

# DEVELOPMENT PLAN

135-235 AUSTIN STREET  
WINCHELSEA

**SITE AREA** 9.085 HA

**ENCUMBERED OPEN SPACE**

Tree Reserve	0.037 HA
Drainage Reserve	0.490 HA
<b>TOTAL</b>	<b>0.527 HA</b>

**NET DEVELOPABLE AREA** 8.558 HA

Road Reserves 2.612 HA

**LOT AREAS**

300m <sup>2</sup> - 400m <sup>2</sup>	13
400m <sup>2</sup> - 500m <sup>2</sup>	78
500m <sup>2</sup> - 600m <sup>2</sup>	27
600m <sup>2</sup> - 700m <sup>2</sup>	7
700m <sup>2</sup> - 800m <sup>2</sup>	0
800m <sup>2</sup> - 900m <sup>2</sup>	1
<b>TOTAL</b>	<b>126</b>

**LOT DENSITY (PER NDA)** 14.7 HA

**AVERAGE LOT SIZE** 471m<sup>2</sup>

STAGE	AREA	LOTS
1	1.608 HA	18
2	0.988 HA	12
3	1.232 HA	19
4	1.176 HA	18
5	0.761 HA	11
6	0.706 HA	12
7	1.457 HA	20
8	1.177 HA	16

- STAGE BOUNDARIES
- RESIDENTIAL LOT
- RESERVE - OPEN SPACE
- RESERVE - BASIN
- TRAFFIC MANAGEMENT MEASURE
- PROPOSED 1.5m WIDE PATH
- PROPOSED 2.5m WIDE PATH
- TREE TO BE RETAINED
- TREE TO BE REMOVED



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APPLYING TO THE LOCAL GOVERNMENT FOR APPROVAL OF THIS DEVELOPMENT PLAN IS NOT A GUARANTEE OF SUCCESS. THIS IS NOT A BUILDING APPROVAL.



REF 17797-100  
SCALE 1:2000 (@A3)  
DATE 15/06/2021  
VERSION 18

# BUILDING ENVELOPE PLAN

135-235 AUSTIN STREET  
WINCHELSEA



INDICATIVE BUILDING ENVELOPE  
(10m x15m)

\*ALL BUILDING ENVELOPES ARE SHOWN AT MINIMUM 4m SETBACK FROM THE PRIMARY FRONTAGE & 2m FROM THE SECONDARY FRONTAGE.  
ALL OFFSETS FROM SIDE BOUNDARIES ARE A MINIMUM 1m.









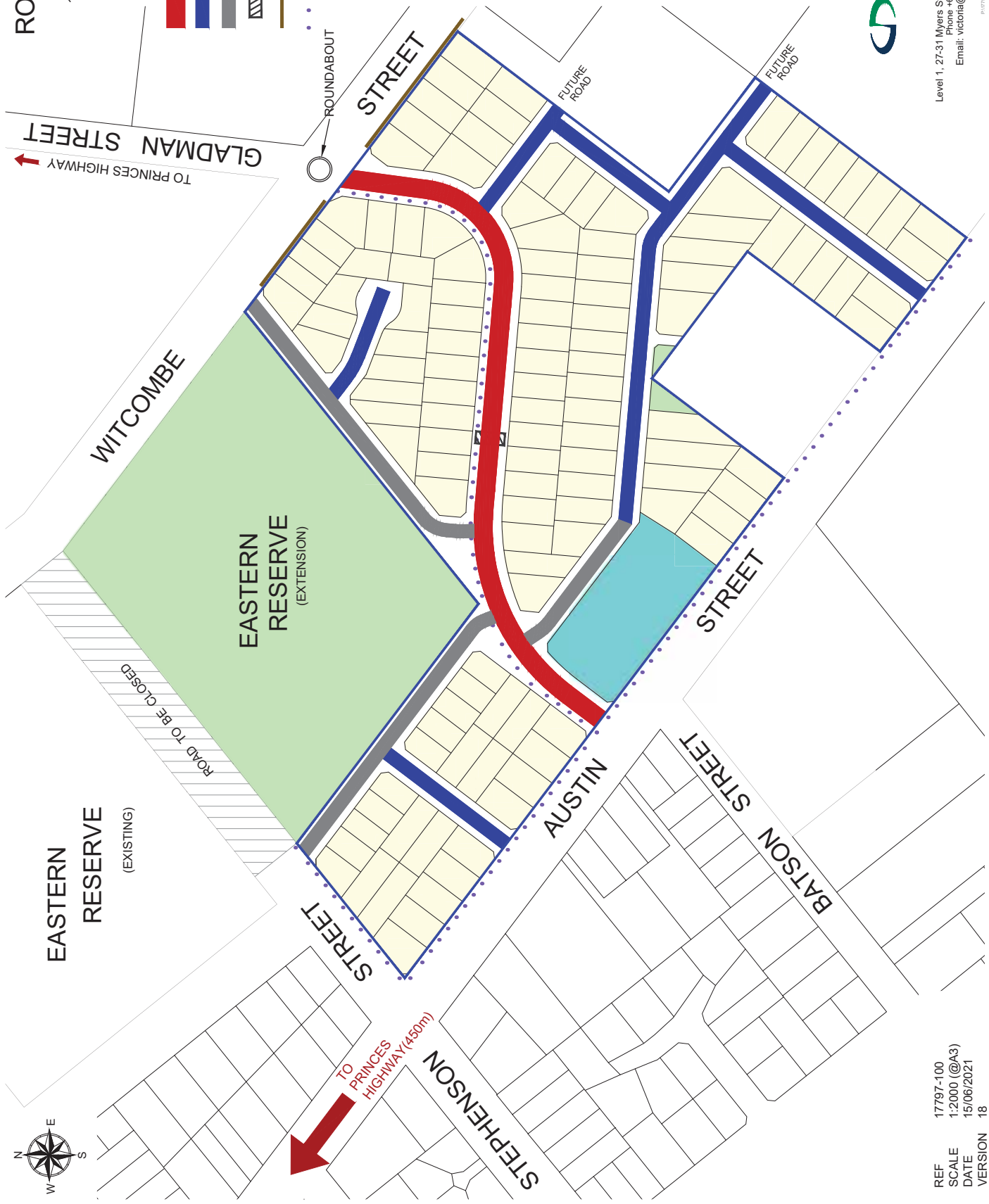
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# ROAD HIERARCHY PLAN

135-235 AUSTIN STREET  
WINCHELSEA

-  CONNECTOR ROAD (20.4m WIDE)
-  LOCAL ROAD (16m WIDE)
-  RESERVE ROAD (14m WIDE)
-  TRAFFIC MANAGEMENT MEASURE
-  PROPOSED 1.5m WIDE PATH
-  PROPOSED 2.5m WIDE PATH



**Cardno**  
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