Committees to help deliver a mutually beneficial outcome.

Recommendation

That Council:

1. Accepts the resignation of Gen Picot from the Deans Marsh Community Hall and Memorial Reserve Community Asset Committee.
2. Appoints Kristy Stewart, Richard Di Natale and James Maund to the Deans Marsh Community Hall and Memorial Reserve Community Asset Committee.
3. Appoints Clive Goldsworthy to the Stribling Reserve Community Asset Committee.
4. Accepts the resignation of Kathy Scanlon from the Connewarre Reserve Community Asset Committee.
5. Accepts the resignation of Jarmal Richard from the Globe Theatre Community Asset Committee.
6. Acknowledges and thanks the departing committee members noting that the Mayor has written letters to Gen Picot, Kathy Scanlon and Jarmal Richard thanking them for their service to the local community.

Council Resolution

Moved Cr Hodge, Seconded Cr Schonfelder

That Council:

1. Accepts the resignation of Gen Picot from the Deans Marsh Community Hall and Memorial Reserve Community Asset Committee.
2. Appoints Kristy Stewart, Richard Di Natale and James Maund to the Deans Marsh Community Hall and Memorial Reserve Community Asset Committee.
3. Appoints Clive Goldsworthy to the Stribling Reserve Community Asset Committee.
4. Accepts the resignation of Kathy Scanlon from the Connewarre Reserve Community Asset Committee.
5. Accepts the resignation of Jarmal Richard from the Globe Theatre Community Asset Committee.
6. Acknowledges and thanks the departing committee members noting that the Mayor has written letters to Gen Picot, Kathy Scanlon and Jarmal Richard thanking them for their service to the local community.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton Cr Wellington	Nil	Nil

Alternative Options

Alternative Option 1 – Do not appoint Kristy Stewart, Richard Di Natale and James Maund to the Deans Marsh Community Hall and Memorial Reserve CAC.

Do not appoint Clive Goldsworthy to the Stribling Reserve CAC.

This option is not recommended by officers as it does not appoint new members to the respective committees and can deter the interested parties from being involved in a community committee.

Alternative Option 2 – Look to appoint different members to the respective committees.

This option is not recommended by officers as the members proposed have expressed an interest to join the committees and the respective committees have endorsed their appointment.

Report

Background

The membership of Council's eight Community Asset Committees (CAC's) were established by Council resolution at the 25 August 2020 meeting in accordance with s47(1) of the Local Government Act 2020. The eight CAC's replaced the Section 86 Committees of Management that were in place under the previous legislation. The remit of CACs and Section 86 Committees is almost identical.

On 31 August 2020, the Surf Coast Shire CEO formally declared the delegations for each member of the eight CAC's. These delegations are outlined the Act and are described in each CAC's Instrument of Delegation and came into effect on 1 September 2020.

Since that time, all eight CACs including the Deans Marsh Community Hall and Memorial Reserve and Stribling Reserve CACs have continued to contribute to their community by managing each community facility.

Discussion

The Deans Marsh Community Hall and Memorial Reserve CAC received a resignation from Michael Atkinson in October 2021, and a resignation from Gen Picot in December 2021. An expression of interest process to appoint new members was advertised in the January/February 2022 issue of the 'Deans Marsh Croaker' newsletter. Existing CAC members also discussed committee vacancies during local Community Action Network and Community Asset Committee meetings seeking new interested members.

In total three expressions of interest were received by Council Officers in March 2022. The Committee endorsed appointing the three candidates at their meeting held on Wednesday 9 March 2022 and communicated this to Council officers.

Stribling Reserve had one member (David Mullen) resign in July 2021, the Committee had one person, Clive Goldsworthy, express an interest to join the committee. The Stribling Reserve CAC endorsed appointing this candidate at their March 2022 committee meeting.

Council is not required to publicly advertise for expression of interests but does so to widen the search especially when there are multiple vacancies.

There have been other recent resignations from CACs. The Connewarre Reserve Community Asset Committee accepted the resignation of Kathy Scanlon at their meeting in December 2021.

The Globe Theatre Community Asset Committee accepted the resignation of Jarmal Richard at their meeting in March 2022.

All departing committee members are acknowledged and thanked for their contribution to each committee and their community. The Mayor has written thank you letters to Kathy Scanlon, Gen Picot and Jarmal Richard thanking them for their service to the community.

All volunteers are subject to police checks and working with children checks as part of Councils Recruitment Management Policy.

Outcome Analysis

The officer's recommendation supports community members volunteering in a community committee and aligns to Council's purpose to help our community and environment to thrive.

Council's facilities benefit from management of volunteers who live and use the facilities themselves. Community members build skills and connections by participating in Community Asset Committees.

Financial and Resource Impact Analysis

Nil

Council Plan Assessment

Theme Two - Healthy Connected Community

Strategy 6 - Enable communities to strengthen their social connections and participate in community life.

The Officer's recommendation supports community members volunteering in a community committee and aligns to Council's purpose to *help our community and environment to thrive*. The additional committee members will assist the local Deans Marsh and Lorne communities to thrive.

Relevant Legislation, Policy, Strategies and Plans

This recommendation complies with the Local Government Act 2020.

Previous Councillor and Audit and Risk Committee Consultation

This item is not within the scope of matters considered by the Audit and Risk Committee. This item was not presented at Councillor briefings.

7 Place Making and Environment

7.1 Emissions Reduction Targets and Roadmap

Author's Title:	Coordinator Environmental Sustainability
General Manager:	Chris Pike, General Manager
Department:	Environment & Sustainability
Division:	Place Making and Environment
Attachments:	1. Surf Coast Shire Council Corporate Greenhouse Gas Emissions Reduction Commitments 2022-2030 [7.1.1 - 5 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

Through its Climate Emergency Corporate Response Plan 2021-2031 (CECRP), Council has committed to becoming a carbon neutral organisation, certified under the Federal Government's Climate Active program. This commitment followed Council's declaration of a climate emergency in 2019, acknowledging the need for more urgent and extensive climate action.

The process to achieve carbon neutral certification is underway. Advice received on Council's current commitments and how they align with the requirements of the program has highlighted that in order to achieve certification, Council needs to adopt a clearly stated, time-bound future emissions reduction target. The Climate Active program requires a commitment to an emissions reduction target to ensure organisations do not rely solely on offsetting, but rather actively cut emissions and reduce the need to offset over time.

Council's CECRP includes a commitment to reduce corporate greenhouse gas emissions annually. Having a specific and time-bound emissions reduction target provides Council with the opportunity to strengthen its current commitments, drive further targeted action in our climate emergency response and enable Climate Active certification.

Outcome Statement

The proposed strengthened commitments will drive further targeted action on reducing our corporate emissions, facilitate the Climate Active certification process,

reduce the need for, and cost of, offsetting Council’s emissions over time, and demonstrate leadership in line with Council’s climate emergency response goals.

Key benefits	Key risks
A specific and time-bound target will drive further targeted action in Council’s climate emergency response to reduce greenhouse gas emissions associated with Council operations.	That Council or the community considers it is not doing enough to reduce emissions in response to the climate emergency.
The target will facilitate achieving carbon neutral certification under the Federal Government’s Climate Active program.	That the target will not be reached due to lack of investment in required technologies.
Reducing emissions will reduce the need for, and cost of, offsetting corporate emissions over time.	If the planned Surf Coast Aquatic Facility is gas powered instead of all electric, it may lock Council into 10+ years of gas emissions and limit the ability to reach the target.

Finance and Resource Implications

The majority of activities required to meet the proposed emissions reduction targets can be delivered within existing budgets and programs.

It is possible that additional investment will be required for some emissions reductions activities, for example transitioning our heavy plant to renewable electric. However, with technological advances and market forces shifting favourably toward low and zero emissions technology, coupled with volatile and rising oil and gas prices, the business case for change is expected to become more attractive as we get closer to 2030. Interim target reviews are recommended in 2023, 2025 and 2027 which will provide opportunities for more accurate analysis of financial implications. Furthermore, it is anticipated that opportunities for collaborative sector-based initiatives and grant funding will be available within the timeframe of the proposed target.

Community Engagement

The Climate Active carbon neutral certification process requires public disclosure of emissions reporting and offsetting. Council is already committed to providing regular updates to the community on its climate emergency response and will continue doing so via Council Towards Environmental Leadership [website](#) and social media channels. In accordance with Council’s Community Engagement Policy SCS-017, the engagement level for this item is ‘Inform’, as it relates specifically to Council’s corporate operational greenhouse gas emissions.

Recommendation

That Council:

1. Adopts a target of zero corporate greenhouse gas emissions by 30 June 2030 for its direct emissions from its operations, excluding the Anglesea landfill.
2. Notes that the roadmap to achieve the target is presented in Appendix 1.
3. Notes that the roadmap includes commitments to limit, capture and reduce landfill emissions.
4. Notes that the roadmap will be reviewed and updated every two years until 2030.
5. Amends the Climate Emergency Corporate Response Plan 2021-2031 to include the new target and roadmap.

Council Resolution

Moved Cr Gazzard, Seconded Cr Schonfelder

That Council:

1. Adopts a target of zero corporate greenhouse gas emissions by 30 June 2030 for its direct emissions from its operations, excluding the Anglesea landfill.
2. Notes that the roadmap to achieve the target is presented in Appendix 1.
3. Notes that the roadmap includes commitments to limit, capture and reduce landfill emissions.
4. Notes that the roadmap will be reviewed and updated every two years until 2030.
5. Amends the Climate Emergency Corporate Response Plan 2021-2031 to include the new target and roadmap.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – Set a time-bound target based only on current commitments.
 Without continued focus on emissions reductions in future action plans to deliver our CECRP, it is estimated that from our baseline year of 2020-21, Council would

achieve a 45% reduction of non-landfill emissions by 2030 on our current trajectory, of which 36% has already been achieved with Council’s transition to 100% renewable electricity. This option is not recommended by officers as it does not drive any further ambition beyond the current two-year action plan and is therefore not aligned to the goals outlined in the CERCP.

Alternative Option 2 – Set a science-based target.

Setting a science-based emissions reduction target for Council requires following a detailed methodology, which in the short timeframe required for achieving our Climate Active certification, was beyond our current resource capacity. In lieu of this detailed effort, the Victorian Government’s emissions reduction target provides a reference point. The State Government’s target may be considered science-based in the sense that it falls within the range, albeit at the lower end, recommended by a [panel of independent experts](#) who reviewed global and national target setting methodologies. They recommended that Victoria set a target of 45-60% below 2005 by 2030 to keep global warming well below 2 degrees in accordance with the Paris Agreement. However, in the absence of reliable corporate emissions data prior to 2017, Council is unable to accurately determine its 2005 baseline emissions and therefore the reduction required to match the State’s target.

Report

Background

Surf Coast Shire Council declared a climate emergency in 2019, acknowledging the need for more urgent and extensive action to reduce emissions and respond to local climate change impacts. The Climate Emergency Corporate Response Plan 2021-2031 (CECRP), adopted at the 24 June 2021 Council Meeting, is Council’s 10-year commitment for climate action. Within the CECRP, Council has committed to becoming a carbon neutral organisation. Goal 1 of the Plan states:

GOAL 1 – OUR ORGANISATION IS CARBON NEUTRAL	
<p>Objective 1: Reduce Council’s greenhouse gas emissions.</p> <p>Measure: Tonnes of carbon dioxide equivalent greenhouse gas emissions emitted to the atmosphere annually from Council’s operations, services and facilities.</p> <p>Target: An annual reduction from the previous year.</p>	<p>Objective 2: Offset all of Council’s residual greenhouse gas emissions.</p> <p>Measure: Tonnes of carbon dioxide equivalent greenhouse gas emissions offset annually (calculated in accordance with the Greenhouse Gas Protocol standard and local government best practice, with certification obtained through the Federal Government’s Climate Active Program).</p>

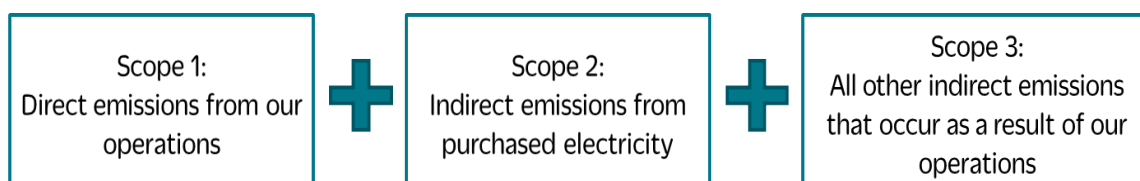
GOAL 1 – OUR ORGANISATION IS CARBON NEUTRAL	
	Target: 100% of annual residual emissions offset each year, commencing 2021-2022.

Discussion

In accordance with the commitments set in the CECRP, the process to achieve carbon neutral certification is underway, including: registering with the Federal Government’s Climate Active certification program; and, reviewing our corporate greenhouse gas inventory in readiness for the required independent audit. Consultants are supporting this process and advice received on Council’s current commitments and how they align with the requirements of the Climate Active certification program has highlighted that in order to achieve certification, Council needs to adopt a clearly stated, time-bound future emissions reduction target or goal. The Climate Active certification process requires a commitment to an emissions reduction target to ensure organisations do not rely solely on offsetting, but rather actively cut emissions and reduce the need to offset over time. This is a more recent requirement Climate Active have included in the certification process, which is why it wasn’t considered specifically in the development of our CECRP.

In Objective 1 of the CECRP, Council has already committed to reducing greenhouse gas (GHG) emissions. The requirement to have a specific and time-bound emissions reduction target provides Council with the opportunity to strengthen its current commitments and drive further targeted action in our climate emergency response.

In line with the internationally recognised Greenhouse Gas Protocol methodology, Council’s corporate GHG emissions profile quantifies the emissions associated with all of Council’s operations. Emissions sources are captured in three categories:



Data collection and calculation of Council’s corporate GHG emissions profile is a detailed process that includes methods to determine:

- Which emissions sources are under Council’s operational control: these sources are then included as scope 1 and 2
- Which emissions sources outside Council’s operational control are ‘relevant’ and ‘material’ (as per Climate Active reporting guidelines): these sources are then included as scope 3.

At a very high level, our profile includes:

- Scope 1 emissions (86% of Council's profile): landfill gas, fleet fuel combustion, gas in facilities, refrigerants in facilities (aircon/HVAC, fridges etc.)
- Scope 2 emissions (3% of Council's profile): purchased electricity
- Scope 3 emissions (11% of Council's profile): contractor fuel, construction materials, street lights, catering, etc.

Further detail on Council's corporate GHG emissions profile including the percentage and tonnage contribution of each emissions source is provided in Appendix 1.

Outcome Analysis

While many organisations are setting zero emissions targets (a complete reduction of emissions as opposed to 'net zero' where residual emissions are offset), Council is limited by the Anglesea landfill because we are not able to eliminate this emissions source. The existing organic material in the landfill will continue to emit 'legacy' emissions for more than 20 years.

The Anglesea landfill is Council's largest emissions source, accounting for approximately 75-80% of Council's total corporate GHG emissions. The landfill emissions are categorised as scope 1 because the landfill is under Council's operational control. Measures to address landfill emissions are limited to: reducing how much organic material is added to the source; capturing the gas and flaring as much as possible (flaring converts the gas from methane to carbon dioxide, which is a relatively less potent greenhouse gas); generating electricity from the flare; and offsetting. Setting targets around landfill emissions is also challenging as they are highly variable and difficult to forecast.

The proposed emissions reduction target is therefore focussed on the *non-landfill* emissions sources over which Council has greater operational control (those categorised as scope 1 and 2). However, while the target is focussed on non-landfill emissions, the proposed roadmap includes commitments to limit, capture and offset landfill emissions.

Appendix 1 provides a high-level roadmap for Council's corporate emissions reduction and presents the proposed target, together with Council's existing commitments and a statement addressing landfill emissions. Together, these commitments include:

- **Net zero by 2022**
- **Zero scope 1 and 2 non-landfill emissions by 2030**, including:
 - Zero scope 2 emissions by 2021
 - 100% electric vehicles for Council's light fleet by 2028
- **Limit, capture and offset landfill emissions**

The proposed target has a 2030 horizon, in line with the [International Panel on Climate Change's \(IPCC\)](#) most recent assertions that deep cuts in emissions are required within this decade if global temperatures are to remain well below 2°C. The proposed strengthened commitments will:

- drive further targeted action on reducing our corporate emissions,
- facilitate the Climate Active certification process,
- reduce the need for, and cost of, offsetting Council's emissions overtime, and
- demonstrate leadership in line with Council's climate emergency response goals.

Recognising that opportunities to reduce emissions are rapidly evolving with technological advances and market forces, interim review of the roadmap is recommended in 2023, 2025 and 2027, to allow for greater analysis of emerging opportunities, costs and benefits.

Financial and Resource Impact Analysis

Through its Climate Emergency Corporate Response Plan 2021-2031 commitments, and the resources in place to deliver the plan, Council is already in a position where existing resources and budgets are being utilised to deliver emissions reductions. The majority of activities required to meet the proposed emissions reduction targets can be delivered within existing budgets and programs, albeit with a sharpened focus on emissions in each area of the organisation. The existing and future resources can be summarised as:

- Towards Environmental Leadership budget and program for the coordination and delivery of the CECRP across the organisation, and guidance on organisational policy and procedures to meet the CECRP objectives
- Waste reserve allocation for landfill related activities
- Business Case allocations for works with a 5–7-year return on investment
- Project budgets incorporating allocations to accommodate the Environmentally Sustainable Council Facilities Policy requirements
- Operational budgets, including renewal and fleet

The Sustainable Council Facilities Policy, adopted in November 2021, should accelerate emissions reductions through energy efficiency, solar generation and storage, electrification and the transition away from gas in Council facilities.

Council's Business Case allocations to the 'Solar, efficiency and fuel transition on Council facilities' program facilitates these works where a 5-7 year payback can be achieved. It is likely that additional investment is required for some remaining emissions reductions activities. For example, a 100% reduction in gas usage is technologically achievable but will require investment in appliances and projects with poor paybacks in some instances.

With technological advances and market forces shifting favourably toward low and zero emissions technology, the business case for such activities (for example transitioning our heavy plant to electric) will become more attractive as we get closer to 2030. Furthermore, with the growing capacity of onsite solar generation on Council facilities, and Council's 10-year renewable electricity contract providing stable electricity rates, electrification works will become increasingly financially viable, particularly in the face of volatile and rising oil and gas prices.

Interim target reviews in 2023, 2025 and 2027 will provide opportunities for greater analysis of financial implications. Furthermore, it is anticipated that opportunities for collaborative sector-based initiatives and grant funding will be available within the timeframe of the proposed target.

The Surf Coast Aquatic and Health Centre project was costed, funded and initiated prior to the adoption of the Environmentally Sustainable Council Facilities Policy. It assumes a gas-powered system and the project budget's capacity to shift to an all electric system is yet to be tested (including an assessment of the business case which would assume lower operating costs to offset the capital investment). This large project presents a risk to the achievement of the emission reduction targets in this report.

Council Plan Assessment

Theme Three - Environmental Leadership

Strategy 8 - Reduce greenhouse gas emissions to limit the impacts of climate change.

Strengthened commitments on emissions reduction directly aims to achieve strategy 8 of the Council Plan.

Relevant Legislation, Policy, Strategies and Plans

The Climate Emergency Corporate Response Plan 2021 – 2031 relates to Section 9(2c) of the Local Government Act 2020: 'the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted'.

The strengthened emissions reduction commitments align with and complement the Council Plan.

Local governments have roles and responsibilities to take action on climate change under Victoria's Climate Change Act 2017. The strengthened emissions reduction commitments align with Victoria's Climate Change Strategy – the Government's long-term vision and approach to climate change.

Previous Councillor and Audit and Risk Committee Consultation

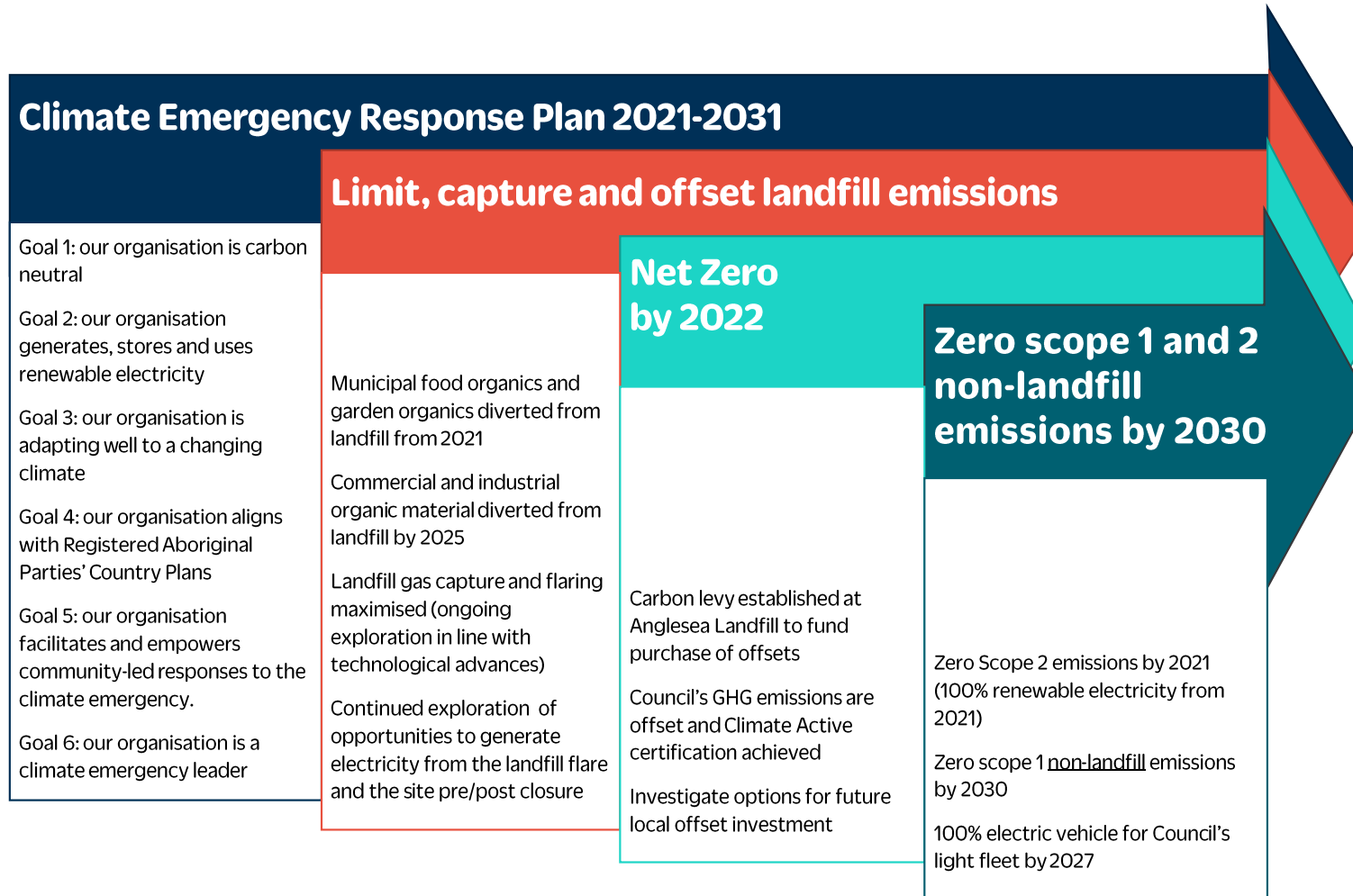
This item is not within the scope of matters considered by the Audit and Risk Committee.

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 5 April 2022

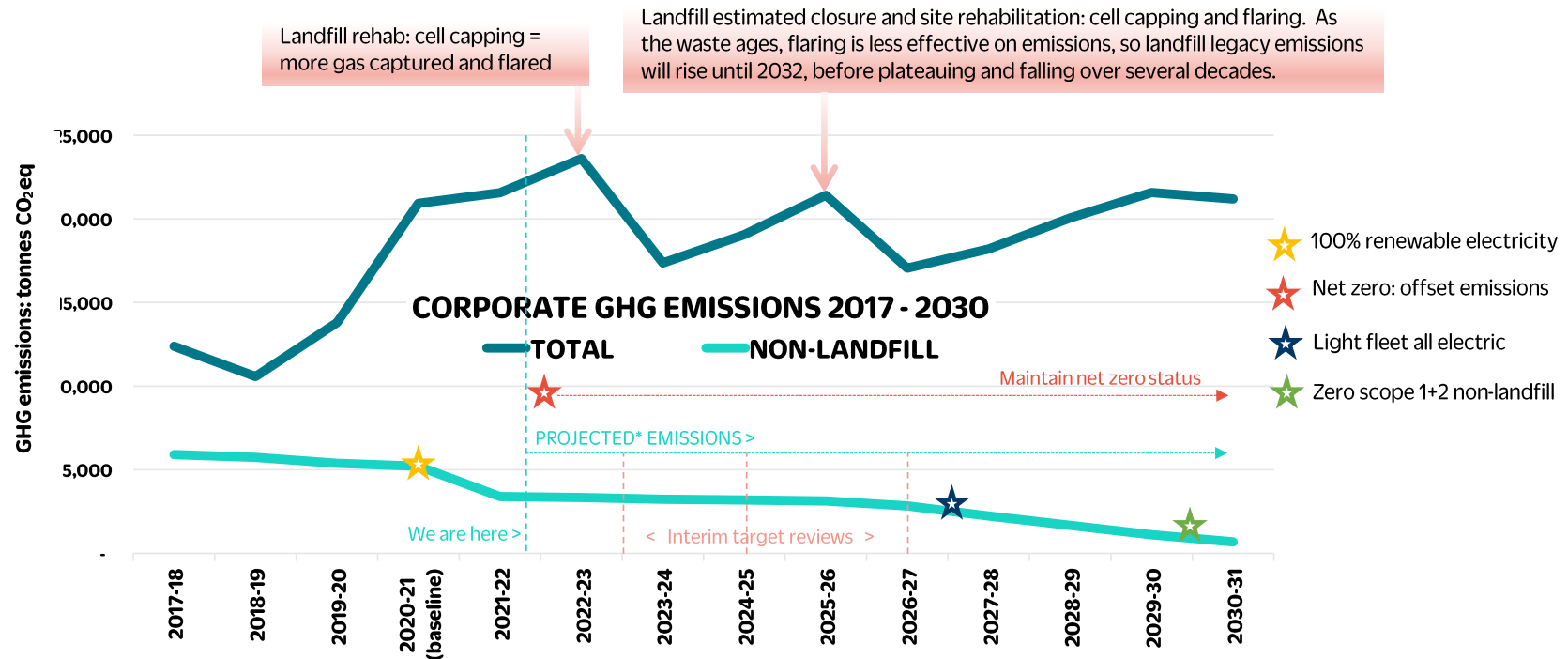
<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		

Surf Coast Shire Council
Corporate Greenhouse Gas Emissions Commitments 2022-2030



The figure above presents Surf Coast Shire Council's headline commitments addressing corporate greenhouse gas emissions. The *Limit, capture and offset landfill emissions* and the *Zero scope 1 and 2 non-landfill emissions* are new commitments. The baseline year from which progress toward the targets is measured is 2020-21 financial year. Total corporate emissions in the baseline year were 20,518 t CO₂ eq; however this is currently being audited and the exact figure will be finalized in May 2022.

Surf Coast Shire Council Corporate Greenhouse Gas Emissions Reduction Roadmap



- Achieved**
- ✓ 100% renewable electricity
 - ✓ FOGO waste diversion
 - ✓ More than 585kW solar and 50kWh battery storage installed

- 2022 - 2026**
- Accelerated focus within existing budgets and resources:
- Light fleet transition to electric
 - Sustainable Facilities Policy driving electrification and efficiencies (renewals, upgrades & new builds)
 - Landfill emissions investigation of opportunities

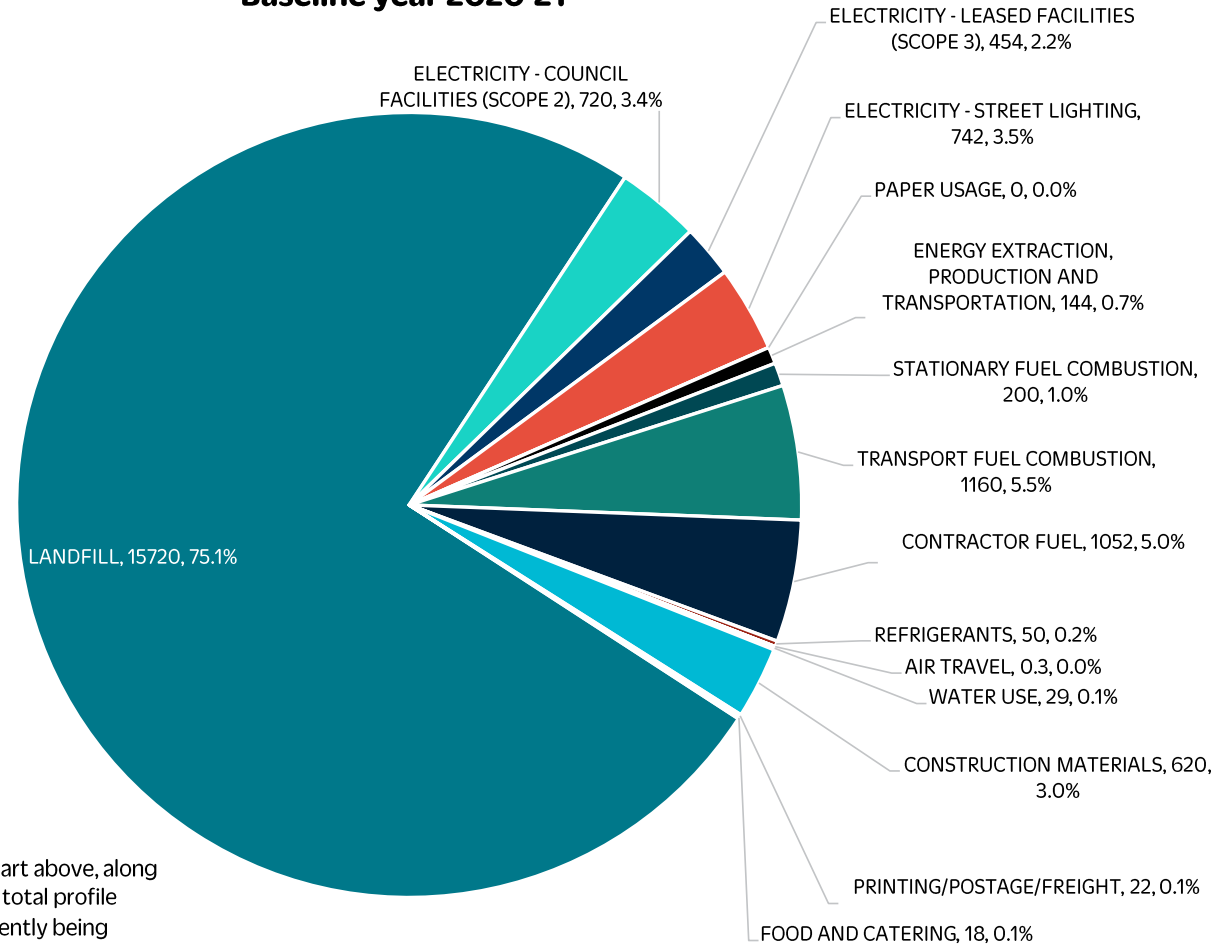
- 2026 - 2030**
- Additional investment likely required for remaining electrification works with longer ROI
 - Technology advances required for heavy plant/vehicles

Note: landfill emissions are highly variable and difficult to forecast. The projected total emissions in this chart are an estimate based on historical data.

**Surf Coast Shire Council
Corporate Greenhouse Gas Emissions Profile**



**Total Corporate Greenhouse Gas Emissions by Source (incl. scope 1, 2 and 3)
Baseline year 2020-21***

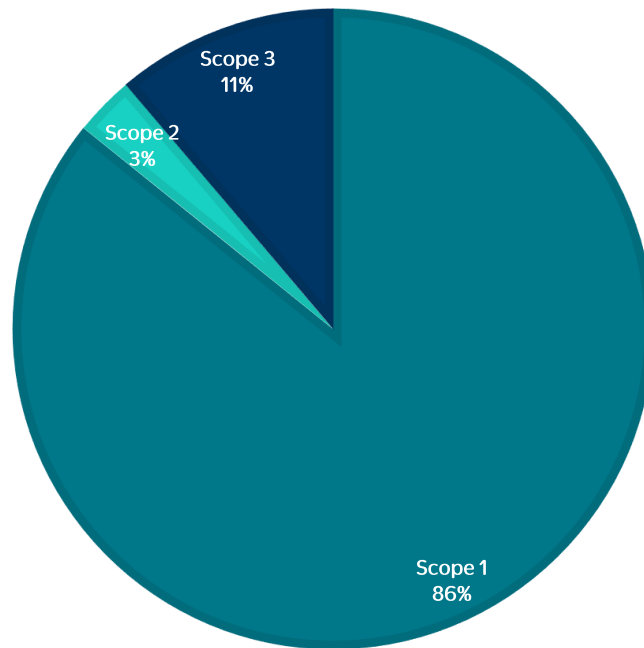


All emissions sources are captured in chart above, along with the tonnage of emissions and % of total profile
*exact figures for baseline year are currently being audited and will be confirmed by May 2022

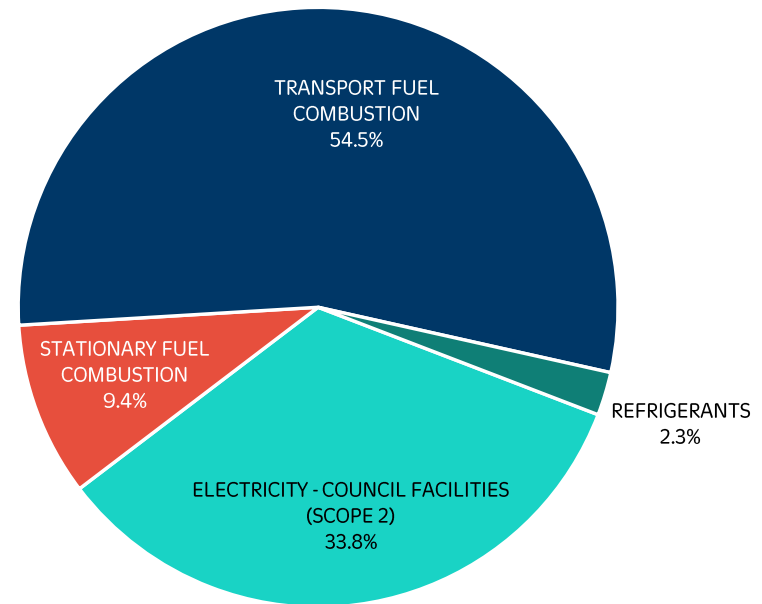
Surf Coast Shire Council
Corporate Greenhouse Gas Emissions Profile



Corporate GHG Emissions by Scope
Baseline year 2020-21*



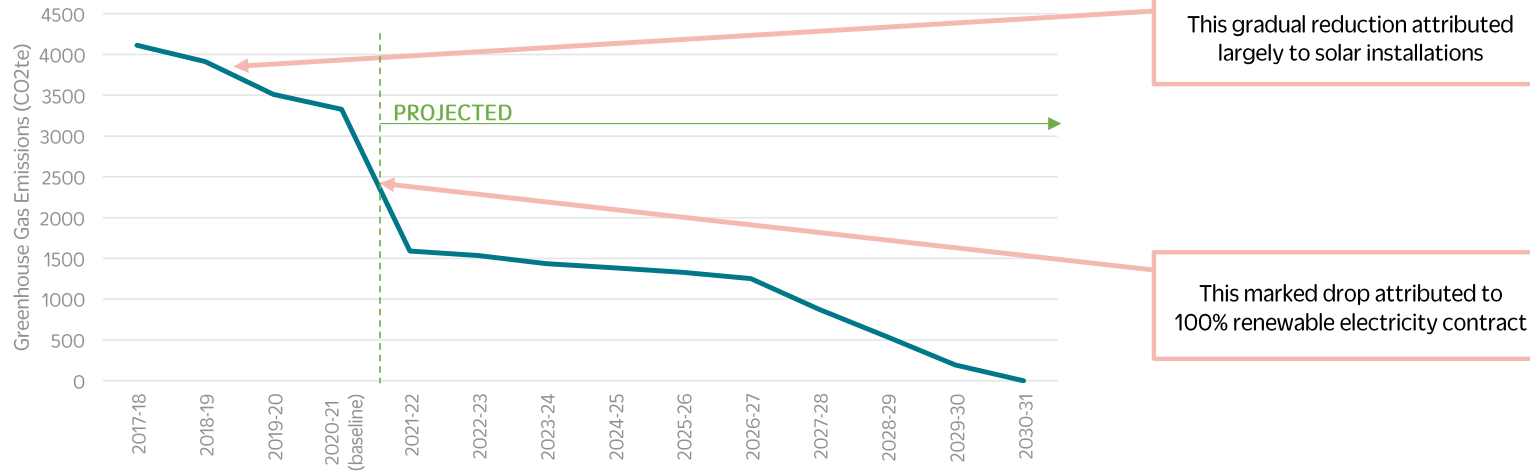
Scope 1 and 2 non-landfill emissions
Baseline year 2020-21*



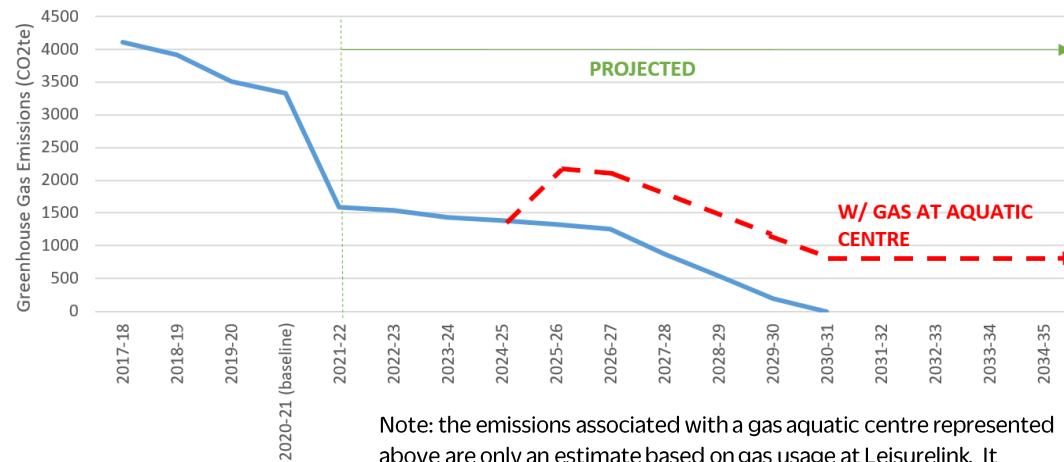
Surf Coast Shire Council Corporate Greenhouse Gas Emissions Profile



SCOPE 1 AND 2 NON-LANDFILL EMISSIONS



SCOPE 1 AND 2 NON-LANDFILL EMISSIONS WITH AQUATIC CENTRE



Note: the emissions associated with a gas aquatic centre represented above are only an estimate based on gas usage at Leisurelink. It assumes 700t annually.

7.2 Transfer of Council Managed Land to GORCAPA - Status Report April 2022

Author's Title:	Coordinator Social Infrastructure & Open Space Planning
General Manager:	Chris Pike, General Manager
Department:	Integrated Planning
Division:	Place Making and Environment
Attachments:	Nil

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The Great Ocean Road Coast and Parks Authority (the Authority) was established on 1 December 2020 with a legislated mandate to manage the Great Ocean Road and its surroundings as “one living and integrated entity” and to deliver better protection and management of Victoria’s Great Ocean Road.

A desired timeline has now been proposed for the transfer of Committee of Management status of select Crown Land (excluding freehold land), over the next 2 years, with a high level of dependency on Council Officer involvement identified.

The Authority and Department of Environment, Land, Water and Planning (DELWP) are eager to work collaboratively to ensure a successful transition and an agreed partnership approach has been established to further develop the transfer and on-boarding process, along with key messages to assist with a future joint communications plan.

Of the total 931 coastal reserves and parcels to be transferred along the Great Ocean Road, approximately 55 of those parcels (containing \$31.26m in assets) are located in Surf Coast Shire.

Two pilot ‘simple least complex’ parcels have been identified to test the transfer and on-boarding process in May 2022, to ensure it meets the needs of all parties. Investment of resources to participate, influence and mitigate risks associated with the transfer process have been identified in the Draft 2022/23 Annual Budget.

Outcome Statement

This report provides an update on the transition status, activities and next steps to ensuring an efficient and effective transfer process where the interests of the Surf Coast community and environment are protected and/or enhanced.

<i>Key benefits</i>	<i>Key risks</i>
Greater protection, conservation, rehabilitation and management capacity of Crown Land and coastal assets within the Great Ocean Road coast and parks area.	Ensuring that the level of access and service related to community places and spaces is maintained and/or enhanced.
Simplify previously complex and fragmented management arrangements and deliver a more coherent approach to addressing the challenges of increasing visitation and climate change, by creating a single point of accountability.	Inadequate communications and/or information sharing may lead to confusion and unnecessary angst in the community, leading to reputational risk.
Strong partnership approach to the implementation of the new legislation and land transfers should result in greater coordination, influence and outcomes for the community.	Inadequate resourcing and/or participation in the compulsory process may lead to non-compliance, reduced influence and/or outcomes. Recognising the high level of dependency on Officers.

Finance and Resource Implications

The Draft 2022/23 Annual Budget contains provision for an 18-month full time resource to support the Social Infrastructure and Open Space team to coordinate and facilitate the land transfer, on-boarding and reverse engineering (internal change implications) process. Total proposed investment over 18 months for an Open Space Planner to fulfil this role is \$121,687.5 (\$81,125 in the first 12 months).

The return on this investment will be significant and fully understood throughout the planning phase of the process. Savings will be made by way of a likely reduction and/or efficiencies in operational requirements and other asset renewal liabilities.

Community Engagement

The land transfer process is in its earliest stage and there has been no community engagement to date. This report identifies the initial key messages associated with the new legislation, the role of the Authority and transfer process and signals the critical need for a joint communications and engagement plan (refer to the Communication and Engagement section of this report for key messages).

Recommendation

That Council:

1. Receives and notes the April 2022 status update regarding the transfer of Council managed Crown land to the Great Ocean Road Coast and Parks Authority (GORCAPA).
2. Notes that the Department of Environment, Land, Water and Planning (DELWP) are proposing to transfer two 'simple and least complex' parcels as pilot cases to test and refine the transition process in May 2022, including Aireys Inlet Reserve (part of) and Lorne Stoney Creek Reserve (part of).
3. Notes that the Draft 2022/23 Annual Budget contains provision for an officer resource to help coordinate and facilitate the land transfer process and mitigate associated risks.
4. Receives status updates on the land transfer progress at key milestones or when Council direction is required.

Council Resolution

Moved Cr Bodsworth, Seconded Cr Wellington

That Council:

1. Receives and notes the April 2022 status update regarding the transfer of Council managed Crown land to the Great Ocean Road Coast and Parks Authority (GORCAPA).
2. Notes that the Department of Environment, Land, Water and Planning (DELWP) are proposing to transfer two 'simple and least complex' parcels as pilot cases to test and refine the transition process in May 2022, including Aireys Inlet Reserve (part of) and Lorne Stoney Creek Reserve (part of).
3. Notes that the Draft 2022/23 Annual Budget contains provision for an officer resource to help coordinate and facilitate the land transfer process and mitigate associated risks.
4. Receives status updates on the land transfer progress at key milestones or when Council direction is required.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – Do not participate in the land transfer process.

This option is not recommended by officers as it will mean that the Surf Coast Shire will have little to no influence on how the transfer of land process occurs and/or how the community is engaged.

Report

Background

The Great Ocean Road Coast and Parks Authority (the Authority) was established on 1 December 2020 with a mandate to manage the Great Ocean Road and its surroundings as “one living and integrated entity” and to deliver better protection and management of the iconic coast and parks of Victoria’s Great Ocean Road.

In response to new legislation set down in 2019 and 2020, the Department of Environment, Land, Water and Planning (DELWP)’s Great Ocean Road Management Reform team along with the Authority and other land management agencies have recently commenced the clarification and development phase of the land transition process.

Of the 931 coastal reserves and parcels to be progressively transferred to the Authority over the next three years, approximately 55 of those parcels are located in Surf Coast Shire with \$31.26m in assets identified for potential transfer.

A desired timeline has now been proposed for the transfer of land over the next 2 years.

Preliminary insights demonstrate that this process is not as straightforward as it might seem with varying levels of complexity that will take time to work through. Under one scenario it is simply about providing our expertise (familiar with the land and assets) and under another, there is a significant coordination effort with more in-depth research and assessment of the implications of each transfer.

Public and community communication is also very important given the high level of community interest in the Authority and specific land parcels, and must be well planned.

The Authority and Department of Environment, Land, Water and Planning (DELWP) are eager to work collaboratively with Surf Coast Shire to ensure a successful transition and an agreed partnership approach has been established to further develop the transfer and on-boarding process, along with key messages to assist with a future joint communications plan.

DELWP in partnership with Surf Coast Shire are proposing to transfer two simple and least complex parcels as pilot cases to test and refine the transition and on-boarding process in May 2022, including Aireys Inlet Reserve (part of) and Lorne Stoney Creek Reserve (part of), to ensure it meets the needs of all parties.

There is a need to build capacity and actively participate in the process to ensure the Surf Coast Shire has enough influence to ensure an efficient, effective process where the interests of the Surf Coast community and environment are protected and/or enhanced.

Investment of resources to participate, influence and mitigate risks associated with the transfer process have been identified in the Draft 2022/23 Annual Budget.

No Council managed land has been transferred to date.

About the Great Ocean Road Coast and Parks Authority (the Authority)

The Authority's primary purpose is to protect, conserve, rehabilitate and manage Crown Land and coastal assets within the Great Ocean Road coast and parks area.

In partnership with Traditional Owners, the Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC) and the Eastern Maar Aboriginal Corporation (EMAC), the Authority aims to foster resilience of the natural, cultural and heritage values of coastal Crown land and marine waters along the Great Ocean Road.

The Authority is intended to simplify previously complex and fragmented management arrangements and deliver a more coherent approach to addressing the challenges of increasing visitation and climate change, by creating a single point of accountability.

Their key focus areas are to:

1. Govern an international destination of national significance as a single, integrated, living entity
2. Simplify fragmented and conflicting management arrangements
3. Guide sustainable tourism and improve visitor experience
4. Strengthen protection of land and seascapes from impacts of climate change
5. Improve economic development for a prosperous and liveable region.

As a new public land manager for the Great Ocean Road coast and parks, the Authority will manage a wide variety of public land from National Parks to coastal beaches, caravan parks, significant trails and town foreshores.

It has a broad range of functions for the management of public land and currently manage approximately 65 kilometres of coastal Crown land reserves including over 36 km of walking paths and trails, eight caravan parks, 49 car parks, 100 beach access points with 38 staircases, 33 amenity blocks, 37 barbeques, eight playgrounds and 268+ bins and dog waste dispensers.

Further land management of approximately 931 Crown land coastal reserves and parcels is to be progressively transferred to the Authority over the next three years. Approximately 55 of those parcels are located in Surf Coast Shire.

The Authority will also lead visitation policy and planning for the scenic landscapes along the Great Ocean Road with a view to manage visitation 'hot spots' and provide a great visitor experience. All revenue raised through their commercial endeavours is to be reinvested back into the area to ensure the Great Ocean Road region can be enjoyed now and for generations to come.

The development of the Authority was in response to the complexity of management arrangements along the coast and the identified need to protect the landscapes and liveability of local communities and improve the visitor experience.

It was agreed the Great Ocean Road needed a dedicated, place based, governance arrangement, so that the environmental assets and isolated natural beauty experiences that are the attraction for visitors, are protected for the enjoyment and benefit of future generations.

The State Government-led Great Ocean Road Action Plan 2018 was developed and outlines five major reforms that are now being delivered, including legislation for protection, a new dedicated parks authority, a new overarching planning framework, a better planning approval process, and supporting initiatives.

The Great Ocean Road and Environs Protection Act 2020 requires the Authority to have regard to the Great Ocean Road Coast and Parks Protection Principles. These include General and Economic, Aboriginal Inclusion, Environmental and Social Principles.

As part of the Authorities underlying legislative mandate, it must have strong regard to the following considerations when conducting its business:

1. The intrinsic connection Traditional Owners have to Country
2. Its partners consult, engage and collaborate
3. Have regard to planning authorities, public sector bodies and legislation
4. Achieve State Government policy
5. Engage with local communities.

Great Ocean Road Environs Protection Amendment Act 2020

In November 2021, an update was provided to Council on the latest legislation that passed on 19 October 2021, the Great Ocean Road Environs Protection Amendment Act 2020, and is now being implemented. This forms part of the enabling legislation across two Bills that establishes the Authority as a parks and public land manager.

In summary, the Great Ocean Road Environs Protection Amendment Act 2020:

1. Provides for declaration of the Great Ocean Road coast and parks
2. Defines the Great Ocean Road coast and parks protection principles
3. Establishes the Authority to protect, conserve, rehabilitate and manage Crown land within the Great Ocean Road coast and parks and able to accept Committee of Management appointment
4. Appoints the Authority as the Committee of Management for reserves formerly managed by Great Ocean Road Coast Committee (GORCC) and Otway Coast Committee (OCC)
5. Designates the Authority as lead agency for visitation policy and planning by responsible entities in scenic landscapes area.

Although the legislation enables the transfers to occur DELWP and the Authority are eager to work collaboratively with Surf Coast Shire to ensure a successful transition. This is recognised in the partnership approach to developing the transition and implementation process.

Discussion

Land transfer process and status update

In late 2020 until now, the Department of Environment, Land, Water and Planning (DELWP)'s Great Ocean Road Management Reform team along with the Authority and other land management agencies, including Surf Coast Shire, have commenced the design and development phase of the land transition process.

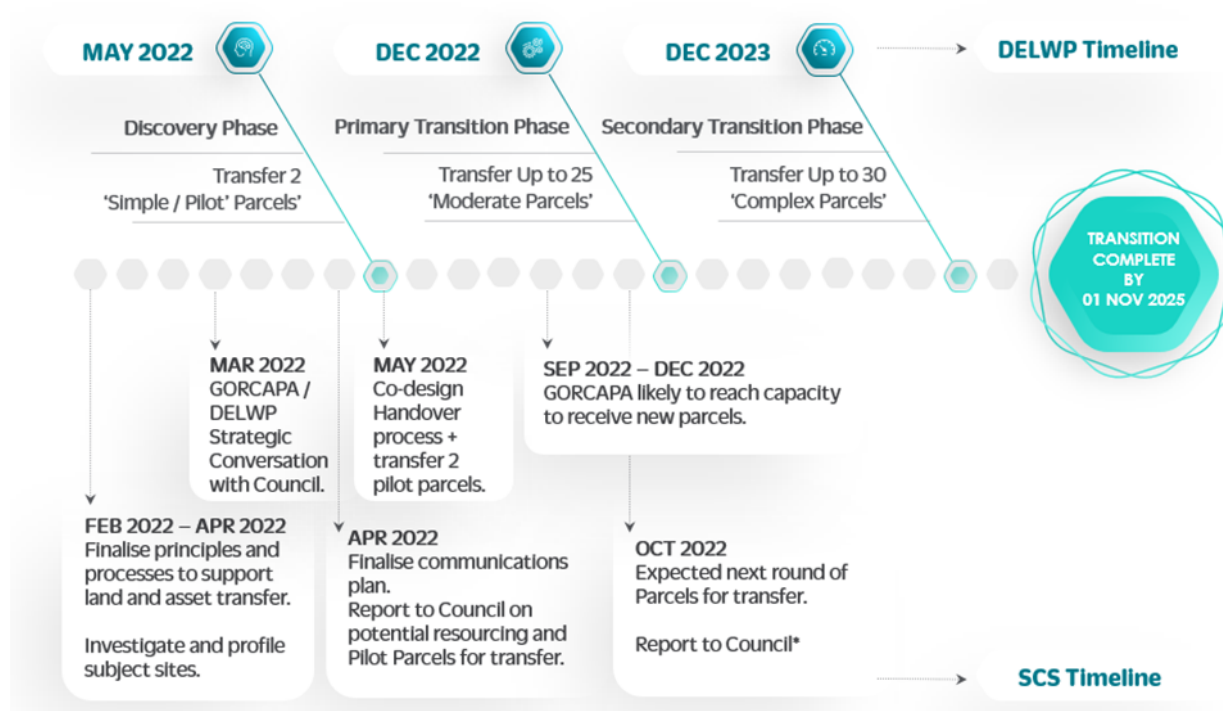
The following provides an update on the transition, activities and next steps to ensuring an efficient, effective process where the interests of the Surf Coast environment and community are protected and/or enhanced.

- The Authority continues to operate in its simplest form and is building its capacity in line with directions under the new legislation. Desired capacity is not expected to be reached until late 2022.
- Draft principles for the transfer of land have been drafted along with a proposed transition methodology, but have not yet been finalised.
- A desired timeline for the transfer of Surf Coast Shire related parcels of Crown land has been proposed by DELWP over the next two years, with a hard deadline of 1 November 2025 for all transfers to be complete along the coast.

- A transition period between now and complete transfer will see greater engagement requirements on land that is to be transferred to the Authority, including but not limited to, matters that may be binding on the Authority (e.g. significant works, unfunded projects and new leases and licences, but excludes general maintenance, safety and security related activities). Further advice has been sought from DELWP to clarify these requirements.
- A Steering Group has been developed with DELWP, the Authority and the Shire to establish a channel for proactive discussions in respect to the transfers, priorities for the process, key asset transfer considerations and to provide an insight into asset management practices.
- Transfer methodology workshops held on 28 February and 1 March 2022 suggest that the process is still unresolved and despite high levels of dependency on land owners/managers, resourcing support will not be provided to support the process but the timeline can be flexible, recognising that the hard deadline of 2025 remains.
- A Statement of Intent from DELWP to the Surf Coast Shire clarifying the transition parameters was expected in March 2022 and is now due in April 2022 (not available at the time of writing this report).
- There are approximately 55 parcels of Crown land with \$31.26m in assets identified for potential transfer of Committee of Management responsibilities and are currently being profiled and assessed by Council Officers.
- Officers continue to develop comprehensive profiles and confirm the boundaries of each subject parcel. Considerations include planning, zoning, clear boundaries, access and uses (existing and adjacent), management and maintenance, community interest and involvement, future needs, plans / projects, onboarding requirements, assets lists, condition and values, and areas of matters of significance.
- DELWP are seeking to begin the transfer of some 'simple least complex' parcels by May 2022. Officers have considered a range of potential parcels proposed by DELWP and recommended two parcels for further investigation. It was also recommended to engage in a co-design approach to further develop the transfer and on-boarding process by treating these 'simple' parcels as pilot cases to test and refine the process with Surf Coast Shire input. The pilot parcels for consideration are:
 - Aireys Inlet Reserve (part of)
 - Lorne Stoney Creek Reserve (part of).
- No Council managed land has been transferred to date.

Timeline

An indicative timeline outlining the proposed transition plan and relative tasks as of April 2022 is provided below:



Communication and Engagement

The land transfer is in its earliest stage of the process and there has been no community engagement to date. The following section identifies the initial key messages associated with the new legislation, engagement with DELWP and the Authority since the last update and signals the critical need for a joint communications and engagement plan.

Officers participated in two workshops with DELWP, GORCAPA and Deloitte on 28 February and 2 March 2022 to:

- Discuss and inform consistent and agreed approaches, pragmatic methods and tools and provide clarity over the remaining steps in the transfer of assets; and
- Introduce transition period or notional 'care taker' period – informing how decisions need to be made that are binding on land and assets to be transferred.

Council received external briefing presentations from the Authority and DELWP on 29 March 2022 to:

- Discuss the Great Ocean Road & Environs Protection Amendment Bill 2021 implementation and the Authority's vision and objectives; and

- Engage in a strategic conversation on tourism opportunities and strategy.

Engagement with external stakeholders and the broader community has been minimal to date as the new Authority was being established. This is now a key focus and DELWP, the Authority and the Shire have continued to develop joint communications including the development of key messages and FAQ's.

Discussions have also achieved a commitment by the Authority to take an early and public position on continued community access to reserves as a central principle in the process by stating, *"The Authority is committed to ensuring existing community uses, leases, and licenses on any reserves transferred to the Authority can continue and are not disadvantaged by the change in management arrangements"*.

All parties are currently working through what this looks like in practice, however it will likely see Council retain functional management of the three key recreation reserves identified for transfer being Stribling Reserve (Lorne), Ellimatta Reserve (Anglesea) and Spring Creek Reserve (Torquay), just with a different 'land lord'.

DELWP have also confirmed that after investigation and clarification of the boundaries the Bellbrae tennis courts site (Anglesea Rd adjacent to creek) is no longer considered on the list of Crown land to be transferred and will not include any other Bellbrae community facilities.

Key messages provided by DELWP (March 2022)

DELWP have provided a set of key messages to support the transition process as follows:

"The coast and parks along the Great Ocean Road are so special, and so important to Victorians, that the Victorian Government has established a dedicated public land and parks manager, the Great Ocean Road Coast and Parks Authority. Currently there are 10 different managers of Crown land with different responsibilities, stakeholders, priorities and timeframes. The current fragmented management arrangements inhibit a strategic response to the impacts of increasing visitation, environmental forces, severe weather events and climate change along the Great Ocean Road. Not one agency has a remit along the full length of the Road.

Surf Coast Shire Council is working with DELWP and the Great Ocean Road Coast and Parks Authority on the transfer of land management responsibility for some Crown land reserves to the Authority, ideally by mid-2024.

In total there are approximately 1,000 parcels of Crown land to be transferred to the Authority across five LGA's and nine other land managers. All transfers will be completed by 1 November 2025.

DELWP has contracted Deloitte to work with stakeholders, including Surf Coast Shire, to develop a consistent and pragmatic methodology and approach to land and asset transfers across the region. This approach involves extensive mapping of cultural, social, environmental and economic values and uses, as well as capturing the community interest and local significance attached to each parcel and asset.

A further outcome of this work will be a high-level timeline and list of transfers, which once finalised, will be broadly communicated to all stakeholders, community and user groups, this is likely to be available by the end of 2022.

All leases and licenses on any reserves transferred to the Authority will continue and are not altered by the change in management arrangements.

We are all committed to ensuring current community uses and experiences are protected and/or enhanced on any reserves transferred to the Authority through this process”.

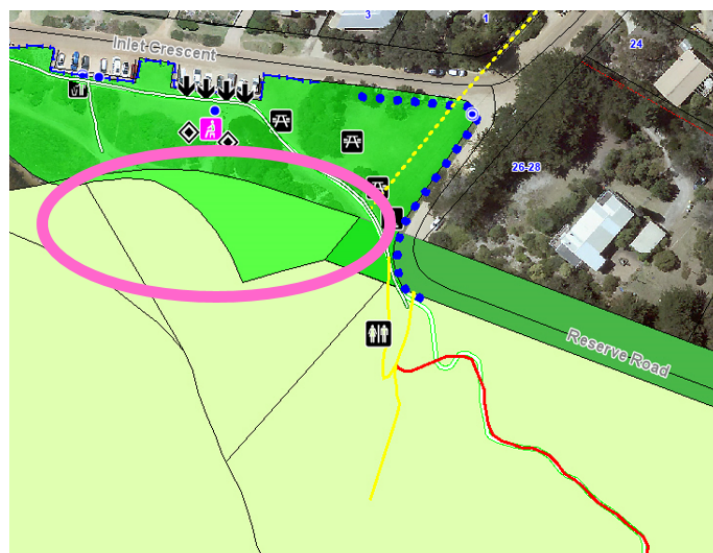
Pilot parcels to develop and test the transfer process

A co-design approach to further develop the transfer and onboarding process with the transition of two pilot ‘simple and least complex’ parcels in May 2022. The pilot parcels for consideration are Aireys Inlet Reserve (part of) and the Lorne Stoney Creek Reserve (part of).

The process begins with profiling the sites, developing an engagement plan and testing the draft methodology for transfer and on-boarding. By going first, it means that the Surf Coast Shire will have greater influence and involvement in the process design and setting the levels of required stakeholder engagement.

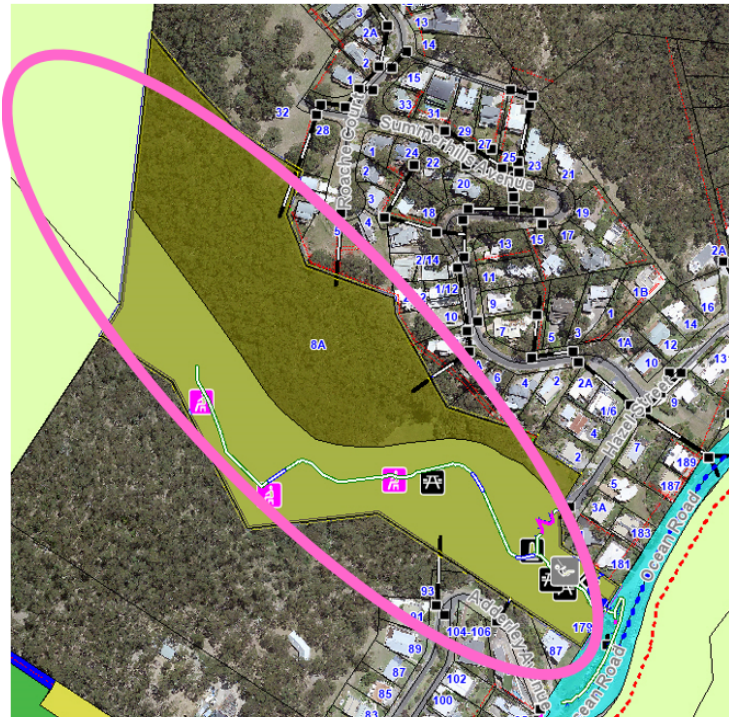
The following tables provide a brief overview of the description and features of each pilot parcel:

Aireys Inlet Reserve (part of)



SPI / LAND ID	2019\PP2015
NAME	Aireys Inlet Reserve (part of) Stony Creek Reserve
LOCATION	Aireys Inlet
LGA	Surf Coast Shire
CLASSIFICATION	Parklands and Gardens
PRIMARY USE	Passive Recreation
HIERARCHY	Precinct / District
AREA	948m ² (2.7Ha)
DESCRIPTION	Airey's Inlet adjacent to reserve. Triangular parcel.
RESERVATION PURPOSE (VOTS)	Public Purposes (foreshore)
RESERVE	Yes
TEMPORARY OR PERMANENT	Temporary
CURRENT LAND MANAGER	Surf Coast Shire
COMPLEXITY	Simple
MAINTENANCE REGIME	Aireys Inlet Reserve is adjacent to this parcel and is a P1 Reserve - Mowing on a 3 weekly cycle and garden maintenance on a 4 weekly cycle.
MANAGEMENT	Owned by GORCAPA but managed by SCS
COUNCIL ASSETS	None.
COMMUNITY INTEREST	ANGAIR (Anglesea, Aireys Inlet Society for the Preservation of Flora and Fauna). AIDA consultation important.
OTHER KNOWN ISSUES / CONSIDERATIONS	Overlap with current GORCAPA land. Clarify final boundaries. Flooding associated with closed river mouth and Potential access for machinery to open river mouth. Clarify which agency is to be responsible for river mouth openings.

Stony Creek Nature Reserve (part of)



SPI / LAND ID	4A~3\PP3015
NAME	Stony Creek Nature Reserve
LOCATION	Lorne
LGA	Surf Coast Shire
CLASSIFICATION	Environmental Reserve
PRIMARY USE	Nature Conservation
HIERARCHY	Local
AREA	27,020m2 (2.7Ha)
DESCRIPTION	Stony Creek Nature Reserve, adjacent to Lily Pond Bushland Reserve.
RESERVATION PURPOSE (VOTS)	Public Purposes
RESERVE	Yes
TEMPORARY OR PERMANENT	Temporary
CURRENT LAND MANAGER	Surf Coast Shire
COMPLEXITY	Simple
MAINTENANCE REGIME	P2 Reserve - Mowing on a 3 weekly cycle and garden maintenance on an 8 week cycle. Cleaning of flood debris around bridge supports - as required, maintenance of Structural Fire Break (SFB).
MANAGEMENT	Managed by SCS.

COUNCIL ASSETS	3 x vehicle bridges, enabling maintenance and fire vehicles to access most of the reserve, gravel (and short section asphalt) walking track, picnic tables, seats, walking path. A 40m wide SFB.
COMMUNITY INTEREST	LorneCare community group undertakes working bees, people get married with a Council permit.
OTHER KNOWN ISSUES / CONSIDERATIONS	Historical value / cultural heritage, both European and indigenous. Council owns an adjoining piece of freehold land.

Council Officers will continue to focus on a number of preparedness, assurance and risk mitigating measures including assessing our priorities, resourcing and capacity to deliver within the timeframes required. Key next steps will also include:

- Receive the Statement of Intent to the CEO from DELWP (was expected in March 2022 and now due in April 2022).
- Finalise joint communications plan and FAQs (including community messaging and consultation) and provide regular updates to the Council ahead of any changes or activities.
- Commence development of asset handover and on-boarding process and transfer two 'least complex parcels' in May 2022.
- Develop a '*Land and Asset Handover and On-boarding Process*' to ensure that not only the technical transfer is compliant but the level of service and community expectations are protected and/or enhanced by the transfer.
- Prepare internal resources and capacity to facilitate the land transfer process and requirements, recognising the high levels of dependency on officers. External resource options have been explored and were not forthcoming.
- Build capacity and confirm resourcing options with an 18-month temporary Open Space Planner role identified in the Draft 2022/23 Annual Budget.
- Provide clarity over the remaining steps in the transfer of assets to the Authority, finalise transfer of Committee of Management responsibilities of select Crown land principles and continue to provide input into drafting of Policies, GOR Strategic Framework Plan, service and management arrangements and relevant foundation studies.

Outcome Analysis

This report provides an update on the transition status, activities and next steps to ensuring an efficient and effective transfer process where the interests of the Surf Coast community and environment are protected and/or enhanced.

The activities and propositions outlined in this report are designed to achieve the following key benefits associated with the Crown land transfer process:

- Greater protection, conservation, rehabilitation and management capacity of Crown land and coastal assets within the Great Ocean Road coast and parks area.
- Simplify previously complex and fragmented management arrangements and deliver a more coherent approach to addressing the challenges of increasing visitation and climate change, by creating a single point of accountability,
- Improve economic development for a prosperous and liveable region and
- Govern an international destination of national significance as a single, integrated, and living entity, and
- Participate in a partnership approach to the implementation of the new legislation and Crown land transfers which should result in greater coordination, influence and outcomes for the community.

It is also designed to address and mitigate to the greatest extent possible the following risks associated with the land transfer process:

- Ensuring that the level of access and service related to community places and spaces is maintained and/or enhanced.
- Inadequate resourcing and participation in the compulsory process may lead to non-compliance and/or reduced outcomes, recognising the high dependency on Officers time, and
- Inadequate communications and/or information sharing may lead to confusion and unnecessary angst in the community, leading to reputational risk.

Financial and Resource Impact Analysis

The Draft 2022/23 Annual Budget contains provision for an 18-month fulltime resource to support the Social Infrastructure and Open Space team to coordinate and facilitate the land transfer, on-boarding and reverse engineering (internal change implications) process. Total proposed investment over 18 months for an Open Space Planner to fulfil this function is \$121,687.5 (\$81,125 in the first 12 months).

The return on this investment will be significant and fully understood throughout the planning phase of the process. Savings will be made by way of a likely reduction and/or efficiencies in operational requirements and other asset renewal liabilities.

Council Plan Assessment

Theme Two - Healthy Connected Community

Strategy 3 Facilitate the provision of social infrastructure and open space to enable healthy lifestyles.

Theme Three - Environmental Leadership

Strategy 7 - Protect significant habitats, landscapes and biodiversity Strategy.

Theme Seven - Accountable And Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Relevant Legislation, Policy, Strategies and Plans

Great Ocean Road Environs Protection Amendment Act 2020:

1. Provides for declaration of the Great Ocean Road coast and parks
2. Defines the Great Ocean Road coast and parks protection principles
3. Establishes the Authority to protect, conserve, rehabilitate and manage Crown land within the Great Ocean Road coast and parks and able to accept Committee of Management appointment
4. Appoints the Authority as the Committee of Management for reserves formerly managed by Great Ocean Road Coast Committee (GORCC) and Otway Coast Committee (OCC)
5. Designates the Authority as lead agency for visitation policy and planning by responsible entities in scenic landscapes area.

Previous Councillor and Audit and Risk Committee Consultation

This item is not within the scope of matters considered by the Audit and Risk Committee

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 8 March 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>Y</i>	<i>Cr Adrian Schonfelder</i>	<i>Y</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>Y</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>Y</i>		

Councillor Briefing Date: 12 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>Y</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>Y</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		

7.3 Bells Beach Committee - Term Extension

Author's Title:	Coordinator Environment
General Manager:	Chris Pike, General Manager
Department:	Environment & Sustainability
Division:	Place Making and Environment
Attachments:	<ol style="list-style-type: none">1. Bells Beach Committee Terms of Reference October 2015 CLEAN VERSION version April 2022 [7.3.1 - 6 pages]2. Bells Beach Committee Terms of Reference October 2015 TRACK CHANGES version April 2022 [7.3.2 - 6 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The Bells Beach Committee (the Committee) is appointed to assist Council as land manager with the implementation of the *Bells Beach Surfing Recreation Reserve Coastal and Marine Management Plan (2015 – 2025) (Updated 2021)* (the CMMP).

Under the Committee Terms of Reference, members are appointed by Council for a three-year term. Council appointed the current Impartial Chair by resolution on 12 December 2017 and approved remuneration of a small honorarium for the Chair's attendance at each Committee meeting and any Council meeting. Council appointed the remaining Committee members by resolution on 27 November 2018. The term of all Committee members has now expired.

Bells Beach Surfing Recreation Reserve (the Reserve) is currently managed by Council as Committee of Management. The Reserve is due to be transferred to the Great Ocean Road Coast and Parks Authority (GORCAPA) by the end of 2023.

The Committee is working well together and provides a critical link to our community. Committee members' knowledge and experience of the Reserve and its management would be helpful in the transition to GORCAPA. Establishment of the Bells Beach Committee is a CMMP requirement.

Minor, mostly administrative, changes to the current Terms of Reference are tracked and attached to this report.

Outcome Statement

Extending the term of current Committee members will continue to help guide Council with its management of the Reserve and facilitate a smooth transition to GORCAPA.

<i>Key benefits</i>	<i>Key risks</i>
Retention of Committee members who work well together and are knowledgeable and experienced about the Reserve and its management.	There is small reputational risk if a public expression of interest process to extend the term of existing Committee members is not undertaken.
Retaining existing Committee members will help facilitate a smooth transition to GORCAPA.	Potential community member dissatisfaction if other community members wish to join the Committee but are not able to do so.
Bells Beach Committee re-established in accordance with CMMP requirements.	There is reputational risk if the Council does not have the Bells Beach Committee providing community advice on reserve management in accordance with the CMMP.

Finance and Resource Implications

The Committee generally meets four times a year, with other meetings as required. Supporting the Committee costs approximately \$3,000 each year (including remuneration of the Impartial Chair but excluding staff time) and this is covered under existing operational project budget through to transition to GORCAPA.

Community Engagement

A public expression of interest process was followed for the appointment of the Impartial Chair in 2017 and the independent community nominees in 2018. The positions were advertised for a two-week period, promoted on Council social media and distributed to key user groups and local networks by Committee members.

The current Impartial Chair and six independent community nominees have been asked to confirm their interest in remaining on the Committee until the Reserve is transferred to GORCAPA. The Chair and all Committee members have all expressed interest in remaining on the Committee except community member Graeme Stockton who has decided to resign from the Committee.

Recommendation

That Council:

1. Notes that the Bells Beach Surfing Recreation Reserve is scheduled to be transferred to the Great Ocean Road Coast and Parks Authority (GORCAPA) by the end of 2023.

2. Extends the term of the Bells Beach Committee to 31 December 2023 or until transfer of the Reserve to GORCAPA, whichever occurs first.
3. Approves extending the current rate of remuneration of the Impartial Chair for attending Bells Beach Committee meetings and for attendance at Council meetings if required.
4. Re-appoints all current Committee members, except Graeme Stockton who has resigned from the Committee.
5. Adopts the updated Bells Beach Committee Terms of Reference as attached at Appendix 1.

Council Resolution

Moved Cr Bodsworth, Seconded Cr Pattison

That Council:

1. Notes that the Bells Beach Surfing Recreation Reserve is scheduled to be transferred to the Great Ocean Road Coast and Parks Authority (GORCAPA) by the end of 2023.
2. Extends the term of the Bells Beach Committee to 31 December 2023 or until transfer of the Reserve to GORCAPA, whichever occurs first.
3. Approves extending the current rate of remuneration of the Impartial Chair for attending Bells Beach Committee meetings and for attendance at Council meetings if required.
4. Re-appoints all current Committee members, except Graeme Stockton who has resigned from the Committee.
5. Adopts the updated Bells Beach Committee Terms of Reference as attached at Appendix 1.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – Do not appoint members to the Committee

This option is not recommended by officers as appointing members to the Committee is a requirement of the CMMP and the Committee provides an important communication link with our community. The current Committee is working well together and their knowledge and experience of the Reserve and its management will help facilitate an effective transition to GORCAPA.

Alternative Option 2 – Re-advertise the Bells Beach Committee positions

This option is not recommended by officers as the term of the next Committee will only be about 16 months and the public Expression of Interest process is time consuming and resource intensive. The current Committee is working well together and current members' knowledge and experience of the Reserve and its management will help facilitate an effective transition to GORCAPA.

Report

Background

Council became the Committee of Management for the Bells Beach Surfing Recreation Reserve (the Reserve) in 1971. Since that time, an advisory committee made up of councillors and community members has assisted Council in its management of the Reserve. The Bells Beach Community Advisory Committee operated until mid-2013, when a community-based Task Force was appointed by Council to assist with developing a new vision and coastal management plan for the Reserve.

As part of the development of the current Coastal and Marine Management Plan (CMMP), the makeup and responsibilities of a new committee were discussed extensively. These discussions resulted in recommendations for a new committee to be created in accordance with Terms of Reference. The requirement to create a Bells Beach Committee and the final Terms of Reference were included in the Bells Beach Surfing Recreation Reserve CMMP 2015 – 2025, adopted by Council in October 2015. The requirement to establish the Bells Beach Committee was retained in the updated CMMP, adopted by Council in November 2019. The Committee continues to operate under the Terms of Reference approved in 2015.

The current Bells Beach Committee was appointed by Council in October 2017 after a public expression of interest process. Council appointed the current Impartial Chair, Jane Currie on 12 December 2017 and the other Committee members on 27 November 2018. A public expression of interest process was followed for these appointments.

Under the Committee's Terms of Reference, members are appointed for a three-year term. The term of all current Committee members has expired.

Discussion

Reserve Transfer to GORCAPA

The Bells Beach Surfing Recreation Reserve (the Reserve) covers 29.5 hectares of Crown land managed by Council as committee of management. The Department of Environment, Land, Water and Planning (DELWP) and GORCAPA have recently

advised Council that the Reserve will be transferred to GORCAPA by the end of 2023.

Council owns 16.5 hectares of freehold land adjacent to the Reserve. This land was purchased in the 1960s to preserve vegetation and enable construction of a through road. Under the *Great Ocean Road and Environs Protection Act 2020*, the definition of 'public land' excludes land owned by a municipal council and so this land will remain with Council after the GORCAPA transition process.

GORCAPA have not yet made a decision about retaining or appointing a community advisory committee for the Reserve (or a broader area). GORCAPA and DELWP staff attended the Bells Beach Committee meeting in February 2022 and advised that they looking to understand the interests and needs of all parties involved in the various reserves and wish to continue to empower volunteers and build their capacity.

Operation of Current Committee

The current Committee is performing well and has assisted in building a higher level of community trust in Council's management of the Reserve. The Committee provides an important link to the community, supports our organisational direction and purpose and implementation of the CMMP. Committee members are knowledgeable about the Reserve and its management and will play an important role in transitioning from Council as land manager to GORCAPA. Committee members are keen to continue their advocacy to GORCAPA and DELWP to retain a community advisory committee for the Reserve.

Structure of Committee

Under the Terms of Reference, the membership of the Committee consists of:

- One Impartial Chair (publicly advertised)
- Two Surf Coast Shire Councillors
- One Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC) (Registered Aboriginal Party) representative
- One Surfing Victoria representative, and
- Six independent community nominees.

The original number of independent community nominees in the Terms of Reference was five, but was increased to six when Council appointed the current independent community nominees on 27 November 2018. The Chair is paid an honorarium to prepare for and attend each Committee meeting and for attendance at any Council meeting.

The current Committee members are:

- Jane Currie - Impartial Chair

- Mike Bodsworth and Paul Barker - Surf Coast Shire Councillors
- Corrina Eccles - Wadawurrung Traditional Owner and WTOAC representative
- Adam Robertson - Surfing Victoria representative
- Dave Matthews, Graeme Stockton, Hugh Gorman, Cahill Bell-Warren, Andrew Cherubin and James Deans – independent community nominees

Re-nomination Process

All current Committee members have been asked to confirm if they are interested in remaining on the Committee until the Reserve is transferred to GORCAPA. The Impartial Chair and other Committee members have all confirmed their desire to stay on the Committee except Graeme Stockton who has advised that he doesn't wish to remain on the Committee.

Outcome Analysis

The CMMP requires the establishment of a Bells Beach Committee, comprising members with knowledge and experience in environmental management, indigenous heritage and surfing, to advise Council on CMMP implementation. This requirement reflects the desire for community members to have an ongoing role in reserve management.

The current Committee is working well together and provides an important link to our community. Their knowledge of the Reserve and its management will help facilitate management transition to GORCAPA.

Council undertook a public expression of interest process prior to the appointment of the current Impartial Chair and independent community nominees. As the Reserve is due to be transferred to GORCAPA by the end of next year, the term extension of current Committee members would only be for a further 16 – 18 months.

Financial and Resource Impact Analysis

There are no significant financial and resource implications in extending the term of Committee members. Costs associated with the Committee will be covered by existing resources and budget.

Council Plan Assessment

Theme Two - Healthy Connected Community

Strategy 3 Facilitate the provision of social infrastructure and open space to enable healthy lifestyles.

Theme Three - Environmental Leadership

Strategy 7 - Protect significant habitats, landscapes and biodiversity Strategy.

Relevant Legislation, Policy, Strategies and Plans

As the land manager for the Reserve, Council is required under the *Marine and Coastal Act 2018* to develop a Coastal and Marine Management Plan (CMMP) for the Reserve. The updated CMMP was adopted by Council on 26 November 2019, approved by the Minister in February 2021 and gazetted on 29 April 2021. Council is required under the CMMP to establish the Bells Beach Committee to advise Council on CMMP implementation.

Previous Councillor and Audit and Risk Committee Consultation

This item was discussed at the following Councillor briefing prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 5 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		



1. Background

Surf Coast Shire is committed to ensuring that the Bells Beach Surfing Recreation Reserve remains a special place for the community. Bells Beach is famous for its natural beauty, heritage, surf breaks and high profile surfing events. For many users, the place is 'spiritual', with multiple Aboriginal and surfing cultural sites of significance.

Located near the Great Ocean Road, Bells Beach also attracts a large variety of tourists. Each group interacts with the land in different ways, but they are all drawn to the reserve's natural wonders and sense of history.

The Coastal and Marine Management Plan provides a strategic vision for the reserve. It seeks to retain the existing attributes as well as address current and future user needs and management issues.

The Bells Beach Committee (the Committee) is appointed to assist Surf Coast Shire Council (as land manager) with the implementation of the *Bells Beach Surfing Recreation Reserve Coastal and Management Plan 2015-25 (Updated 2021)* referred to as 'the CMMP' in these Terms of Reference.

Bells Beach Surfing Recreation Reserve (the Reserve) is currently managed by Council as Committee of Management. The Reserve is due to be transferred to the Great Ocean Road Coast and Parks Authority (GORCAPA) by the end of 2023.

2. Responsibilities

i. Advice and recommendations

The Committee may:

- a) Provide advice or make recommendations to Council on any aspect relating to the implementation of the CMMP, including detailed designs for replacement or new infrastructure.
- b) Make recommendations about the timing and prioritisation of works.
- c) Advise Council on the need for and nature of broader community consultation on the implementation of any of the recommendations of the CMMP.
- d) Provide advice on the implementation of the Events Policy.
- e) Advise on any other relevant matters relating to the reserve, subject to the matters and advice being consistent with the CMMP.

ii. Monitoring

The Committee will monitor:

- a) Progress towards implementation of the CMMP.
- b) Effectiveness of any works or management changes undertaken during implementation of the CMMP.

The Committee may request an onsite inspection with Council staff to further investigate any recommendations of the CMMP.

iii. Reporting

The minutes of each Committee meeting will be tabled at the next Council meeting.

The Chair of the Committee will annually provide a written report or a briefing to Council at the December Ordinary Council Meeting, assessing the implementation of the CMMP against measures agreed on by the Committee.

Reports will be made available to interested community members via Council. If a report is tabled, it will be made available to interested community members via Council's website.

iv. Out of scope

The Committee is appointed to undertake the roles described above. Direct management and budgetary decisions are beyond the scope of the Committee.

3. Objectives

The objective of the Bells Beach Committee is to provide appropriate advice and recommendations to Council relating to:

- i. implementation of the *Bells Beach Surfing Recreation Reserve Coastal and Marine Management Plan 2015-25 (Updated 2021)*
- ii. designs and plans associated with the implementation of the CMMP, and
- iii. consultation and engagement to collect the views of reserve users on implementation of the CMMP.

The work of the Committee will be guided by the vision, guiding principles, core values and goals outlined in the CMMP. Its vision for the reserve is:

To respect and protect the natural environment, Wadawurrung heritage and surfing culture of Bells Beach.

This vision aligns with the vision contained in the *Marine and Coastal Policy 2020* of:

A healthy, dynamic and biodiverse marine and coastal environment that is valued in its own right, and that benefits the Victoria community, now and in the future

Two **principles** – respect and protect – and three **core values** – natural environment, Wadawurrung heritage and surfing culture – underpin the plan's vision, goals, actions and outcomes.

The following overarching management goals provide a clear direction in relation to the reserve's future management:

1. Protect and enhance ecological and geophysical values
2. Protect and promote indigenous archaeological, social, cultural and historic values
3. Recognise the Wadawurrung people's long association with the reserve, including the interconnections between land, people and biodiversity
4. Recognise the unique surfing heritage and the importance of surfing, and continue to cater for surfing and surfing events, including the Rip Curl Pro

5. Continue to cater for activities consistent with the vision
6. Ensure risks are minimised, recognising that the reserve is a natural place and risk cannot be eliminated
7. Minimise buildings and infrastructure
8. Protect existing waterways and minimise the site impacts of stormwater runoff, and
9. Acknowledge the importance of the setting within a rural hinterland landscape.

4. Membership

The Bells Beach Committee will consist of:

- One Impartial Chair (publically advertised)
- Two Surf Coast Shire Councillors
- One Wadawurrung Traditional Owners Aboriginal Corporation (Registered Aboriginal Party) representative – subject to staff availability
- One Surfing Victoria representative, and
- Six independent community nominees.

Additional Council staff may attend meetings to support the operations of the Committee and in an advisory capacity.

5. Appointment of members

i. Impartial Chair

Appointment of the Impartial Chair will occur through a publically advertised Expression of Interest process.

The following key qualities are required when appointing the Impartial Chair:

- a) A high level of knowledge of the reserve and its users
- b) Demonstrated experience on public committees
- c) Strong communication, mediation, facilitation and negotiation skills, and
- d) Sufficient time available to devote to the responsibilities of Impartial Chair.

Appointment process

Council will appoint the Impartial Chair after consideration of the applications received.

ii. Nominated representatives

The Wadawurrung Traditional Owners Aboriginal Corporation and Surfing Victoria will provide Council with a written nomination of their organisations' proposed representatives. Nominated representatives will represent the views of their organisations and will act in the best interests of the reserve.

Nominated representatives will:

- a) Have an intimate knowledge of the reserve and its various users
- b) Be able to communicate effectively with other committee members and with the wider community
- c) Be able to work constructively and collaboratively as a committee member and respect a range of views that might be provided by other members
- d) Comply with confidentiality and media protocols, and

- e) Be authorised to represent the views of their respective organisations.

Appointment process

Council will appoint the nominated representatives after considering the nominations.

iii. Independent community nominees

Independent community nominees will be Surf Coast Shire residents with a sound knowledge of the reserve and its users. Key skills required relate to the management of the natural environment, Wadawurrung heritage and surfing culture values. Independent members will be appointed for the attributes they hold and will perform their role independently.

Independent community nominees will:

- a) be able to commit to at least four meetings each year
- b) have an intimate knowledge of the reserve and its various users and user groups
- c) be able to communicate effectively with other committee members and with the wider community
- d) be able to work constructively and collaboratively as a committee member and respect a range of views that might be provided by other members, and
- e) comply with confidentiality and media protocols.

Collectively, the independent nominees will hold the following knowledge, skills and experiences:

- a) an understanding of coastal environmental management
- b) practical environmental management experience
- c) knowledge and understanding of Aboriginal heritage
- d) knowledge and understanding of surfing
- e) knowledge and understanding of the key user groups
- f) experience in understanding and interpreting documents and plans
- g) events management knowledge, and
- h) infrastructure management and maintenance experience.

There are a range of key user groups (eg local surfing and environmental groups) that contribute significantly to the ongoing management of the reserve. Council welcomes nominations for the independent community nominee positions from members of these key user groups in the reserve or people with a demonstrated interest in the natural environment, indigenous heritage and surfing culture of Bells Beach.

Appointment process

Appointment of independent community nominees will be through a publically advertised Expression of Interest process. Applicants will need to demonstrate their relevant knowledge, skills and experience against the selection criteria outlined above.

The applications will be considered by a selection panel and then considered for endorsement by Council at an Ordinary Council Meeting. In deciding on the

appointments, Council must have regard to the ability of the appointee to demonstrate the attributes listed in clause 5 iii).

Following adoption by Council, the Bells Beach Committee will be convened.

6. Term

The term of appointment is to 31 December 2023 or until transfer of the Reserve to GORCAPA, whichever occurs first.

7. Proceedings

i. Meetings

- The Committee will meet at least four times per year, with any other meetings as required.
- The duration of each meeting should not generally exceed two hours.
- Agendas will be prepared and distributed seven days in advance of the meeting, along with appropriate briefing material.
- In the absence of the Chair from the meeting, a Councillor will act as Chair. In the absence of a Councillor, the members present will agree on a Chair.
- Meetings will be minuted.
- Council shall provide secretarial and administration support.
- Meeting minutes will be noted at the next Ordinary Council Meeting. Should Council resolve on any recommendations or advice made by the Committee or on any other matter that relates to the reserve, the Committee will be advised of this resolution.

ii. Proxies

No proxies can be nominated to attend in place of an appointed Committee member.

iii. Quorum

Any five members of the Committee, three of which must be either nominated or independent representatives.

iv. Voting

The Committee will make every effort to arrive at its advice by consensus. If consensus is not possible, matters will be resolved by a majority of the votes of members present, and the Chair shall have the casting vote if the votes are equal. If the Committee is unable to agree on its advice, all views/advice will be presented to Council for consideration.

v. Vacancies

In the case of a vacancy on the Committee, Council can appoint a new member for a term not exceeding the date set down for the expiry of the term of office of the retiring member.

Councillors will be appointed/reappointed as soon as practicable after Council elections.

8. Remuneration

The Chair will be offered an honorarium in acknowledgement of the responsibilities involved in assisting with preparation of the agenda, finalisation of the minutes and possibly communicating the activities of the Committee among the local community.

Other members will participate on the Committee as volunteers.

9. Confidentiality

Committee members shall not, directly or indirectly, release or make available to any person any information relating to the work or discussions of the Committee, of which he or she is a member, that is or was in his or her possession, except in accordance with such terms and in such a manner as stipulated by Surf Coast Shire Council.

10. Removal of a member

Membership of the Committee can be rescinded by a decision of Council on the recommendation of the General Manager, Place Making and Environment.

Members may be granted a leave of absence by the Chair. Missing three consecutive meetings without a leave of absence will mean that the person will no longer be a member of the Committee.



Bells Beach Committee Terms of Reference

(~~October~~ April 2022)

1. Background

Surf Coast Shire is committed to ensuring that the Bells Beach Surfing Recreation Reserve remains a special place for the community. Bells Beach is famous for its natural beauty, heritage, surf breaks and high profile surfing events. For many users, the place is 'spiritual', with multiple Aboriginal and surfing cultural sites of significance.

Located near the Great Ocean Road, Bells Beach also attracts a large variety of tourists. Each group interacts with the land in different ways, but they are all drawn to the reserve's natural wonders and sense of history.

The Coastal and Marine Management Plan (~~CMP~~) provides a strategic vision for the reserve. It seeks to retain the existing attributes as well as address current and future user needs and management issues.

The Bells Beach Committee (the Committee) is appointed to assist Surf Coast Shire Council (as land manager) with the implementation of the *Bells Beach Surfing Recreation Reserve Coastal and Management Plan 2015-25 (Updated 2021) and the associated ~~Bells Beach Surfing Recreation Reserve Coastal Implementation Plan 2015-18~~* referred to as 'the CMMPPPlans' in these Terms of Reference.

Bells Beach Surfing Recreation Reserve (the Reserve) is currently managed by Council as Committee of Management. The Reserve is due to be transferred to the Great Ocean Road Coast and Parks Authority (GORCAPA) by the end of 2023.

2. Responsibilities

i. Advice and recommendations

The Committee may:

- a) Provide advice or make recommendations to Council on any aspect relating to the implementation of the CMMPPPlans, including detailed designs for replacement or new infrastructure.
- b) Make recommendations about the timing and prioritisation of works.
- c) Advise Council on the need for and nature of broader community consultation on the implementation of any of the recommendations of the CMMPPPlans.
- d) Provide advice on the implementation of the Events Policy.
- e) Advise on any other relevant matters relating to the reserve, subject to the matters and advice being consistent with the CMMPPPlans.

ii. Monitoring

The Committee will monitor:

- a) Progress towards implementation of the CMMPPPlans.
- b) Effectiveness of any works or management changes undertaken during implementation of the CMMPPPlans.

The Committee may request an onsite inspection with Council staff to further investigate any recommendations of the CMMPPlans.

iii. Reporting

The minutes of each Committee meeting will be tabled at the next Council meeting.

The Chair of the Committee will annually provide a written report or a briefing to Council at the December Ordinary Council Meeting, assessing the implementation of the CMMPPlans against measures agreed on by the Committee.

Reports will be made available to interested community members via Council. If a report is tabled, it will be made available to interested community members via Council's website.

iv. Out of scope

The Committee is appointed to undertake the roles described above. Direct management and budgetary decisions are beyond the scope of the Committee.

3. Objectives

The objective of the Bells Beach Committee is to provide appropriate advice and recommendations to Council relating to:

- i. implementation of the *Bells Beach Surfing Recreation Reserve Coastal and Management Plan 2015-25 (Updated 2021) and the Bells Beach Surfing Recreation Reserve Implementation Plan 2015-18*
- ii. designs and plans associated with the implementation of the CMMPPlans, and
- iii. consultation and engagement to collect the views of reserve users on implementation of the CMMPPlans.

The work of the Committee will be guided by the vision, guiding principles, core values and goals outlined in the CMMP. Its vision for the reserve is:

To respect and protect the natural environment, Wadawurrungindigenous heritage and surfing culture of Bells Beach.

This vision aligns with the vision contained in the *Marine and Coastal Policy 2020* ~~Victorian Coastal Strategy 2014~~ of:

A healthy, dynamic and biodiverse marine and coastal environment that is valued in its own right, and that benefits the Victoria community, appreciated by all, now and in the future

Two **principles** – respect and protect – and three **core values** – natural environment, Wadawurrungindigenous heritage and surfing culture – underpin the plan's vision, goals, actions and outcomes.

The following overarching management goals provide a clear direction in relation to the reserve's future management:

1. Protect and enhance ecological and geophysical values
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3. Recognise the Wadawurrung people's long association with the reserve, including the interconnections between land, people and biodiversity

4. Recognise the unique surfing heritage and the importance of surfing, and continue to cater for surfing and surfing events, including the Rip Curl Pro
5. Continue to cater for activities consistent with the vision
6. Ensure risks are minimised, recognising that the reserve is a natural place and risk cannot be eliminated
7. Minimise buildings and infrastructure
8. Protect existing waterways and minimise the site impacts of stormwater runoff, and
9. Acknowledge the importance of the setting within a rural hinterland landscape.

4. Membership

The Bells Beach Committee will consist of:

- One Impartial Chair (publically advertised)
- Two Surf Coast Shire Councillors
- One ~~Wadawurrung Traditional Owners~~ ~~thaurung~~ Aboriginal Corporation (Registered Aboriginal Party) representative – subject to staff availability
- One Surfing Victoria representative, and
- ~~SixFive~~ independent community nominees.

Additional Council staff may attend meetings to support the operations of the Committee and in an advisory capacity.

5. Appointment of members

i. Impartial Chair

Appointment of the Impartial Chair will occur through a publically advertised Expression of Interest process.

The following key qualities are required when appointing the Impartial Chair:

- a) A high level of knowledge of the reserve and its users
- b) Demonstrated experience on public committees
- c) Strong communication, mediation, facilitation and negotiation skills, and
- d) Sufficient time available to devote to the responsibilities of Impartial Chair.

Appointment process

Council will appoint the Impartial Chair after consideration of the applications received.

ii. Nominated representatives

The ~~Wadawurrung Traditional Owners~~ ~~thaurung~~ Aboriginal Corporation and Surfing Victoria will provide Council with a written nomination of their organisations' proposed representatives. Nominated representatives will represent the views of their organisations and will act in the best interests of the reserve.

Nominated representatives will:

- a) Have an intimate knowledge of the reserve and its various users
- b) Be able to communicate effectively with other committee members and with the wider community
- c) Be able to work constructively and collaboratively as a committee member and

- respect a range of views that might be provided by other members
- d) Comply with confidentiality and media protocols, and
- e) Be authorised to represent the views of their respective organisations.

Appointment process

Council will appoint the nominated representatives after considering the nominations.

iii. Independent community nominees

Independent community nominees will be Surf Coast Shire residents with a sound knowledge of the reserve and its users. Key skills required relate to the management of the natural environment, Wadawurrung heritage and surfing culture values. Independent members will be appointed for the attributes they hold and will perform their role independently.

Independent community nominees will:

- a) be able to commit to at least four meetings each year
- b) have an intimate knowledge of the reserve and its various users and user groups
- c) be able to communicate effectively with other committee members and with the wider community
- d) be able to work constructively and collaboratively as a committee member and respect a range of views that might be provided by other members, and
- e) comply with confidentiality and media protocols.

Collectively, the independent nominees will hold the following knowledge, skills and experiences:

- a) an understanding of coastal environmental management
- b) practical environmental management experience
- c) knowledge and understanding of Aboriginal heritage
- d) knowledge and understanding of surfing
- e) knowledge and understanding of the key user groups
- f) experience in understanding and interpreting documents and plans
- g) events management knowledge, and
- h) infrastructure management and maintenance experience.

There are a range of key user groups (eg local surfing and environmental groups) that contribute significantly to the ongoing management of the reserve. Council welcomes nominations for the independent community nominee positions from members of these key user groups in the reserve or people with a demonstrated interest in the natural environment, indigenous heritage and surfing culture of Bells Beach.

Appointment process

Appointment of independent community nominees will be through a publically advertised Expression of Interest process. Applicants will need to demonstrate their relevant knowledge, skills and experience against the selection criteria outlined above.

The applications will be considered by a selection panel and then considered for endorsement by Council at an Ordinary Council Meeting. In deciding on the

appointments, Council must have regard to the ability of the appointee to demonstrate the attributes listed in clause 5 iii).

Following adoption by Council, the Bells Beach Committee will be convened.

6. Term

The term of appointment is to 31 December 2023 or until transfer of the Reserve to GORCAPA, whichever occurs first. ~~three years.~~

7. Proceedings

i. Meetings

- The Committee will meet at least four times per year, with any other meetings as required.
- The duration of each meeting should not generally exceed two hours.
- Agendas will be prepared and distributed seven days in advance of the meeting, along with appropriate briefing material.
- In the absence of the Chair from the meeting, a Councillor will act as Chair. In the absence of a Councillor, the members present will agree on a Chair.
- Meetings will be minuted.
- Council shall provide secretarial and administration support.
- Meeting minutes will be noted at the next Ordinary Council Meeting. Should Council resolve on any recommendations or advice made by the Committee or on any other matter that relates to the reserve, the Committee will be advised of this resolution.

ii. Proxies

No proxies can be nominated to attend in place of an appointed Committee member.

iii. Quorum

Any five members of the Committee, three of which must be either nominated or independent representatives.

iv. Voting

The Committee will make every effort to arrive at its advice by consensus. If consensus is not possible, matters will be resolved by a majority of the votes of members present, and the Chair shall have the casting vote if the votes are equal. If the Committee is unable to agree on its advice, all views/advice will be presented to Council for consideration.

v. Vacancies

In the case of a vacancy on the Committee, Council can appoint a new member for a term not exceeding the date set down for the expiry of the term of office of the retiring member.

Councillors will be appointed/reappointed as soon as practicable after Council elections.

8. Remuneration

The Chair will be offered an honorarium in acknowledgement of the responsibilities involved in assisting with preparation of the agenda, finalisation of the minutes and possibly communicating the activities of the Committee among the local community.

Other members will participate on the Committee as volunteers.

9. Confidentiality

Committee members shall not, directly or indirectly, release or make available to any person any information relating to the work or discussions of the Committee, of which he or she is a member, that is or was in his or her possession, except in accordance with such terms and in such a manner as stipulated by Surf Coast Shire Council.

10. Removal of a member

Membership of the Committee can be rescinded by a decision of Council on the recommendation of the General Manager, Place Making and ~~Environment and Development~~.

Members may be granted a leave of absence by the Chair. Missing three consecutive meetings without a leave of absence will mean that the person will no longer be a member of the Committee.

7.4 SCS-012 Signage on Council Managed Land Policy Review

Author's Title:	Coordinator Economic Development
General Manager:	Chris Pike, General Manager
Department:	Economic Development, Arts and Tourism
Division:	Place Making and Environment
Attachments:	<ol style="list-style-type: none">1. DRAFT SCS-012 Signage on Council Managed Land Policy - Updated February 2022 [7.4.1 - 3 pages]2. With Tracked Changes - SC S-012 Signage on Council Managed Land Policy - Updated February 2022 [7.4.2 - 3 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The SCS-012 Signage on Council Managed Land Policy defines the principles for effective signage and the authority which allows the regulation of all signage on land that is owned or managed by Council.

The policy references related procedures and guidelines to provide further guidance for Council officers on particular types of signs, the process of approval, and relevant considerations for each type of signage.

Both the Policy and Management Procedure are due for periodic review.

Key Changes to the Policy include:

- Updated to a new Council Policy template
- Local Government Act Principles inserted
- A new line is proposed to be included in the policy statement:

Priority will be given to signage for a named precinct or to indicate a location with a number of facilities and services. Where the precinct is not named, clear road name signage or generic terms e.g. 'shops' will be used. Individual facilities, services or businesses located within the precinct will not be signed from the road. Smaller way-finding signage may be used within a precinct to support clear direction.

The Policy remains important and relevant and is attached for adoption largely unchanged.

Outcome Statement

This policy positions officers to fairly and efficiently handle enquiries from mostly private businesses seeking to promote their business. It enables officers to prevent a proliferation of signs on council land.

<i>Key benefits</i>	<i>Key risks</i>
Clear direction on signage	Having an inconsistent or unclear approach to signage can lead to inequity in decision making and sign proliferation.
Greater transparency in decision making	
Reflects the intention of the relevant State Government reference documents eg. Planning, Road Management Act.	

Finance and Resource Implications

There are no direct finance or resource implications in adopting this policy.

The policy will assist in reducing red tape, staff time and assessment of sign applications by clarifying the basic principles for effective signage to guide decision making.

Community Engagement

No community engagement was completed as a part of the review. The document was reviewed by subject matter experts within Council who have an excellent understanding of the regulation framework regarding the many types of signs.

Recommendation

That Council adopts SCS-012 Signage on Council Managed Land Policy as attached at Appendix 1.

Council Resolution

Moved Cr Schonfelder, Seconded Cr Gazzard

That Council adopts SCS-012 Signage on Council Managed Land Policy as attached at Appendix 1.

CARRIED 5|2

For	Against	Abstained
Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton	Cr Bodsworth Cr Wellington	Nil

Alternative Options

Alternative Option 1 – Do not adopt the SCS-012 Signage on Council Managed Land Policy.

This option is not recommended by officers as it clarifies the basic principles for effective signage and the authority to issue a permit for signage. The Policy has been reviewed by a number of subject matter experts who have an excellent understanding of the regulation framework regarding the many types of signs. Further, its adoption will assist in reducing red tape, staff time and assessment of sign applications by clarifying the basic principles for effective signage to guide decision making.

Report

Background

The SCS-012 Signage on Council Managed Land Policy defines the principles for effective signage and the authority which allows the regulation of all signage on land that is owned or managed by Council.

The policy authorises a related Management Procedures (internal document) to provide further guidance for Council officers on particular types of signs, the process of approval, and relevant considerations for each type of signage.

Both the Policy and Management Procedure are due for review as part of a three-year cycle to ensure that the documents are current

Discussion

This report seeks to implement the new Policy for a period of three years, until March 2025, at which point the Policy will be reviewed again to ensure it remains current.

The related Policy and Management Procedure have been reviewed by all relevant Council Departments.

Sign decisions can often be complex and a range of competing factors will influence the final decision. A clear Policy will reduce ambiguity on what type of signage permitted, support way-finding decisions and a reduce sign proliferation.

An example of this in practice would be to provide a sign to Banyul-Warri Fields to help anyone playing football, soccer, cricket, netball, touch football, etc to be able to find the destination. In this case, any application for signage a single sporting club for road signage would not be supported.

The Policy is attached for review and adoption.

Financial and Resource Impact Analysis

There are no direct finance or resource implications in adopting this policy.

The policy will assist in reducing red tape, staff time and assessment of sign applications by clarifying the basic principles for effective signage to guide decision making.

Council Plan Assessment

Theme Two - Healthy Connected Community

Strategy 3 Facilitate the provision of social infrastructure and open space to enable healthy lifestyles.

Theme Seven - Accountable And Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Signage on Council managed land is an important element of the amenity and character of a community. The design and location of signs may positively or negatively affect the character of the environment, both built and natural.

Therefore, signage must be functional and complementary to the location in which it is sited and support our community and visitors with way finding decisions.

The policy and procedure supports consistency and equity in considering requests for signage on Council managed land.

Relevant Legislation, Policy, Strategies and Plans

The following reference documents are noted as providing more detailed advice regarding Council's authority and sign considerations.

- Surf Coast Shire - Planning Scheme.
- Surf Coast Shire - Community Amenity Local Law No. 1.
- Road Management Act 2004.

Previous Councillor and Audit and Risk Committee Consultation

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 5 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>Y</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>N</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>N</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		



SCS-012 Signage on Council Owned or Managed Land

TRIM Reference: D22/22175 Due for Review: 9 February 2025
Responsible Officer: Manager Economic Development, Arts & Tourism

Purpose

The purpose of this policy is to define the principles for effective signage and the authority which allows the regulation of all signage on land that is owned or managed by Council.

Policy Principles

The policy authorises the Signage on Council Managed Land Management Procedures to provide further guidance for Council officers on particular types of signs, the process of approval and relevant considerations for each type of signage.

Scope

This policy applies to the regulation of all signs within the Surf Coast Shire on which Council owned or controlled land. Signage on all other land should be referred to the relevant authority.

Policy

Surf Coast Shire Council is committed to regulating signage that is effective and supports way-finding in a consistent, clear, logical and user-friendly manner.

Signage is an important element of the amenity and character of a community. The design and location of signs may positively or negatively affect the character of the environment, both built and natural.

Therefore, signage must be functional and complementary to the location in which it is sited.

Priority will be given to signage for a named precinct or to indicate a location with a number of facilities and services. Where the precinct is not named, clear road name signage or generic terms e.g. 'shops' will be used. Individual facilities, services or businesses located within the precinct will not be signed from the road. Smaller way-finding signage may be used within a precinct to support clear direction.

It must not dominate or intrude upon the character and visual amenity of an area, the buildings on which they are displayed and the general environment.

Basic Principles for Effective Signage

The following principles will be applied:

Signs must be:

1. Located at sites where directional decisions are made to help way-finding decisions.
2. Consistent in appearance and placement.
3. Grouped together and aggregated where possible to avoid sign proliferation.
4. Sited in a way that will not affect driver or pedestrian safety and access.
5. Kept to the minimum number of signs required for effective communication.
6. Designed to ensure the size, type and layout of lettering on signs is clear and legible.
7. Concise with the amount of text kept to a minimum.
8. Designed to replace words with recognised symbols where practicable.

Authority to Issue a Signage Permit

A permit for signage can be approved by a Council authorised officer.



The Surf Coast Shire Planning Scheme regulates the display of many signs and associated structures. [Section 52.05-4](#) of the Scheme identifies all circumstances where a planning permit is not required.

In the circumstances where a planning permit is not required, a permit for signage will be issued under the Surf Coast Shire Community Amenity Local Law No. 1 or the Road Management Act 2004.

Council Officers will endeavour to help applicants meet the requirements contained within this document and will advise of the circumstances where such an application cannot be approved.

The issuing of a permit is deemed to be a privilege or an opportunity offered to the applicant, rather than a right, even if the area is deemed suitable. Council may choose to allocate the space for other activities or not to proceed with a sign installation at its discretion.

All such decisions will be based on this policy, the Signage on Council Managed Land Management Procedures, Tourism Sign Guidelines, or any other relevant legislation, standard or guidelines referred to herein.

Local Government Act 2020 Principles

Principles	Applicable to policy	If yes, provide details
Governance Principles (Consideration of the Governance Principles under s.9 of LGA 2020)	Yes	<i>9(a) Council decisions are to be made and actions taken in accordance with the relevant law. 9(b) Priority is to be given to achieving the best outcomes for the municipal community, including future generations. 9(i) The transparency of Council decisions, actions and information is to be ensured.</i>
Community Engagement (Consideration of Community Engagement Principles under s.56 LGA 2020)	No	
Public Transparency (Consideration of Public Transparency Principles under s.58 of LGA 2020)	Yes	56(b) Council must specify which Council information must be publicly available, including all policies, plans and reports required under this Act or any other Act.
Strategies and Plans (Consideration of Strategic Planning Principles under s.89 of LGA 2020)	No	
Financial Management (Consideration of Financial Management Principles under s.101 of LGA 2020)	No	
Service Performance (Consideration of Service Performance Principles under s.106 of LGA 2020)	No	106(a) Services should be provided in an equitable manner and be responsive to the diverse needs of the municipal community 106(b) Services should be accessible to the members of the municipal community for whom the services are intended 106(c) Quality and costs standards for services set by the Council should provide good value to the municipal community; 106(d) a Council should seek to continuously improve service delivery to



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COUNCIL POLICY

		the municipal community in response to performance monitoring; 106(e) Service delivery must include a fair and effective process for considering and responding to complaints about service provision.
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Definitions

Authorised officer	An officer appointed under section 224 of the Local Government Act 1989 for the purpose of enforcing the Surf Coast Shire Community Amenity Local Law No. 1.
Permit	A document authorising the display of signs issued by Council's departments including Local Laws, Planning, Economic Development & Tourism, Events. A permit may also be issued in conjunction with other public bodies e.g. VicRoads.
Way-finding	Way-finding informs people of the surroundings in an unfamiliar environment. For way-finding to be effective, it is important to show information at strategic points to assist people with their decision making and guide them in the right directions.
Way-finding system	A system for providing directions to a destination that incorporates elements such as: <ul style="list-style-type: none"> • Clear street name signs relevant to the road hierarchy • Signs on the building or property at the destination • Correct and visible address displayed on all letterheads and promotional material including brochures and websites • Accurate directions and map coordinates. • The provision of directional signs alongside roads where appropriate.

Related Procedure

Surf Coast Shire Management Policy & Procedure: Signage on Council Managed Land

References

- Surf Coast Shire - Planning Scheme.
- Surf Coast Shire - Community Amenity Local Law No. 1.
- Road Management Act 2004.

Document History

Version	Document History	Approved by – Date
1	Adopted	Council Resolution – 24 October 2017
2	Under Review	February 2022



SCS-012 Signage on Council Owned or Managed Land

TRIM Reference: D22/22175 Due for Review: 9 February 2025
Responsible Officer: Manager Economic Development, Arts & Tourism

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5. Kept to the minimum number of signs required for effective communication.
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Council Officers will endeavour to help applicants meet the requirements contained within this document and will advise of the circumstances where such an application cannot be approved.

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All such decisions will be based on this policy, the Signage on Council Managed Land Management Procedures, Tourism Sign Guidelines, or any other relevant legislation, standard or guidelines referred to herein.

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Community Engagement (Consideration of Community Engagement Principles under s.56 LGA 2020)	No	
Public Transparency (Consideration of Public Transparency Principles under s.58 of LGA 2020)	Yes	<i>56(b) Council must specify which Council information must be publicly available, including all policies, plans and reports required under this Act or any other Act.</i>
Strategies and Plans (Consideration of Strategic Planning Principles under s.89 of LGA 2020)	No	
Financial Management (Consideration of Financial Management Principles under s.101 of LGA 2020)	No	
Service Performance (Consideration of Service Performance Principles under s.106 of LGA 2020)	No	<i>106(a) Services should be provided in an equitable manner and be responsive to the diverse needs of the municipal community 106(b) Services should be accessible to the members of the municipal community for whom the services are intended 106(c) Quality and costs standards for services set by the Council should provide good value to the municipal community; 106(d) a Council should seek to continuously improve service delivery to</i>



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COUNCIL POLICY

		the municipal community in response to performance monitoring; 106(e) Service delivery must include a fair and effective process for considering and responding to complaints about service provision.
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Definitions

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Related Procedure

Surf Coast Shire Management Policy & Procedure: Signage on Council Managed Land

References

- Surf Coast Shire - Planning Scheme.
- Surf Coast Shire - Community Amenity Local Law No. 1.
- Road Management Act 2004.

Document History

Version	Document History	Approved by – Date
1	Adopted	Council Resolution – 24 October 2017
2	Under Review	February 2022

Council Resolution

Moved Cr Gazzard, Seconded Cr Pattison

That Council suspend Standing Orders at 8:02 pm.

CARRIED 7|0

For

Cr Bodsworth
Cr Gazzard
Cr Hodge
Cr Pattison
Cr Schonfelder
Cr Stapleton
Cr Wellington

Against

Nil

Abstained

Nil

Council Resolution

Moved Cr Gazzard, Seconded Cr Pattison

That Council resume Standing Orders at 8:14 pm.

CARRIED 7|0

For

Cr Bodsworth
Cr Gazzard
Cr Hodge
Cr Pattison
Cr Schonfelder
Cr Stapleton
Cr Wellington

Against

Nil

Abstained

Nil

8 Strategy and Effectiveness

8.1 Project Budget Adjustments and Cash Reserve Transfers - April 2022

Author's Title:	Coordinator Management Accounting
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Finance
Division:	Strategy and Effectiveness
Attachments:	Nil

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

This report contains proposed project budget adjustments and cash reserve transfers for Council ratification and approval. The report presents the funding sources for all adjustments, and breaks the project budgets adjustments into categories including: existing projects requiring adjustment, project closures, new projects to be initiated, CEO approved transfers under delegation or corrections to prior reports presented to Council.

Outcome Statement

The purpose of this report is to present the project budget adjustments and cash reserve transfers for Council approval and the project budget adjustments and cash reserve transfers endorsed by the Executive Management Team for Council ratification.

Finance and Resource Implications

This report contributes to Council's financial management principles by recording the allocation and movement of project funds that may impact on current and future budgets.

Community Engagement

This report contributes to public transparency by ensuring that the allocation and movement of project funds is made available to the community.

Recommendation

That Council:

1. Approves the project budget adjustments and ratifies the project budget adjustments endorsed by the Executive Management Team outlined in Tables 1 to 8 of this report.
2. Approves the net changes to cash reserves resulting from the project budget adjustments listed in this report:

Funding Sources	Transfers From / (To) Reserve
Asset Renewal Reserve	\$837,848
Accumulated Unallocated Cash Reserve	\$60,000
Developer Contribution Reserve	\$50,909
Torquay / Jan Juc DCP Reserve	\$150,000
Grand Total	\$1,098,757

Council Resolution**Moved Cr Schonfelder, Seconded Cr Gazzard**

That Council:

1. Approves the project budget adjustments and ratifies the project budget adjustments endorsed by the Executive Management Team outlined in Tables 1 to 8 of this report.
2. Approves the net changes to cash reserves resulting from the project budget adjustments listed in this report:

Funding Sources	Transfers From / (To) Reserve
Asset Renewal Reserve	\$837,848
Accumulated Unallocated Cash Reserve	\$60,000
Developer Contribution Reserve	\$50,909
Torquay / Jan Juc DCP Reserve	\$150,000
Grand Total	\$1,098,757

CARRIED 6|1

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton	Cr Wellington	Nil

Alternative Options**Alternative Option 1 – Not approve transfers as recommended**

This option is not recommended by officers because transfers are necessary to allow ongoing delivery and closure of projects that have been through a series of governance checks.

Report

Background

The project budget adjustments presented in this report relate to the 2021-22 financial year. All figures in this report are exclusive of GST.

Discussion

The following project adjustments, detailed in Table 1 and 2, are required where it has been identified that projects require adjustments to their approved budgets to allow achievement of project scope and objectives; or there is a request to adjust project scope. The project adjustments in Table 1 have been endorsed at an Executive Management Team meeting.

Table 1 – For Council Ratification - Projects Requiring Adjustment

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Deep Creek - Replacement of Play Equipment and Under Surfacing due to Vandalism	Contribution Funded (Insurance)	Deep Creek Playground removal and replacement due to vandalism. Insurance claim contribution.	46,964
Bob Pettitt Outdoor Performance Space Landscaping	Contribution Funded	Contribution from Megan McAlpin in memory of Phil Avery towards the Bob Pettitt Outdoor Performance Space landscaping.	2,273
Business Concierge and Hospitality Support Program	Grant Funded	Additional funding from the Victorian Government to continue supporting business operators and owners with COVIDSafe business advice and wellbeing support.	30,000
Engage Program	Grant Funded	Grant funding executed for continuation of the Engage Program.	25,004
FReeZA	Grant Funded	Grant funding executed for continuation of the FReeZA Program.	5,000
Maternal and Child Health Sleep and Settling	Grant Funded	Funding from the Department of Health and Human Services for Maternal and Child Health Sleep and Settling.	30,609
Municipal Emergency Resourcing Program	Grant Funded	Department of Jobs, Precincts and Regions additional funding support to Council and shared funding with Colac Otway Shire Council and Corangamite Shire Council.	52,800
Mathiesons Road Upgrade/Reconstruction	Grant Funded	Partial reallocation of Roads to Recovery Grant Funding from Mathieson Rd Upgrade to Gundrys Road Safety Improvements to complete final seal on project.	(25,000)
Gundrys Road - Road Safety Improvements - Final Seal			25,000

Table 2 – For Council Approval - Projects Requiring Adjustment

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Mathiesons Road Upgrade/Reconstruction	Asset Renewal Reserve	Asset Renewal contribution to Mathieson Road Upgrade following partial reallocation of Roads to Recovery grant funding to Gundrys Road Safety Improvements (as per Table 1).	25,000
Torquay Town Centre Pedestrian Improvements	Asset Renewal Reserve	Renewal contribution to these works.	250,000
Surf Coast Highway / Bristol Rd	Torquay / Jan Juc DCP Reserve	The design of the Surf Coast Highway and Bristol Road intersection upgrade is currently underway as part of the Torquay / Jan Juc DCP. To progress the design Council needs to commit to paying Department of Transport fees for design checking and future maintenance of the intersection.	150,000
Grossmans Road - Anglesea Road Intersection Upgrade	Developer Contributions Reserve	Under existing Section 173 agreement, Council received developer contributions towards the improvement of the Anglesea Road and Grossmans Road intersection. The Department of Transport and VicRoads are planning improvement works along this section of road, and will incorporate intersection upgrade works at this location as part of their broader scope of works. As such, Council will contribute the developer contributions to these works	50,909
Heavy Plant Replacement Program	Asset Renewal Reserve	Tipper truck that was due for replacement this year was not included in the initial Heavy Plant Replacement Program. This allocation will allow the procurement process to commence as there is currently an extended lead time.	115,000
Lighting Renewal - Parwan Soccer Pitch Torquay, Replacement of LED Lights	Asset Renewal Reserve	Additional funds required to proceed with procurement based on cost estimate for the renewal of soccer pitch lighting to LED.	100,000
Renewal Contribution to Coogoorah Park Pathway Survey/Investigation	Project Account	Renewal contribution to pathway survey of Coogoorah Park. Consolidate into one project.	(3,110)
Coogoorah Park Pathway Survey/Investigation			3,110
Bridge Renewal - Moggs Creek and Lorne Visitor Information Centre	Asset Renewal Reserve	Further project investigation has identified that works above the initial scope are required on these bridges. Additional funds are therefore requested prior to tendering of works.	250,000
LRCIP Phase 2 - Pearl St/Bristol Rd Intersection Improvements	Asset Renewal Reserve	Efficiency opportunity for Council to conduct renewal works in conjunction with the Local Roads and Community Infrastructure Program (LRCIP) funded improvement works at this intersection. Council contribution to the project from the Asset Renewal Reserve proposed.	250,000

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Review Catchment Storm Water Arrangements, Karaaf Wetlands	Accumulated Unallocated Cash Reserve	Market testing has revealed higher costs to deliver agreed project objectives and ensure adequate communications with the community on this high profile matter.	60,000

The following budget transfers, detailed in Tables 3 and 4, are newly initiated projects, Table 3 projects have been endorsed at an Executive Management Team meeting.

Table 3 – For Council Ratification – New Projects

Project Name	Funding Source	Basis for Variation	Project Allocation \$
COVID Food Relief Program	Grant Funded	Department of Jobs, Precincts and Regions support to Council to coordinate COVID relief for people who are prevented from leaving their homes whilst they are required to quarantine or self-isolate.	15,000

Table 4 – For Council Approval – New Projects

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Freshwater Creek Riding Shed	Asset Renewal Reserve	Creating a standalone project for Renewal of Freshwater Creek Riding Club Shed previously part of the Building Renewal Program. Allocation includes undertaking a volunteering Cultural Heritage Management Plan for the site.	90,000

The following project closures, detailed in Table 5, have been endorsed at an Executive Management Team meeting.

Table 5 – For Council Ratification – Closed Projects

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Deep Creek - Replacement of Play Equipment and Under Surfacing due to Vandalism	Asset Renewal Reserve	Completed replacement works that were insurance and Asset Renewal funded. Total replacement cost \$49,718. Savings returned source.	(2,246)
Lorne Kindergarten Split System	Project Savings Account	Scope complete and savings to be returned to source. Life of project cost \$4,247.	(753)
Light Fleet Replacement Program	Asset Renewal Reserve	Identified savings in the Light Fleet Replacement Program to be returned to source.	(75,000)
Small Plant Replacement Program	Asset Renewal Reserve	Identified savings in the Small Plant Replacement Program to be returned to source.	(40,000)

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Hesse Street Reserve Toilet Block Renewal (Winchelsea)	Asset Renewal Reserve	Project not proceeding this financial year, with funds to be returned to source. Project will be reconsidered when development of Social Infrastructure Plan is completed. This plan will consider the need and location for the toilet to be replaced; including whether the toilet is obsolete or should be relocated to elsewhere on the reserve.	(124,906)

Projects in Table 6 have been endorsed under Council delegation by the Chief Executive Officer.

Table 6 – For Council Ratification – CEO Approved Transfers

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Environment Protection Act Project	Project Savings Account	Following gap analysis report, additional funds sought to enable completion of Stage 1 response to Environment Protection Act: environmental policy and environmental risk register.	10,500

Projects in Table 7 reflect corrections or adjustments to prior reports presented to Council.

Table 7 – For Council Approval – Corrections to Prior Reports

Project Name	Funding Source	Basis for Variation	Project Allocation \$
Nil			

Table 8 – Accumulated Unallocated Cash Reserve Movement

Accumulated Unallocated Cash Reserve	2021-22	2022-23	2023-24	2024-25
	\$'000	\$'000	\$'000	\$'000
Opening Balance	3,493	3,388	2,655	1,058
Budgeted Annual Surplus/(Deficit)	50	(1,018)	(1,598)	(3,312)
Transfer for Adopted Projects Funded	(465)	285	-	-
Net Allocations During Year (From)/To	370	-	-	-
New Allocations Proposed (From)/To	(60)	-	-	-
Closing Balance *	3,388	2,655	1,058	(2,254)

Accumulated Unallocated Cash Reserve	2021-22
	\$'000
Net Allocations During Year (From)/To	
Bob Pettitt Bike Park Improvement Project	(20)
Eastern Reserve Land Purchase - Deposit Refund	25
Winchelsea Leisure Time Centre Rectification Works	(30)
Gladman St Winchelsea Land Purchase	514
Playground Strategy Implementation	21
Stribling Reserve Pavilions Redevelopment	(40)
Electric Vehicle Charging Infrastructure	(70)
Bob Pettitt Bike Park Improvement Project	(30)
Net Allocations (From)/To	370
New Allocations Proposed (From)/To	
Review Catchment Storm Water Arrangements, Karaaf Wetlands	(60)
Total New Net Allocations (From)/To	(60)

*Note: Includes budgeted annual surplus/(deficit) as per Adopted Budget 2021-22.

Outcome Analysis

In providing a balance between smooth project delivery and ensuring Council involvement in decision making on material scope changes or new projects to be initiated, the Executive Management Team are being presented on a fortnightly basis for its endorsement project budget adjustments of a straight forward nature; such as allocating grant funding to a projects. Transfers relating to material scope changes or new projects not already approved by Council are presented to Council for approval. Transfers endorsed by the Executive Management Team are presented to Council for ratification. This process ensures that Councillors have the decision on major changes and are kept informed of all project budget changes; allowing for smooth project delivery. The report also provides transparency for the community.

Financial and Resource Impact Analysis

This report contributes to Councils financial management principles by recording the allocations and movements of project funds that may impact on the budget, current and future, and the achievement the Council Plan strategies and objectives.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 18 - Establish a sustainable financial position.

Relevant Legislation, Policy, Strategies and Plans

Under the Local Government Act 2020, this report contributes to:

- Financial viability by ensuring Council approves and is well informed about the allocation and movement of project funds to achieve the best outcomes for the municipal community;
- Public transparency by ensuring that the allocation and movement of project funds is made available to the community;
- Financial management principles by recording the allocation and movement of project funds that may impact on the budget, current and future; and
- Service performance for project delivery by considering the allocation and movement of project funds for successful project outcomes.

Previous Councillor and Audit and Risk Committee Consultation

This monthly Council Report item is not within the scope of matters considered by the Audit and Risk Committee and does not require presentation at Councillor briefings.

8.2 Quarterly Finance Report - March 2022

Author's Title:	Manager Finance
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Finance
Division:	Strategy and Effectiveness
Attachments:	1. Quarterly Finance Report March 2022 (2) [8.2.1 - 4 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to receive and note the March Quarterly Finance Report for the 2021-22 financial year as attached. This includes the Comprehensive Income Statement, Balance Sheet, Statement of Cash Flows, Statement of Changes in Equity and Statement of Capital Works. This report also includes a summary of legal costs for the March 2022 quarter with comparative information.

Outcome Statement

Council remains in a sound financial position.

Finance and Resource Implications

Council reports quarterly on its financial results in accordance with Section 97 of the *Local Government Act 2020*. As soon as practicable after the end of each quarter of the financial year, the Chief Executive Officer must ensure that a quarterly budget report is presented to the Council at a Council meeting which is open to the public.

Community Engagement

Not applicable.

Recommendation

That Council notes the Quarterly Finance Report as attached in Appendix 1 for March 2022.

Council Resolution

Moved Cr Bodsworth, Seconded Cr Schonfelder

That Council notes the Quarterly Finance Report as attached in Appendix 1 for March 2022.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 - Does not note the Quarterly Finance Report for March 2022. This option is not recommended by officers as the report is presented in accordance with the Local Government Act 2020.

Report

Background

Quarterly financial statements included with the attached report include:

- Comprehensive Income Statement:
 - Comparison of Council's actual versus budget income and revenue for the period 1 July 2021 to 31 March 2022.
- Balance Sheet:
 - Comparison of Council's actual assets and liabilities versus budget as at 31 March 2022.
- Statement of Cash Flows:
 - Statement of cash flows related to Council's actual operations and activities, and reconciliation to Council's total cash holdings versus budget for the period 1 July 2021 to 31 March 2022.
- Statement of Changes in Equity:
 - Council's actual equity position versus budget as at 31 March 2022.
- Statement of Capital Works:
 - Statement of Council's capital works expenditure versus budget for period 1 July 2021 to 31 March 2022.

Discussion

Council's net surplus is \$40.2 million at the end of March 2022, which is \$19 million ahead of the year-to-date budget. This is mainly due to the first-time recognition of wetland assets, favourable asset revaluations completed, along with the timing of capital program grant income and operating expenditure.

Outcome Analysis

Council remains in a sound financial position.

Financial and Resource Impact Analysis

Council reports quarterly on its financial results in accordance with Section 97 of the Local Government Act 2020. As soon as practicable after the end of each quarter of the financial year, the Chief Executive Officer must ensure that a quarterly budget report is presented to the Council at a Council meeting which is open to the public.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 18 - Establish a sustainable financial position.

Relevant Legislation, Policy, Strategies and Plans

Local Government Act 2020.

2021-22 Budget Report

Previous Councillor and Audit and Risk Committee Consultation

This item is due to be presented to the Audit and Risk Committee on 20 May 2022.

1 Financial Statements

1.1 Comprehensive Income Statement

For the quarter ended 31 March 2022

	Notes	YTD Actuals \$'000	YTD Budget \$'000	Annual Budget \$'000	Variances Actual v YTD Budget	
					\$'000	%
Income						
Rates and Charges	1	59,146	58,933	58,950	213	0%
Statutory Fees and Fines		1,627	1,638	2,041	(11)	1%
User Charges	2	4,931	5,115	7,207	(184)	4%
Grants - Operating	3	6,003	4,175	7,999	1,828	44%
Grants - Capital	4	5,964	3,450	4,501	2,514	73%
Contributions - Monetary	5	3,003	1,991	2,697	1,011	51%
Contributions - Non-Monetary		4,623	4,719	11,401	(96)	2%
Net Gain/(Loss) on Disposal of Property Infrastructure, Plant and Equipment		251	177	236	74	42%
Other Income	6	10,836	345	460	10,491	3041%
Total Income		96,385	80,544	95,491	15,841	20%
Expenses						
Employee Costs	7	25,929	26,217	35,540	288	1%
Materials and Services	8	19,661	20,813	28,433	1,152	6%
Depreciation	9	12,902	13,746	18,328	844	6%
Amortisation - Intangible Assets		-	-	5,639	-	0%
Amortisation - Right of Use Assets		298	309	379	11	4%
Bad and Doubtful Debts		34	94	111	60	64%
Borrowing Costs		274	278	371	5	2%
Finance Costs Leases		8	17	24	9	52%
Other Expenses		1,262	1,265	4,426	3	0%
Total expenses		60,369	62,739	93,250	2,371	4%
Surplus/(Deficit) for the Year		36,016	17,804	2,241	18,212	102%
Other Comprehensive Income						
Items that will not be reclassified to surplus or deficit in future periods						
Net Asset Revaluation Increment/(Decrement)	10	4,192	3,360	7,259	833	25%
Total Comprehensive Result		40,208	21,164	9,500	19,044	90%

Variance Notes:

- Rates and Charges:** Favourable supplementary rates and garbage charge income due to higher number of tenements.
- User Charges:** The pandemic restrictions have reduced Council's ability to operate and collect income from retail sales and admission fees (Visitor Information Centres and the Australian National Surfing Museum), facility hire and sports programs user charges.
- Grants – Operating:** Favourable operational project grants, early years funding and Local Government Grants Commission allocation.
- Grants - Capital:** Timing of State and Commonwealth Government capital program grants.
- Contributions - Monetary:** Timing of development and open space contributions.
- Other Income:** Found assets recognised during reporting period (wetlands recognition as an asset and found drainage during developer works).
- Employees:** Variance due to WorkCover premium savings, vacancies, employee training, reduced volunteers during the pandemic restrictions partially offset by once off employee costs.
- Materials and Services:** Variance due to timing of projects and expensed capital works, along with recurrent operations contributing to variance as a result of COVID-19 forcing cancellation of community events, closures of community facilities, Visitor Information Centres and the Australian National Surfing Museum during the reporting period.
- Depreciation:** Variance due to timing of capital program capitalisations, revaluations, and delays in plant renewal programs due to COVID supply chain constraints, effectively extending the lives of fully depreciated equipment still in service.
- Asset Revaluation:** Variance due to Drainage and Sewerage revaluation replacement cost increase being higher than budgeted.

1.2 Balance Sheet

As at 31 March 2022

	Notes	YTD Actuals \$'000	YTD Budget \$'000	Annual Budget \$'000	Variance Actual v YTD Budget \$'000	%
Assets						
Current Assets						
Cash and Cash Equivalents	1	12,327	3,579	5,109	8,748	244%
Trade and Other Receivables		17,647	18,948	6,156	(1,301)	7%
Other Financial Assets	1	73,800	50,000	45,000	23,800	48%
Inventories		313	300	306	13	4%
Other Assets		258	258	816	-	0%
Total Current Assets		104,345	73,085	57,387	31,260	43%
Non-Current Assets						
Trade and Other Receivables		3	38	13	(34)	92%
Property, Infrastructure Plant & Equipmen	2	848,962	825,799	838,109	23,163	3%
Investments in Associates and Joint Ventures		291	538	538	(247)	46%
Right of Use Assets		594	495	506	98	20%
Intangible Assets	3	29,525	28,193	22,554	1,332	5%
Total Non-Current Assets		879,374	855,062	861,720	24,312	3%
Total Assets		983,719	928,147	919,107	55,572	6%
Liabilities						
Current Liabilities						
Trade and Other Payables	4	1,116	3,500	6,504	2,384	68%
Unearned Income	5	13,000	-	-	(13,000)	0%
Trust Funds and Deposits		7,710	8,020	8,336	310	4%
Provisions	6	10,236	7,229	10,238	(3,007)	42%
Interest Bearing Liabilities		538	538	2,160	-	0%
Lease Liabilities		80	80	297	-	0%
Total Current Liabilities		32,680	19,367	27,536	(13,313)	69%
Non-Current Liabilities						
Provisions		11,232	11,527	8,529	295	3%
Lease Liabilities		510	532	146	21	4%
Interest Bearing Liabilities		16,871	16,871	14,711	-	0%
Total Non-Current Liabilities		28,614	28,930	23,385	316	1%
Total Liabilities		61,294	48,297	50,921	(12,997)	27%
Net Assets		922,425	879,850	868,186	42,575	5%
Equity						
Accumulated Surplus		544,380	511,003	487,007	33,377	7%
Asset Revaluation Reserve		347,138	328,603	332,502	18,535	6%
Other Reserves		30,907	40,244	48,677	(9,337)	23%
Total Equity		922,425	879,850	868,186	42,575	5%

Variance Notes:

- Cash and Cash Equivalents and Other Financial Assets Combined:** Total favourable cash balance driven by higher opening balance, driven materially by upfront project grants for the Surf Coast Aquatic and Health Centre Project.
- Property, Infrastructure, Plant and Equipment:** Opening balance higher than budget forecast due to 2020-21 Asset Revaluations.
- Intangible Assets:** Variance is due to a higher opening balance compared to budget forecast in relation to the landfill air space assets revaluation at 30 June 2021.
- Trades & Other Payables:** Variance is due to lower general creditor payments owing at report date (i.e. project and operational supplier payments).
- Unearned Income:** Variance is due to unbudgeted income received in advance for capital projects.
- Provisions:** Variance due to higher actual opening balance compared to budget forecast for the landfill rehabilitation provision and employee leave balances.

1.3 Statement of Changes in Equity

As at 31 March 2022

	YTD Actuals \$'000	YTD Budget \$'000	Annual Budget \$'000	Variances Actual v \$'000 %	
Equity Opening Balance	882,217	858,686	858,686	23,531	3%
Surplus for the Year	36,016	17,804	2,241	18,212	102%
Net Asset Revaluation	4,192	3,360	7,259	833	25%
Total Equity	922,425	879,850	868,186	42,575	5%

1.4 Cash Flow Statement

For the quarter ended 31 March 2022

	Notes	YTD Actuals \$'000	YTD Budget \$'000	Annual Budget \$'000	Variances Actual v YTD Budget \$'000 %	
Cash Flow from Operating Activities						
Rates and Charges	1	46,990	46,457	58,938	533	1%
Statutory Fees and Fines		1,627	1,638	1,991	(11)	1%
User Charges	2	4,979	5,820	7,456	(841)	14%
Grants - Operating	3	6,279	4,322	8,281	1,956	45%
Grants - Capital	3	7,497	2,680	4,521	4,817	180%
Contributions - Monetary	4	3,003	1,991	2,697	1,011	51%
Interest Received		310	345	450	(35)	10%
Trust Funds and Deposits Taken/(Repaid)	5	(751)	-	316	(751)	0%
Net GST Refund/Payment		3,511	3,693	4,990	(183)	5%
Employee Costs		(25,732)	(25,782)	(34,800)	50	0%
Materials and Services	6	(28,178)	(27,928)	(35,224)	(251)	1%
Net Cash Provided from Operating Activities		19,534	13,238	19,616	6,296	48%
Cash Flows from Investing Activities						
Proceeds from Sale of Property, Plant & Equipment		271	338	664	(67)	20%
Payments for Property, Plant, Equipment & Infrastructure Assets	7	(14,088)	(17,517)	(26,950)	3,430	20%
Cash Flows from Investments	8	8,208	-	5,000	8,208	0%
Net Cash Used in Investing Activities		(5,608)	(17,179)	(21,285)	11,571	67%
Cash Flows from Financing Activities						
Finance Costs		(274)	(278)	(372)	5	2%
Repayment of Lease Liabilities		(300)	(306)	(408)	6	2%
Interest Paid - Lease Liabilities		(8)	(17)	(24)	9	52%
Proceeds from borrowings		-	-	-	-	0%
Repayment of Borrowings		(1,611)	(1,611)	(2,150)	()	0%
Net Cash Provided from Financing Activities		(2,194)	(2,213)	(2,954)	19	1%
Net Increase/(Decrease) in Cash & Cash Equivalents Held		11,732	(6,154)	(4,624)	17,886	291%
Cash & Cash Equivalents at the Beginning of the Period		594	9,733	9,733	(9,139)	94%
Cash & Cash Equivalents at the End of the Period		12,327	3,579	5,109	8,748	244%
Investments (Current and Non-Current Financial Assets)		73,800	50,000	45,000	23,800	48%
Total Cash & Investments at the End of the Period		86,127	53,579	50,109	32,548	61%

Variance Notes:

- Rates and Charges:** Favourable collection of rates and charges year to date.
- User Charges:** Unfavourable due to the pandemic impacting waste disposal fees, facility hire, Visitor Information Centre retail sales, admission fees and sports program fees.
- Grants - Operating & Capital:** Timing of programs.
- Contributions - Monetary:** Favourable timing of developer contributions and contributions to projects.
- Trust Funds Received/(Refunded):** Fire Services Levy payment to State Revenue Office, offset by developer trust deposits refunded year to date.
- Materials and Services:** Variance mainly attributable to timing of delivery of operational projects.
- Property, Plant, Equipment & Infrastructure Assets:** Timing of capital program purchases.
- Cash Flow from Investing Activities:** Reflects an increase in term deposits for the period.

1.5 Statement of Capital Works

As at 31 March 2022

	YTD Actuals \$'000	YTD Budget \$'000	Adopted Budget Spend \$'000	Variances Actual v YTD Budget \$'000 %	
Property					
Land	-	-	-	-	0%
Total Land	-	-	-	-	0%
Buildings	1,436	3,244	4,991	1,808	56%
Total Buildings	1,436	3,244	4,991	1,808	56%
Total Property	1,436	3,244	4,991	1,808	56%
Plant and Equipment					
Plant, Machinery & Equipment	1,338	1,488	2,289	150	10%
Fixtures, Fitting & Furniture	14	247	380	233	94%
Computers & Telecommunications	572	1,208	1,859	637	53%
Total Plant and Equipment	1,924	2,943	4,528	1,019	35%
Infrastructure					
Bridges	24	-	-	(24)	0%
Drainage & Sewerage	344	241	371	(103)	43%
Footpaths & Cycleways	796	369	568	(427)	116%
Parks, Open Space & Streetscapes	758	938	1,443	180	19%
Recreation, Leisure & Communities	5,670	2,434	3,744	(3,236)	133%
Roads	3,066	5,405	8,315	2,339	43%
Offstreet Car Parks	15	132	203	117	89%
Waste	54	1,795	2,762	1,741	97%
Expensed Capital Works	443	909	1,399	467	51%
Landfill Provision	2	16	25	15	90%
Total Infrastructure	11,171	12,240	18,831	1,069	9%
Total Capital Works Expenditure	14,530	18,427	28,349	3,896	21%
Represented by:					
New Asset Expenditure	3,919	4,707	5,263	788	17%
Asset Renewal Expenditure	4,929	7,298	11,236	2,369	32%
Asset Expansion Expenditure	543	1,142	1,757	599	52%
Asset Upgrade Expenditure	4,695	4,354	8,669	(340)	8%
Expensed Capital Works	443	909	1,399	467	51%
Landfill Provision Works	2	16	25	15	90%
Total Capital Works	14,530	18,427	28,349	3,896	21%

Variance Notes:

Generally project spend variations are timing related (i.e. not a result of exceeding allocated project budgets) The variances in Adopted Budget Spend also can occur due to estimated budgeted carry forwards varying to end of financial year actual carry forwards. For example progress on the Stribling Reserve Pavilions Redevelopment project is creating a timing variance in Recreation, Leisure & Communities, and the Grant Pavilion Extension project within Buildings. Asset Renewal Expenditure, in particular for Roads reflects timing of works, with the asphalt contract awarded at the December 2021 Council meeting, and the re-sheet program and re-seal works being in progress. With regards to Waste projects, the Lorne Transfer Station Upgrade and Anglesea Landfill Stage 3E Liner are timing variances.

2 Legal Expenditure

The previous statements represent standard financial statements for the whole of the organisation. Council understands that some specific types of expenditure also warrant closer monitoring and the following table summarising legal expenses has been included to provide improved transparency.

Legal Costs Summary	Full Year 2016-17	Full Year 2017-18	Full Year 2018-19	Full Year 2019-20	Full Year 2020-21	Q3 2021-22	YTD 2021-22
HR matters (incl. training)	11,487	18,095	2,197	10,307	9,226	6,192	8,752
Governance advice (across organisation)	83,989	104,815	160,642	120,332	90,599	29,521	80,790
Governance advice (Councillor-related)	10,463	109,029	147,406	76,877	35,637	25,414	83,182
Planning & Building Services	174,338	235,511	293,301	193,149	355,389	34,953	214,521
Total	280,277	467,450	603,546	400,665	490,851	96,080	387,245

8.3 Instrument of Appointment and Authorisation - Planning and Environment Act 1987

Authors Title:	Governance Officer
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Governance
Division:	Strategy and Effectiveness
Attachments:	<ol style="list-style-type: none"> Instrument of Appointment and Authorisation - Planning and Environment Act 1987 - Tracked Changes [8.3.1 - 1 page] Instrument of Appointment and Authorisation - Planning and Environment Act 1987 - Clean copy for report [8.3.2 - 1 page]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to seek Council's endorsement for authorised officers under the Planning & Environment Act 1987 through the updated Instrument of Authorisation and Appointment ('the instrument'). This request results from recent staff appointments.

Outcome Statement

By authorising the relevant officers to perform their duties under the Planning and Environment Act 1987, Council will ensure these officers have the required authority to carry out their roles within legislated requirements.

Key benefits	Key risks
Officers are authorised to carry out their duties.	If the updated instrument is not authorised by Council, officers will not be able to exercise the powers under the relevant legislation which will prevent Councils ability to enforce a variety of matters.

Finance and Resource Implications

There are no finance or resource implications arising from this report.

Community Engagement

Not applicable.

Recommendation

That Council:

1. Authorises the instrument of authorisation as attached at Appendix 1, appointing the Council officers listed on the instrument of authorisation as authorised officers under the Planning and Environment Act 1987.
2. Authorises the Chief Executive Officer to execute the instrument by affixing the common seal in accordance with Local Law No. 2 of 2020 Common Seal and Miscellaneous Penalties.
3. Notes that the instrument comes into force immediately upon execution and remains in force until Council determines to vary or revoke it.
4. Authorises that the previous instrument, dated 22 March 2022, is revoked.

Council Resolution

Moved Cr Hodge, Seconded Cr Gazzard

That Council:

1. Authorises the instrument of authorisation as attached at Appendix 1, appointing the Council officers listed on the instrument of authorisation as authorised officers under the Planning and Environment Act 1987.
2. Authorises the Chief Executive Officer to execute the instrument by affixing the common seal in accordance with Local Law No. 2 of 2020 Common Seal and Miscellaneous Penalties.
3. Notes that the instrument comes into force immediately upon execution and remains in force until Council determines to vary or revoke it.
4. Authorises that the previous instrument, dated 22 March 2022, is revoked.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton Cr Wellington	Nil	Nil

Alternative Options

Alternative Option 1 – Not endorse the updated instrument

This option is not recommended by officers as it will limit the authorisations and authority of selected officers.

Report

Background

Officers are appointed as authorised officers to exercise statutory powers under various Acts and regulations. Appointments of authorised officers are to individual staff members.

The appointment of authorised officers under the Planning and Environment Act 1987 cannot be delegated and must be made through resolution of Council.

Discussion

Officers authorised to act under the Planning and Environment Act 1987 have authorisation to enter sites, gather evidence or serve legal notices, etc. if required, as appropriate to their level of experience and qualifications.

The specific authorisations provided through this instrument include:

1. under section 147(4) of the Planning and Environment Act 1987 – appointment as an authorised officer for the purposes of the Planning and Environment Act 1987 and the regulations made under that Act; and
2. under section 313 of the Local Government Act 2020 authorisation generally to institute proceedings for offences against the Act and/or any regulations.

The attached instrument has been reviewed and updated to reflect recent staff changes.

Outcome Analysis

If officers are not appropriately authorised, they will not have the legal authority to perform key aspects of their role which would result in a lack of enforcement across the Shire. If officers act without the correct authority, actions can also be challenged and invalidated on that basis, and the officers may be personally liable.

There are no identified Workplace Health and Safety implications associated with this report.

Financial and Resource Impact Analysis

All appointed officers need the relevant authorisation under the Planning and Environment Act 1987 to be able to carry out their enforcement roles.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Relevant Legislation, Policy, Strategies and Plans

The appointment of authorised officers under the Planning and Environment Act 1987 ensures Council is compliant with the legislation and that officers are able to carry out their enforcement roles.

Previous Councillor and Audit and Risk Committee Consultation

Not applicable.



Instrument of Appointment and Authorisation (Planning and Environment Act 1987)

In this instrument "officer" means –

Adam Lee	Kate Sullivan
Andrew Hewitt	Kristy Prothman
Anthony (Tony) Rolfs	Leah Protyniak
Barbara Noelker	Luke Shanhun
Ben Hynes	Melinda (Mindy) Vardy
Ben Schmied	Michelle Warren
<u>Benjamin Lowe Jabornik</u>	Nick Helliwell
Bianca Wilkin	Rhonda Gambetta
Brendan Walsh	Rhiannan Glenister
Carol Mitchell	Robert Page
Chris Pike	Robert Pitcher
Claire Cowan	Robert (Rob) Wandell
Daniel Gorell	Rochelle Humphrey
Donna Groves	Samantha Natt
Emma Monteath	Sarah Farrer
Guy Price	Shaan Briggs
Isabelle Spinks	Shaun Barling
Jason Scammell	Tim Waller
Jayde Whitten	Tracey Simmons
Jennifer Davidson	Trevor Doueal
John Bauer	Wayne Sandars
Karen Campbell	William (Bill) Cathcart
Karen Hose	Zac Van Grondelle

By this instrument of appointment and authorisation Surf Coast Shire Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officers to be authorised officers for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officers either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon its execution;
- (b) remains in force until varied or revoked.

This instrument is authorised by a resolution of the Surf Coast Shire Council pursuant to the Council resolution dated ~~22 March 2022~~ 26 April 2022.

The COMMON SEAL of SURF COAST)
SHIRE COUNCIL was affixed in the)
presence of:)

.....
Chief Executive Officer

.....
Mayor/Deputy Mayor

.....
Date

.....
Date



Instrument of Appointment and Authorisation (*Planning and Environment Act 1987*)

In this instrument "officer" means –

Adam Lee	Kristy Prothman
Andrew Hewitt	Leah Protyniak
Anthony (Tony) Rolfs	Luke Shanhun
Barbara Noelker	Melinda (Mindy) Vardy
Ben Hynes	Michelle Warren
Ben Schmied	Nick Helliwell
Benjamin Lowe Jabornik	Rhonda Gambetta
Bianca Wilkin	Rhiannan Glenister
Carol Mitchell	Robert Page
Claire Cowan	Robert Pitcher
Daniel Gorell	Robert (Rob) Wandell
Donna Groves	Rochelle Humphrey
Emma Monteath	Samantha Natt
Guy Price	Sarah Farrer
Isabelle Spinks	Shaan Briggs
Jason Scammell	Shaun Barling
Jayde Whitten	Tim Waller
Jennifer Davidson	Tracey Simmons
John Bauer	Trevor Doueal
Karen Campbell	Wayne Sandars
Karen Hose	William (Bill) Cathcart
Kate Sullivan	Zac Van Grondelle

By this instrument of appointment and authorisation Surf Coast Shire Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officers to be authorised officers for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officers either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon its execution;
- (b) remains in force until varied or revoked.

This instrument is authorised by a resolution of the Surf Coast Shire Council pursuant to the Council resolution dated 26 April 2022.

*The COMMON SEAL of SURF COAST
SHIRE COUNCIL was affixed in the
presence of:*)
)
)

.....
Chief Executive Officer *Mayor/Deputy Mayor*

.....
Date *Date*

8.4 Councillor Appointment to Audit and Risk Committee

Author's Title:	Coordinator Governance
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Governance
Division:	Strategy and Effectiveness
Attachments:	Nil

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to request Council to appoint a Councillor to the Audit and Risk Committee while Cr Barker is on a leave of absence.

Outcome Statement

Appointing a Councillor to the Audit and Risk Committee whilst Cr Barker is on a leave of absence allows for the Council to have two Councillor representatives (Cr Wellington and one other Councillor) at the 20 May 2022 Audit and Risk Committee Meeting, consistent with Council's Audit and Risk Committee Charter.

Key benefits	Key risks
The Council has appropriate representation at the May Audit and Risk Committee.	Not applicable

Finance and Resource Implications

There are no finance or resource implications associated with this report.

Community Engagement

Community engagement is not required to make this appointment. Members of the Audit and Risk Committee will be informed of the outcome.

Recommendation

That Council appoints Cr <NAME> to the Audit and Risk Committee for the duration of Cr Barker's leave of absence.

Council Resolution

Moved Cr Gazzard, Seconded Cr Schonfelder

That Council appoints Cr Bodsworth to the Audit and Risk Committee for the duration of Cr Barker's leave of absence.

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – Not appoint a Councillor to the Audit and Risk Committee during Cr Paul Barker's leave of absence.

This option is not recommended by officers as the Audit and Risk Committee Charter states that two Councillors are to be appointed to the committee.

Report

Background

Council appointed Cr Wellington and Cr Barker as its Councillor representatives on the Audit and Risk Committee.

At its meeting held on Tuesday 22 March, Council granted a leave of absence for Cr Barker from 1 April – 30 June 2022.

Cr Barker is one of two Councillor representatives appointed to the Audit and Risk Committee. The Audit and Risk Committee is scheduled to meet on Friday 20 May 2022.

Discussion

Cr Barker was granted a leave of absence at the 22 March Council Meeting. With the absence of Cr Barker, the Audit and Risk Committee will be under represented by Councillors at the next meeting scheduled in May. There is an opportunity for Council to appoint a Councillor to the Committee during Cr Barker's absence.

Outcome Analysis

The Audit and Risk Committee is a statutory Committee that plays a key role in assisting Council to fulfil its governance responsibilities in relation to financial reporting, internal control, compliance with legislative requirements, risk management systems, ethical accountability and the internal and external audit functions. Council's Audit and Risk Committee Charter states that two Councillors must be appointed to the Audit and Risk Committee.

Financial and Resource Impact Analysis

There are no financial and resource impacts associated with this report.

Council Plan Assessment

Theme Seven - Accountable and Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Relevant Legislation, Policy, Strategies and Plans

Section 53 (3) of the Local Government Act 2020 states that an Audit and Risk Committee must include members who are Councillors of the Council.

The Audit and Risk Committee Charter states under membership that the Committee will consist of two Councillors.

Previous Councillor and Audit and Risk Committee Consultation

This item was discussed at the following Councillor briefings prior to being presented to Council for consideration. Councillor attendance at each briefing was as follows:

Councillor Briefing Date: 12 April 2022

<i>Councillor name</i>	<i>In attendance (Y/N)</i>	<i>Councillor name</i>	<i>In attendance (Y/N)</i>
<i>Cr Gary Allen</i>	<i>Y</i>	<i>Cr Liz Pattison</i>	<i>N</i>
<i>Cr Paul Barker</i>	<i>N</i>	<i>Cr Adrian Schonfelder</i>	<i>Y</i>
<i>Cr Mike Bodsworth</i>	<i>Y</i>	<i>Cr Libby Stapleton</i>	<i>Y</i>
<i>Cr Kate Gazzard</i>	<i>Y</i>	<i>Cr Heather Wellington</i>	<i>N</i>
<i>Cr Rose Hodge</i>	<i>N</i>		

8.5 Councillor Expenses and Attendance at Meetings - March Quarter

Author's Title:	Governance Officer
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Governance
Division:	Strategy and Effectiveness
Attachments:	<ol style="list-style-type: none">1. Quarterly Councillor Expenses Jan - March 2022 [8.5.1 - 1 page]2. Quarterly Councillor Attendance Summary - March 2022 [8.5.2 - 1 page]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

The purpose of this report is to present a quarterly report on councillor allowances and expenses paid and councillor attendance at meetings.

Outcome Statement

Quarterly reporting of councillor allowances and expenses and councillor attendance at meetings provides for transparent, accountable and open communication of council information.

Finance and Resource Implications

Councillor allowances and reimbursement of expenses are managed in accordance with the Act and Council's Councillor Entitlements, Expenses and Facilities Policy, adopted in September 2021.

Community Engagement

In line with public transparency principles outlined in the Act, quarterly and annual reporting on councillor allowances and expenses paid and councillor attendance is made publically available through council meetings, council's website and annual reporting.

Recommendation

That Council:

1. Notes the attached Quarterly Summary of Councillor Allowances and Expenses for the period 1 January to 31 March 2022 (Appendix 1).
2. Publishes the Quarterly Summary of Councillor Allowances and Expenses on Council's website.
3. Notes the attached Quarterly Summary of Councillor Attendance for the period 1 January to 31 March 2022 (Appendix 2).

Council Resolution

Moved Cr Schonfelder, Seconded Cr Bodsworth

That Council:

1. Notes the attached Quarterly Summary of Councillor Allowances and Expenses for the period 1 January to 31 March 2022 (Appendix 1).
2. Publishes the Quarterly Summary of Councillor Allowances and Expenses on Council's website.
3. Notes the attached Quarterly Summary of Councillor Attendance for the period 1 January to 31 March 2022 (Appendix 2).

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

Alternative Options

Alternative Option 1 – That Council does not note or publish quarterly summary of Councillor allowances and expenses. This option is not recommended by officers as it obstructs public access to councillor reporting and does not align with government regulations and best practice reporting.

Report

Background

The *Local Government Act 2020* (the Act) outlines that the Mayor and Councillors are paid an allowance and are provided with the appropriate tools and support to enable them to properly undertake their statutory obligations.

The Act also requires Councils to adopt and maintain a policy in relation to the reimbursement of expenses to councillors. The Councillor Entitlements, Expenses and Facilities Policy, adopted by Council in September 2021, outlines the level of resources and support that is provided to councillors to enable them to effectively discharge their official duties. This policy is available on [council's website](#).

Discussion

Councillor allowances and expenses are defined by the following categories:

- Councillor Allowance - statutory payment made to the mayor and councillors
- Parking Costs - includes reimbursement of parking fees whilst performing official business
- Travel Expenses - includes public transport costs and reimbursement to councillors for associated council related travel
- Car Mileage - kilometres travelled in private vehicles associated with council related travel
- Motor Vehicle - includes costs associated with use of the mayoral vehicle
- Mobile Phone - includes the costs associated with official councillor mobile phone usage
- Internet - includes cost of official internet provision and usage.

Any contributions paid by councillors towards phone and internet usage are also included in the summary. It should be noted that some payments (e.g. travel costs) are included at the time they are paid out rather than when incurred, therefore, figures quoted may include expenses from outside this reporting period.

Councillor attendance at meetings

In line with best practice and to promote transparency, council reports on councillor attendance at meetings in their annual report and quarterly to Council. Councillor attendance at meetings is recorded at:

- Council meetings
- Special Council Meetings for Hearing Submissions (previously undertaken by the Hearing of Submissions Committee)
- Meetings held under the auspices of council (including councillor briefings).

Outcome Analysis

With an aim to promote transparency and accountability, Council resolved in April 2017 to make councillor allowances and expenses available to the public through quarterly reporting to Council and by publishing these reports on Council's website. The councillor allowances and expenses report for each financial year is also published in the Surf Coast Shire Council Annual Report.

The Councillor meeting attendance report includes councillor attendance at council meetings, councillor briefings and meetings held under the auspices of council. The quarterly report is made available to the public through Council meeting documents

and the financial year report is also published in the Surf Coast Shire Council Annual Report.

Financial and Resource Impact Analysis

Councillor allowances and reimbursement of expenses are managed in accordance with the Act and Council's Councillor Entitlements, Expenses and Facilities Policy, adopted in September 2021.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Relevant Legislation, Policy, Strategies and Plans

The Local Government (Planning and Reporting) Regulations 2020 requires council to disclose the details of allowances and expenses for each councillor, divided into certain defined categories, in its annual report. Council is exceeding this requirement by making quarterly disclosures at council meetings. Reporting of councillor attendance at meetings is commonly included in annual reports as better practice.

Previous Councillor and Audit and Risk Committee Consultation

This quarterly Council Report item is not within the scope of matters considered by the Audit and Risk Committee and does not require presentation at Councillor briefings.

Minutes - Council Meeting - 26 April 2022
Attachment 8.5.1

Surf Coast Shire Council Councillor Payment Summary Between 1 Jan to 31 Mar 2022											
Councillor	Allowance ^ (\$)	Expenses Reimbursed					Items Provided			Contributions	Total (\$)
		Travel & Parking (\$)	Child Care (\$)	Car Mileage (\$)	Conferences, Events & Training (\$)	Other Expenses (\$)	Motor Vehicle (\$)	Mobile Phone (\$)	Internet (\$)	By Councillors (\$)	
Cr Adrian Schonfelder	8,079	-	-	-	-	-	-	98	95	-	8,272
Cr Gary Allen^	5,955	-	-	1,418	-	-	-	98	95	-	7,567
Cr Heather Wellington**	8,079	-	-	-	-	-	-	98	95	-	8,272
Cr Kate Gazzard	8,079	-	-	-	-	-	-	98	95	-	8,272
Cr Liz Pattison	12,912	-	595	-	374	-	-	98	95	-	14,074
Cr Libby Stapleton*	25,945	-	-	-	-	-	2,261	98	95	-	28,400
Cr Mike Bodsworth	8,079	-	-	-	-	-	-	98	95	-	8,272
Cr Paul Barker^	7,000	-	-	-	-	-	-	98	95	-	7,194
Cr Rose Hodge	7,968	-	-	-	-	-	-	98	95	(30)	8,131
Total	92,095	-	595	1,418	374	-	2,261	883	859	(30)	98,455

Notes:

* Cr Libby Stapleton (Mayor period: 18/11/2020 - present).

^ Under the Local Government Act 2020, a Mayor, Deputy Mayor or Councillor may elect to receive a specified part of their allowance to which they are entitled.

** Leave without pay during period.

Car mileage reimbursement includes remote area travel allowance.

Allowance figures include superannuation.

Figures exclude GST.

2021-22 Councillor Attendance - Council Meetings, Special Council Meetings for Hearing Submissions and meetings held under the auspices of Council - Quarterly

March Quarter 2022			
	Council Meetings Scheduled by Resolution	Other Council Meetings*	Meetings Held Under the Auspices of Council**
Total meetings held (in quarter)	3	0	12
Cr Rose Hodge	3	0	12
Cr Heather Wellington	3	0	0
Cr Gary Allen	3	0	12
Cr Paul Barker	3	0	12
Cr Mike Bodsworth	3	0	12
Cr Kate Gazzard	3	0	8
Cr Liz Pattison	3	0	11
Cr Libby Stapleton	2	0	10
Cr Adrian Schonfelder	3	0	7

* Note - Includes Special Council Meetings for Hearing Submissions and Council meetings not scheduled by Council resolution.

** Meetings held under the auspices of Council generally refer to Councillor briefings.

8.6 Conflict of Interest Records

Authors Title:	Governance Officer
General Manager:	Lenny Jenner, Acting General Manager Strategy & Effectiveness
Department:	Governance
Division:	Strategy and Effectiveness
Attachments:	<ol style="list-style-type: none">1. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - Budget Briefing #3 - 9 March 2022 [8.6.1 - 1 page]2. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - Strategic Conversations - 15 March 2022 [8.6.2 - 1 page]3. Conflict of Interest Record - Meetings conducted under the auspices of Council - Anglesea Community Action Network - 16 March 2022 [8.6.3 - 1 page]4. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - 22 March 2022 [8.6.4 - 1 page]5. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - Strategic Conversations - 29 March 2022 [8.6.5 - 1 page]6. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - 5 April 2022 [8.6.6 - 2 pages]7. Conflict of Interest Record - Meetings conducted under the auspices of Council - Councillor Briefings - 12 April 2022 [8.6.7 - 2 pages]

Officer Conflict of Interest: No officer declared a conflict of interest under the *Local Government Act 2020* in the preparation of this report.

Status: This report and attachments contains no confidential information under section 66(2) of the *Local Government Act 2020*.

Executive Summary

Subject Matter Overview

This report presents all conflict of interest records received since the previous Council meeting. Conflict of interest records are required in accordance with the *Local Government Act 2020* (the Act), and inform Council and the community of any conflicts of interest which have been declared by Councillors at meetings held under the auspices of Council which are not Council meetings.

Summary

The Local Government Act 2020 (the Act) outlines requirements for Councillors to declare and manage conflicts of interests. By disclosing conflicts of interests and following the prescribed procedures, Councillors engage in practices that promote the integrity and transparency of decision-making.

The attached conflict of interest records are prepared in accordance with the Act and Council's Governance Rules. The Act outlines that the procedure for disclosing conflicts must be included within the Governance Rules and Chapter 3 of these rules prescribes that a record of any meeting held under the auspices of Council must be kept and presented to the next possible Council meeting.

Meetings held under the auspices of Council may include (but are not limited to) Councillor briefings or forums, advisory committee meetings, public consultations and site meetings (including meetings the Council arranges jointly with other organisations). These records replace the previous requirements for 'Assemblies of Councillors' under the Local Government Act 1989.

Outcome Statement

This standing report for each Council meeting ensures full public transparency of any conflicts of interest declared by Councillors during meetings conducted under the auspices of Council.

<i>Key benefits</i>	<i>Key risks</i>
Public transparency is promoted and statutory compliance is achieved.	By presenting this information the risk of non-compliance with the legislation and Governance Rules is mitigated.

Finance and Resource Implications

Not applicable.

Community Engagement

Not applicable.

Recommendation

That Council notes the conflict of interest records as presented in the attached appendices for the following meetings:

1. Councillor Briefings - Budget Briefing #3 - 9 March 2022
2. Councillor Briefings - 15 March 2022
3. Anglesea Community Action Network Meeting - 16 March 2022
4. Councillor Briefings - 22 March 2022
5. Councillor Briefings - 29 March 2022
6. Councillor Briefings - 5 April 2022
7. Councillor Briefings - 12 April 2022

Council Resolution

Moved Cr Schonfelder, Seconded Cr Gazzard

That Council notes the conflict of interest records as presented in the attached appendices for the following meetings:

1. Councillor Briefings - Budget Briefing #3 - 9 March 2022
2. Councillor Briefings - 15 March 2022
3. Anglesea Community Action Network Meeting - 16 March 2022
4. Councillor Briefings - 22 March 2022
5. Councillor Briefings - 29 March 2022
6. Councillor Briefings - 5 April 2022
7. Councillor Briefings - 12 April 2022

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth Cr Gazzard Cr Hodge Cr Pattison Cr Schonfelder Cr Stapleton Cr Wellington	Nil	Nil

Alternative Options

1. That Council does not note the conflict of interest records. (This option is not recommended as it will affect compliance with the legislation and Governance Rules.)

Report

Background

Conflict of interest records are required to be presented to Council in accordance with the *Local Government Act 2020* and Council's Governance Rules. These records replace the requirement under the *Local Government Act 1989* to present an Assembly of Councillors to Council.

Discussion

In undertaking their roles, Councillors will often attend a variety of meetings and other forums associated with the performance of their duties. In the interest of transparency and good conduct, it is essential that the public is made aware of these meetings through records presented in the Council meeting agenda.

Outcome Analysis

Publication of these records is an important part of the overall management of conflicts of interest. By making these records publicly available through the Council meeting agenda, the municipal community is made aware that interests are managed effectively and elected representatives are performing their roles in a way that is consistent with the requirements within the legislation.

Financial and Resource Impact Analysis

Not applicable.

Council Plan Assessment

Theme Seven - Accountable And Viable Council

Strategy 19 - Improve Council's credibility as a trusted decision maker through meaningful engagement.

Relevant Legislation, Policy, Strategies and Plans

The publication of these records is required in accordance with section 131 of the *Local Government Act 2020*, and Chapter 3 of Council's Governance Rules.

Previous Councillor and Audit and Risk Committee Consultation and Presentation to Briefings

Not applicable.

Conflict of Interest Record

Meetings conducted under the auspices of Council

Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Budget Briefing #3
Responsible Officer: Gabby Spiller - Manager Finance
Date: 9 March 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Gary Allen	✓	CEO - Robyn Seymour	✓
Cr. Paul Barker	✓	Acting General Manager Strategy & Effectiveness - Lenny Jenner	✓
Cr. Mike Bodsworth	✓	General Manager Community Life - Chris Pike	✓
Cr. Kate Gazzard	✓	Acting General Manager Place Making & Environment - Brendan Walsh	✓
Cr. Rose Hodge	✓	Manager Finance - Gabby Spiller	✓
Cr. Liz Pattison	X	Manager Assets and Engineering - John Bertoldi	✓
Cr. Adrian Schonfelder	X	Manager Strategy and Program Delivery - Rowena Frost	✓
Cr. Libby Stapleton	✓	Coordinator Management Accounting - Timothy Dickson	✓
Cr. Heather Wellington	X		

MEETING COMMENCED	9.30am	MEETING CONCLUDED	12:00pm
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Matters considered at the meeting
1. Budget Development Overview
2. Responses to Councillor queries from Briefing # 2 and recap of Briefing # 2
3. Update to Ten Year Financial Plan re Renewal Allocation/Plant Sales
4. Short story of our long term financial plan
5. Renewal 4 Year Capital Program
6. Torquay Jan Juc 4 Year Capital Program
7. 2022-23 Recurrent Budget Bids Prioritisation
8. 2022-23 Project Proposal Bids Prioritisation

Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		
Responsible Officer Signature: <i>Gabby Spiller</i> Print Name: Gabby Spiller		
To be completed on conclusion of session and provided to Governance Officer.		

Governance Rules, Chapter 3, Clause 3

- 3.1. At a meeting under the auspices of Council that is not a meeting of the Council or delegated committee, the Chief Executive Officer must ensure that a written record is kept of—
- a) the names of all Councillors and members of Council staff attending;
 - b) the matters considered;
 - c) any conflict of interest disclosures made by a Councillor attending under subclause 3.3;
 - d) whether a Councillor who has disclosed a conflict of interest as required by subclause 3.3 leaves the meeting.
- 3.2. The Chief Executive Officer must ensure that the written record of a meeting held under this clause is, as soon as practicable—
- a) reported at a meeting of the Council; and
 - b) incorporated in the minutes of that Council meeting.

Auspices of the Council

Any meeting that is organised, sponsored or otherwise facilitated by the council should be treated as an 'auspiced' meeting. Council auspiced meetings may include, but are not limited to:

- regular councillor briefings or forums,
- other briefing meetings,
- committees other than a delegated or community asset committee (such as advisory committees),
- public consultations, and
- site meetings (incl. include meetings the council arranges jointly with other organisations).

Conflict of Interest Record

Meetings conducted under the auspices of Council

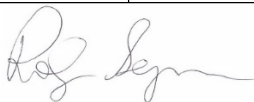
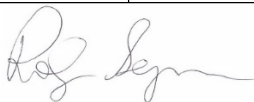
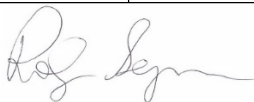
Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Councillor Briefings - Strategic Conversations
Responsible Officer: Robyn Seymour - CEO
Date: 15 March 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Gary Allen	✓	Robyn Seymour - CEO	✓
Cr. Paul Barker	✓	Chris Pike - General Manager Community Life	✓
Cr. Mike Bodsworth	✓	Brendan Walsh - Acting General Manager Place Making and Environment	✓
Cr. Kate Gazzard	X	Lenny Jenner - Acting General Manager Strategy and Effectiveness	✓
Cr. Rose Hodge	✓	Rowena Frost - Manager Strategy and Program Delivery	✓
Cr. Liz Pattison	✓	Alicia Hooper - Strategic Initiatives Coordinator	✓
Cr. Adrian Schonfelder	X	Zoe Eastick - Governance Statutory Compliance & Reporting Officer	✓
Cr. Libby Stapleton	✓		
Cr. Heather Wellington	X		

MEETING COMMENCED	11:09am	MEETING CONCLUDED	3:00pm
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Matters considered at the meeting
1. Council Plan – Year 2 actions

Councillor Conflict of Interest Disclosures					
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed			
Nil declared					
<table style="width: 100%;"> <tr> <td style="width: 30%;">Responsible Officer Signature:</td> <td style="width: 40%; text-align: center;"></td> <td style="width: 30%;">Print Name: Robyn Seymour</td> </tr> </table>			Responsible Officer Signature:		Print Name: Robyn Seymour
Responsible Officer Signature:		Print Name: Robyn Seymour			
To be completed on conclusion of session and provided to Governance Officer.					

Governance Rules, Chapter 3, Clause 3

3.1. At a meeting under the auspices of Council that is not a meeting of the Council or delegated committee, the Chief Executive Officer must ensure that a written record is kept of—

- a) the names of all Councillors and members of Council staff attending;
- b) the matters considered;
- c) any conflict of interest disclosures made by a Councillor attending under subclause 3.3;
- d) whether a Councillor who has disclosed a conflict of interest as required by subclause 3.3 leaves the meeting.

3.2. The Chief Executive Officer must ensure that the written record of a meeting held under this clause is, as soon as practicable—

- a) reported at a meeting of the Council; and
- b) incorporated in the minutes of that Council meeting.

Auspices of the Council

Any meeting that is organised, sponsored or otherwise facilitated by the council should be treated as an 'auspiced' meeting. Council auspiced meetings may include, but are not limited to:

- regular councillor briefings or forums,
- other briefing meetings,
- committees other than a delegated or community asset committee (such as advisory committees),
- public consultations, and
- site meetings (incl. include meetings the council arranges jointly with other organisations).

Conflict of Interest Record

Meetings conducted under the auspices of Council


Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Community Action Network – Anglesea (monthly)
Responsible Officer: Rob McVernon/Sally Sneddon
Date: 16 March 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Gary Allen	x	Volunteer Advisor - Rob McVernon	✓
Cr. Paul Barker	x	Community Development Advisor - Sally Sneddon	✓
Cr. Mike Bodsworth	x		
Cr. Kate Gazzard	x		
Cr. Rose Hodge	x		
Cr. Liz Pattison	x		
Cr. Adrian Schonfelder	x		
Cr. Libby Stapleton	✓		
Cr. Heather Wellington	x		

MEETING COMMENCED	11:00am	MEETING CONCLUDED	11:45am
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Matters considered at the meeting
1. Council 2022/23 budget deliberations
2. Communications and Engagement Strategy 2022-24 - open for community comment
3. Drainage and stormwater repairs
4. Aireys Music Festival
5. Surf Coast Arts Trail registrations open
6. Lorne Sculpture Biennale launch
7. Council meetings resuming in person in March
8. Community group updates
9. Actions arising from last meeting

Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		
Responsible Officer Signature: 		Print Name: Sally Sneddon
To be completed on conclusion of session and provided to Governance Officer.		

Governance Rules, Chapter 3, Clause 3

- 3.1. At a meeting under the auspices of Council that is not a meeting of the Council or delegated committee, the Chief Executive Officer must ensure that a written record is kept of—
- the names of all Councillors and members of Council staff attending;
 - the matters considered;
 - any conflict of interest disclosures made by a Councillor attending under subclause 3.3;
 - whether a Councillor who has disclosed a conflict of interest as required by subclause 3.3 leaves the meeting.
- 3.2. The Chief Executive Officer must ensure that the written record of a meeting held under this clause is, as soon as practicable—
- reported at a meeting of the Council; and
 - incorporated in the minutes of that Council meeting.

Auspices of the Council

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Conflict of Interest Record

Meetings conducted under the auspices of Council

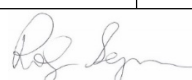
Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Councillor Briefings - 22 March 2022
Responsible Officer: Chief Executive Officer
Date: 22 March 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Libby Stapleton, Mayor	✓	Chief Executive Officer - Robyn Seymour	✓
Cr. Liz Pattison, Deputy Mayor	✓	General Manager Community Life - Chris Pike	✓
Cr. Gary Allen	✓	Acting General Manager Place Making & Environment - Brendan Walsh	✓
Cr. Paul Barker	✓	Acting General Manager Strategy & Effectiveness - Lenny Jenner	✓
Cr. Mike Bodsworth	✓	Coordinator Governance - Jake Brown	✓
Cr. Kate Gazzard	✓	Coordinator Statutory Planning - Ben Hynes	✓
Cr. Rose Hodge	✓	Coordinator Strategic Planning - Karen Hose	✓
Cr. Adrian Schonfelder	X	Governance Officer - Julie Morales	✓
Cr. Heather Wellington	X	Manager Assets & Engineering - John Bertoldi	✓
		Manager Environment and Sustainability - Rowan Mackenzie	✓
		Project Manager - Capital and Operational Projects – Leanne Lucas	✓
		Senior Statutory Planner – Rob Wandell	✓

MEETING COMMENCED	9:34am	MEETING ADJOURNED	12:09pm
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Matters considered at the meeting
1. Agenda Review (including Responsible & Planning items)
2. Development of Cypress Lane
3. Karaaf Update
4. Water Quality Analysis of North Torquay Drainage Network - Feb 2022
5. Monthly Finance Report - Feb 2022
6. Digital Transformation - Quarterly Program Update
7. Monthly Program Status Report Update - Feb 2022
8. Councillor Topics

Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		
Responsible Officer Signature: 		Print Name: Robyn Seymour
To be completed on conclusion of session and provided to Governance Officer.		

Governance Rules, Chapter 3, Clause 3

- 3.1. At a meeting under the auspices of Council that is not a meeting of the Council or delegated committee, the Chief Executive Officer must ensure that a written record is kept of—
- a) the names of all Councillors and members of Council staff attending;
 - b) the matters considered;
 - c) any conflict of interest disclosures made by a Councillor attending under subclause 3.3;
 - d) whether a Councillor who has disclosed a conflict of interest as required by subclause 3.3 leaves the meeting.
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Conflict of Interest Record

Meetings conducted under the auspices of Council

Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Councillor Briefings - Strategic Conversations - 29 March 2022
Responsible Officer: Chief Executive Officer
Date: 29 March 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Libby Stapleton, Mayor	✓	Chief Executive Officer - Robyn Seymour	✓
Cr. Liz Pattison, Deputy Mayor	✓	General Manager Place Making & Environment - Chris Pike	✓
Cr. Gary Allen	✓	Acting General Manager Community Life – Damian Waight	✓
Cr. Paul Barker	✓	Acting General Manager Strategy & Effectiveness - Lenny Jenner	✓
Cr. Mike Bodsworth	✓	Coordinator Business Support - Simon Loone	✓
Cr. Kate Gazzard	✓	Coordinator Environment - Kate Smallwood	✓
Cr. Rose Hodge	✓	Coordinator Social Infrastructure & Open Space Planning - Kristin Davies	✓
Cr. Adrian Schonfelder	X	Coordinator Visitor Centres & Australian National Surfing Museum - Kim Biggs	✓
Cr. Heather Wellington	X	Environment Officer Biodiversity - Gabrielle O'Shea	✓
		Manager Economic Development, Arts & Tourism - Matt Taylor	✓
		Manager Environment and Sustainability - Rowan Mackenzie	✓
		Manager Integrated Planning - Shaan Briggs	✓
		Recreation Development Officer - Paul Elshaug	✓

MEETING COMMENCED	12:10pm	MEETING ADJOURNED	4:40pm
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Matters considered at the meeting
1. GORCAPA Vision and Objectives
2. Great Ocean Road & Environs Protection Amendment Bill 2021
3. Tourism now and into the future - Surf Coast and GOR
4. Anglesea Adventure Tourism

Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		

Responsible Officer Signature: 	Print Name: Robyn Seymour
To be completed on conclusion of session and provided to Governance Officer.	

Governance Rules, Chapter 3, Clause 3

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Conflict of Interest Record

Meetings conducted under the auspices of Council


Section 131 of the Local Government Act 2020 and Chapter 3 of Council's Governance Rules

Description of Meeting: Councillor Briefings - 5 April 2022
Responsible Officer: Chief Executive Officer
Date: 5 April 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Libby Stapleton, Mayor	✓	Chief Executive Officer - Robyn Seymour	✓
Cr. Liz Pattison, Deputy Mayor	✓	General Manager Place Making & Environment - Chris Pike	✓
Cr. Gary Allen	✓	Acting General Manager Community Life – Damian Waight	✓
Cr. Paul Barker	X	Acting General Manager Strategy & Effectiveness - Lenny Jenner	✓
Cr. Mike Bodsworth	✓	Biodiversity Officer - Gabrielle O'Shea	✓
Cr. Kate Gazzard	X	Climate Emergency Project Officer - Samantha Suendermann	✓
Cr. Rose Hodge	X	Community Engagement Facilitator - Robyn Lucas	✓
Cr. Adrian Schonfelder	X	Coordinator Development Engineer - David Stacey	✓
Cr. Heather Wellington	X	Coordinator Environment - Kate Smallwood	✓
		Coordinator Environmental Sustainability - Lauren Watt	✓
		Coordinator Governance Projects - Wendy Hope	✓
		Coordinator Waste Management - Neil Brewster	✓
		Environmental Sustainability Officer - Adrian Ford	✓
		Governance Officer - Julie Morales	✓
		Manager Assets and Engineering - John Bertoldi	✓
		Manager Community Safety - Adam Lee	✓
		Manager Community Strengthening - Katie Reaper	✓
		Manager Environment and Sustainability - Rowan Mackenzie	✓
		Manager Integrated Planning - Shaan Briggs	✓
		Manager Operations - Travis Nelson	✓
		Manager Planning and Compliance - Kate Sullivan	✓
		Principal Strategic Planner - Barb Noelker	✓
		Project Manager - Capital and Operational Projects - Kane Rogozik	✓
		Property Services Officer - Sheree Seiffert	✓
		Recreation Development Officer - Paul Elshaug	✓
		Senior Climate and Sustainability Officer - Sean Keown	✓
		Senior Procurement Officer - Eleanor Crofts	✓
		Senior Statutory Planner - Rob Wandell	✓
		Strategic Land Use Planning Co-ordinator - Karen Hose	✓
		Team Leader Youth Development - Jack Pearson	✓

MEETING COMMENCED	12:35pm	MEETING ADJOURNED	5:11pm
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Matters considered at the meeting
1. Cypress Lane
2. Youth Census Results and Strategy Overview
3. Planning Scheme Amendment C134 - Implementation of the Winchelsea Town Centre and Highway Design Guidelines
4. Amendment C140 - Correctional Amendment
5. Zero Emissions Roadmap

6. Surf Coast Aquatic and Health Centre Concept Plans		
7. Update on Bells Beach Surfing Recreation Reserve including the Committee, Events and Transition to GORCAPA		
8. Nature Strip Policy		
9. SCS-012 Signage on Council Managed Land Policy Review		
10. SCS-015 Control of Noise from Recreation Reserves Policy Review		
11. Award of Contract T22-002 Kerbside Waste Collection Services		
12. Councillor Topics		
Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		
Responsible Officer Signature: 		Print Name: Robyn Seymour
To be completed on conclusion of session and provided to Governance Officer.		

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Conflict of Interest Record


Meetings conducted under the auspices of Council

Section 131 of the *Local Government Act 2020* and Chapter 3 of Council's Governance Rules

Description of Meeting: Councillor Briefings - 12 April 2022
Responsible Officer: Chief Executive Officer
Date: 12 April 2022
In Attendance: Yes (✓) No (X)

Councillors		Officers	
Cr. Libby Stapleton, Mayor	✓	Chief Executive Officer - Robyn Seymour	✓
Cr. Liz Pattison, Deputy Mayor	✓	General Manager Place Making & Environment - Chris Pike	✓
Cr. Gary Allen	✓	Acting General Manager Community Life - Damian Waight	✓
Cr. Paul Barker	X	Acting General Manager Strategy & Effectiveness - Lenny Jenner	✓
Cr. Mike Bodsworth	✓	Coordinator Environmental Sustainability - Lauren Watt	✓
Cr. Kate Gazzard	✓	Coordinator Governance - Jake Brown	
Cr. Rose Hodge	X	Coordinator Management Accounting - Tim Dickson	✓
Cr. Adrian Schonfelder	✓	Coordinator Revenue - Jade McKenzie	✓
Cr. Heather Wellington	X	Governance Officer - Julie Morales	✓
		Governance Statutory Compliance & Reporting Officer - Zoe Eastick	✓
		Manager Assets and Engineering - John Bertoldi	✓
		Manager Community Strengthening - Katie Reaper	✓
		Manager Environment and Sustainability - Rowan Mackenzie	✓
		Manager Finance - Gabby Spiller	✓
		Manager Integrated Planning - Shaan Briggs	✓
		Recreation Development Officer - Paul Elshaug	✓
		Senior Climate and Sustainability Officer - Sean Keown	✓
		Strategic Initiatives Coordinator - Alicia Hooper	✓

MEETING COMMENCED	10:10am	MEETING ADJOURNED	3:09pm
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Matters considered at the meeting		
1. Lorne and Torquay Sands Microgrid Investigation Update		
2. Great South Coast Council Key Worker Housing Action Plan		
3. Council Rates Explained		
4. Draft Budget Report 2022/23 (Budget Briefing #4)		
5. Cash Reserves		
6. Winchelsea Pool Revamp - Project Update		
7. Audit and Risk Committee Meeting Update - March 2022		
8. Transfer of Council Managed Land to GORCAPA		
9. Transfer of Service to CFA - Schedule 13 Permits to Burn		
10. Reports Coming to the April Council Meeting		
11. Councillor Topics		
Councillor Conflict of Interest Disclosures		
Councillor	Left Meeting (Y/N)	Classification and nature of interest(s) disclosed
Nil		
Responsible Officer Signature: 		Print Name: Robyn Seymour
To be completed on conclusion of session and provided to Governance Officer.		

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9 Urgent Business

In accordance with Rule 25 of Council's Governance Rules, a report may be admitted as urgent business if it relates to a matter which has arisen since distribution of the agenda, and cannot safely or conveniently be deferred until the next Council meeting.

Any urgent business reports will be uploaded to Council's website separately to this agenda, and will be considered as part of the order of business at the meeting if Council so resolves.

10 Closed Section

Council Resolution

Moved Cr Schonfelder, Seconded Cr Gazzard

That Council, pursuant to section 66(1) and 66(2)(a) of the *Local Government Act 2020*, close the meeting to members of the public at 8:36 pm to resolve on matters pertaining to items that deal with information that is confidential in accordance with section 3(1) of the Act, as follows:

CARRIED 7|0

For	Against	Abstained
Cr Bodsworth	Nil	Nil
Cr Gazzard		
Cr Hodge		
Cr Pattison		
Cr Schonfelder		
Cr Stapleton		
Cr Wellington		

10.1 Award of Contract T22-002 Kerbside Waste Collection

Pursuant to sections 3(1) and 66(5) of the *Local Government Act 2020*, the information contained in this report is confidential because it contains Council business information being information that would prejudice the Council's position in commercial negotiations.

11 Close of Meeting

The Council Meeting - 26 April 2022 closed at 08:50 pm.