



135-235 Austin Street Winchelsea Infrastructure Servicing Assessment

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME

This Development Plan complies with the requirements of Clause 43.04 of the Surf Coast Planning Scheme

Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 1 of 20

Ref No: 17797-02

Prepared For: Anthony Robert Grant Pty Ltd

Due: September 2019

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Karen Hose

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Document History

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1	19/09/2019	Infrastructure Servicing Assessment	J. Guthrie	B. Johnson
2	12/05/2020	Updated ODP	J. Guthrie	B. Johnson
3	14/10/2020	Updated ODP	J. Guthrie	B. Johnson

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME
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Front Cover Image - 135-235 Austin Street, Winchelsea (Courtesy of [Aerialmap](#))

Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 2 of 20

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Table of Contents

1	Introduction	1
	1.1 Existing Conditions and Locations	1
2	Overall Development Plan	3
3	Servicing	3
	3.1 Access	3
	3.2 Drainage	3
	3.3 Sewer	4
	3.4 Potable Water	5
	3.5 Electricity	6
	3.6 Gas	7
	3.7 Telecommunications	8
	Appendix A – Overall Development Plan	
	Appendix B – Barwon Water Servicing Advice	
	Appendix C – Powercor Concept HV and LV Servicing Layout	
	Appendix D – NBN Feasibility Letter	

Tables

No table of contents entries found.

Figures

Figure 1-1	Winchelsea Structure Plan 2021	1
Figure 1-2	135-235 Austin Street – Locality Plan	2
Figure 2-1	Overall Development Plan	3
Figure 3-1	Proposed Sewer Connections	4
Figure 3-2	Proposed Water Main Connections	5
Figure 3-3	Proposed and Existing Electrical Services	6
Figure 3-4	Existing Gas Main Locations and Proposed Connections	7
Figure 3-5	Existing and Proposed Telecommunications Cables	8

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME
This Development Plan complies with the requirements of Clause
43.04 of the Surf Coast Planning Scheme

Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 3 of 20

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1 Introduction

This Infrastructure Servicing Assessment (ISA) has been prepared at the request of Anthony Robert Grant Pty Ltd, to show a high-level servicing strategy and advice for the proposed subdivision at 135-235 Austin Street, Winchelsea. This report is to be used to support the planning permit application by addressing the infrastructure servicing requirements associated with the subdivision of this property.

1.1 Existing Conditions and Locations

The subject property being; 135-235 Austin Street is a part of the Winchelsea growth area outline development plan, refer to the Winchelsea Structure Plan 2021 in Figure 1-1. Winchelsea is apart of the G21 Geelong Regional Plan and Great Ocean Road Region Strategy. This strategy promotes development in this area of Winchelsea in a south-easterly direction which includes this subject property.

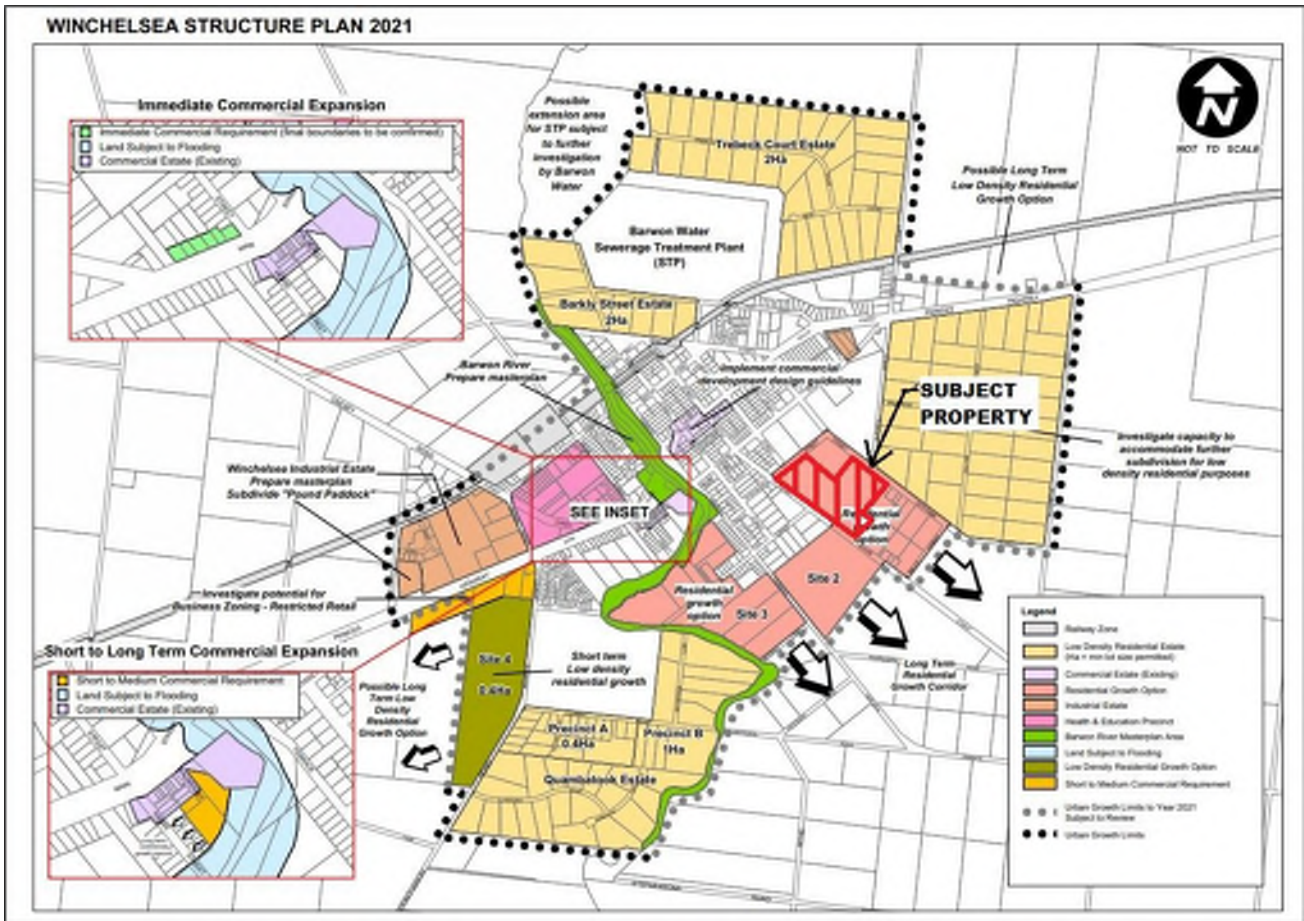


Figure 1-1 Winchelsea Structure Plan 2021

The subject property is approximately 9.9ha of rural farmland located 500m south of the Princes Highway with no buildings or structures present. The site is bounded by Winchelsea Street to the north-east, Stephenson Street to the north-west, Austin Street to the south-west and rural properties to the south-east. Council has previously purchased the southern corner of the site for the construction of a second sporting oval adjacent to Eastern Reserve with a proposal to close Stephenson Street between

The surrounding roads are sealed rural roads with open drains either side with the western section of Austin Street having some sections of kerb and channel on the southern side of the road.

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SURF COAST PLANNING SCHEME
This Development Plan complies with the requirements of Clause 48.04 of the Surf Coast Planning Scheme
Approval Number: PG49/0086
Date: 4/08/2021, Sheet No: 4 of 20
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A ridgeline runs from the east to west through the subject site with a high point towards the western side. A section of Low lying land, which is prone to holding water, extend into the property from the Austin Street / Batson Street intersection with a majority of the land falling towards this intersection with remaining pockets falling out in towards Witcombe Street and either end of Austin Street.

The site also contains an area surround by large trees, mostly pine trees, which was used as a night soil fill site. This area is proposed to be developed into medium density residential under a separate planning permit application at a later date.



Figure 1-2 135-235 Austin Street – Locality Plan

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SURF COAST PLANNING SCHEME
This Development Plan complies with the requirements of Clause 43.04 of the Surf Coast Planning Scheme

Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 5 of 20

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2 Overall Development Plan

The Overall Development Plan (ODP) includes 126 lots, not including the proposed medium density residential that is proposed at a later date, refer Figure 2-1. It also proposed to have a drainage reserve fronting Austin Street, which has been conceptually sized and detailed in Site Stormwater Management Plan (SSMP) (Refer TGM 17797-03).



Figure 2-1 Overall Development Plan

The site is proposed to have a main collector road, 20m wide, that connects Gladman Street to Austin Street, with six other intersections proposed to connect to the surrounding streets.

3 Servicing

3.1 Access

Direct access to the site can be made from the surrounding road reserves of Austin Street, Stephenson Street and Witcombe Street. As part of the development, intersections will be constructed on the surrounding road reserves. Temporary turnarounds will be provided during construction to allow for service vehicles and public turn around during construction of roads. The temporary turnarounds will be designed as specified by council.

3.2 Drainage

Refer CardnoTGM SSMP (Reference 17797-03) for drainage system and basin proposal.

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME
 This Development Plan complies with the requirements of Clause
43.04 of the Surf Coast Planning Scheme

Approval Number: PG19/0086
 Date: 4/08/2021 Sheet No: 6 of 20
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3.3 Sewer

Servicing advice from Barwon Water has advised that sewer for the proposed development can connect to three (3) existing gravity sewers located to the west, south and north of the development as follows;

1. The connection to the south is an existing sewer manhole located in the road reserve approximately 130m from intersection of Austin and Baston Street.
2. The connection to the west is an existing sewer manhole located along within the back of a property fronting Austin Street. Connecting to this manhole can propose challenges for construction and is not general recommended as access and an easement would be required through the existing property.
3. The connection in the north is an existing manhole located within the north west corner of Eastern Reserve. To connect to this manhole sewer would have to be constructed north-west along Witcombe Street into Hopkins Street to the existing sewer where a new manhole would need to be constructed on existing line.

Barwon Water within their servicing advice suggested that the north-eastern portion of the subdivision, the lots fronting Witcombe street may be difficult to command with the existing gravity sewer. They propose that a new sewerage pump station or low-level pressure sewer may be required to control these lots.

Based on the servicing advice stated above a concept design was undertaken that confirms that the proposed development can be controlled by gravity back to the existing connection points, in lieu of a sewer pump station or pressure system.

As shown below in Figure 3.1 the sewer is split into two sections, one portion of the sewer is out falling to the proposed connection in Baston Street. The other portion of sewer is proposed to outfall along Witcombe Street and Hopkins Street to reach the connection to the sewer in Hopkins Street. Further survey is required to ensure levels of the existing surface along Witcombe street allow the sewer to be constructed in accordance with Barwon Water Standards.

Refer to **Barwon Water’s 135 Austin Street Winchelsea – Servicing Advice** in appendix B



Figure 3-1 Proposed Sewer Connections

3.4 Potable Water

Potable water is available via an existing 150mm PVC/AC main in Austin Street, 150mm AC main in Stephenson Street and a 100mm PVC main west of the development in Witcombe Street which can provide supply for the entire development.

Barwon Water will require the internal potable water network connected to all the existing watermains to provide security of water supply and improve water quality. The 100mm PVC main in Witcombe Street would need to be extended across the frontage of the development to service properties in this vicinity and connect to the internal potable water network.

Refer to **Barwon Water’s 135 Austin Street Winchelsea – Servicing Advice** in appendix B

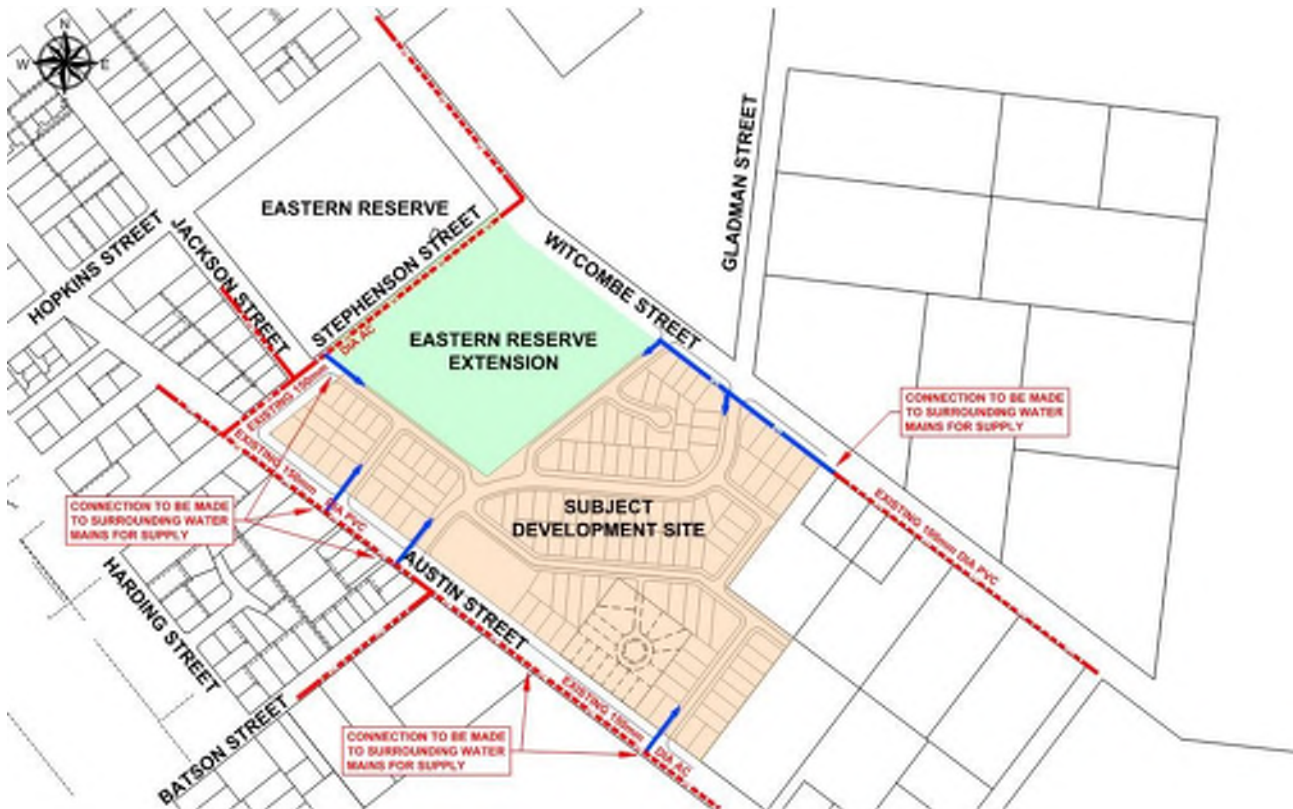


Figure 3-2 Proposed Water Main Connections

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME
 This Development Plan complies with the requirements of Clause
 43.04 of the Surf Coast Planning Scheme

 Approval Number: PG19/0086
 Date: 4/08/2021 Sheet No: 8 of 20

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3.5 Electricity

The subject property can be serviced from the two existing electrical poles, one located in Batson Street (approximately 100m south of Austin Street), the second pole is located in Witcombe Street on the south side of the Gladman Street intersection. This pole may need relocation to create clearance to the proposed intersection works. These connections will provide High Voltage (HV) power to internal electrical kiosks and converted to Low Voltage (LV) for an internal distribution network for the proposed properties.

It should be noted that further discussions with Powercor should be had as the servicing proposals provided are based off a previous ODP and staging plan but concepts would be similar.

Refer to **Powercor Concept HV and LV Servicing Layout** in appendix C

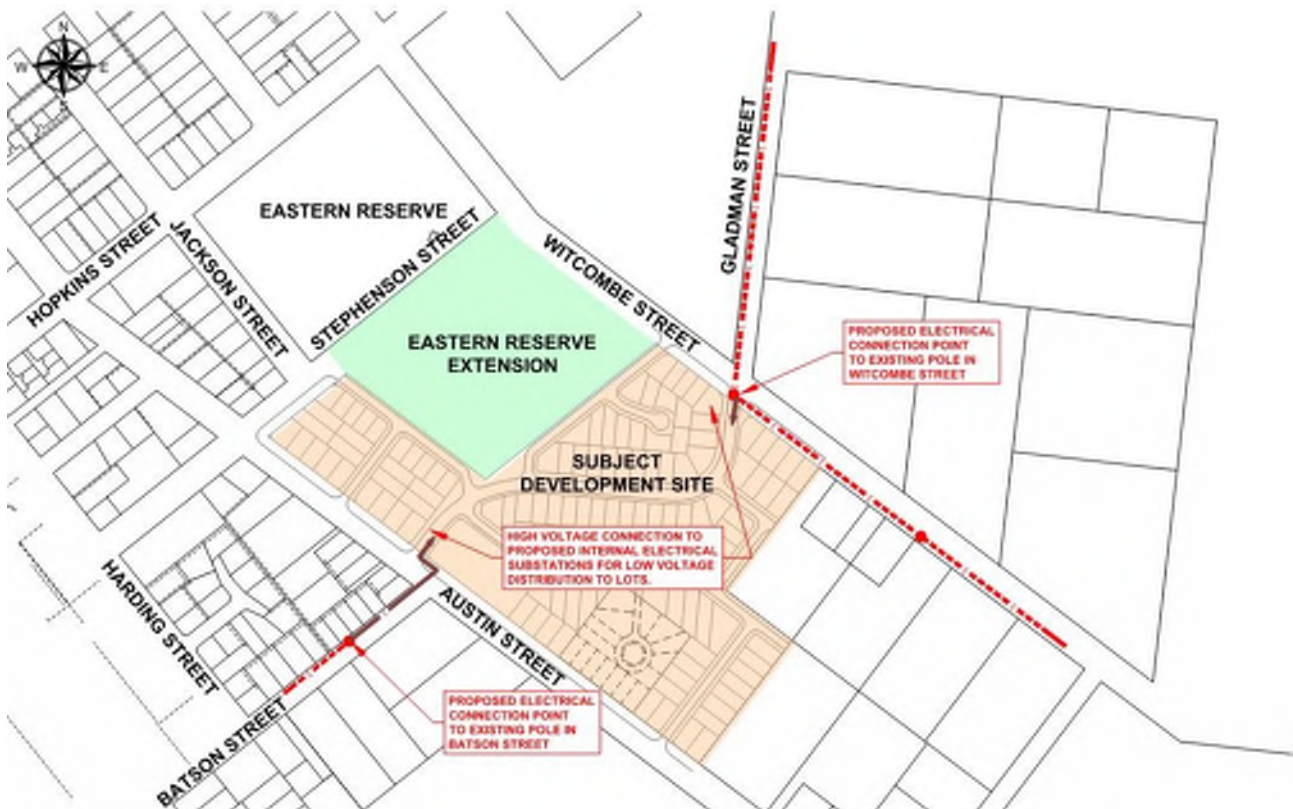


Figure 3-3 Proposed and Existing Electrical Services

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SURF COAST PLANNING SCHEME
 This Development Plan complies with the requirements of Clause
 43.04 of the Surf Coast Planning Scheme

 Approval Number: PG19/0086
 Date: 4/08/2021 Sheet No: 9 of 20

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3.6 Gas

In 2016 Winchelsea was connected to natural gas as part of the Regional Gas Infrastructure program by AusNet Gas Services. There is currently an existing gas service towards the western side of the development in Austin Street and Stephenson Street that may be able to service the proposed development.

Further discussion will be required with AusNet Gas Services to understand any potential or further network upgrades or costs.

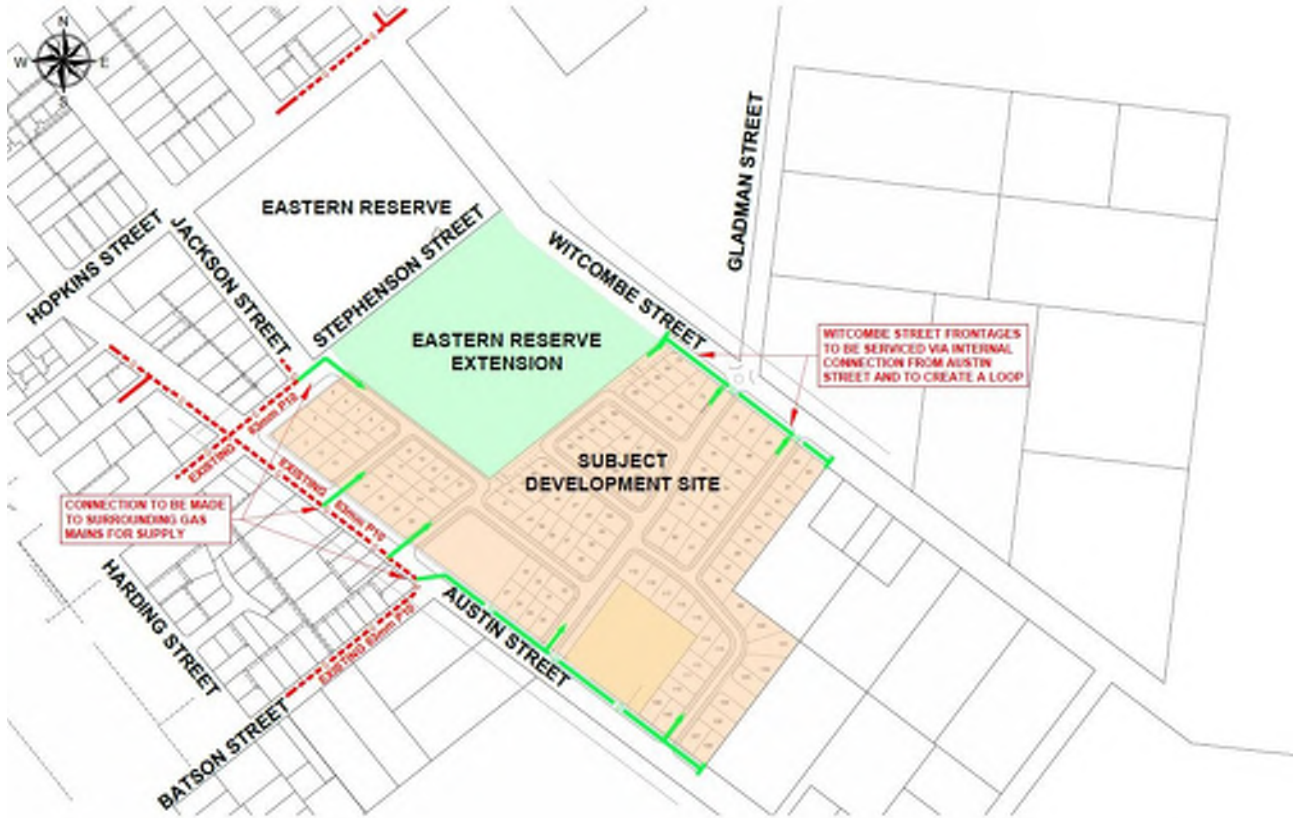


Figure 3-4 Existing Gas Main Locations and Proposed Connections

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SURF COAST PLANNING SCHEME
 This Development Plan complies with the requirements of Clause
 43.04 of the Surf Coast Planning Scheme

 Approval Number: PG19/0086
 Date: 4/08/2021 Sheet No: 10 of 20

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3.7 Telecommunications

The subject property is located in Winchelsea which is part of the National Broadband Network's (NBN) network expansion. Existing NBN cables have been identified towards the western side of the development in Austin Street and Stephenson Street. There are also existing Telstra conduits that can be utilised by NBN surrounding the development. It is proposed that the cables within the development connect to the existing NBN infrastructure present to the west in the neighbouring streets.

Other private telecommunication service providers are also options but they are not indicated to be in the area.

Further discussions will be required with the individual telecommunication service providers to understand any potential or further costs.

Refer to **NBN Feasibility Letter** in appendix D

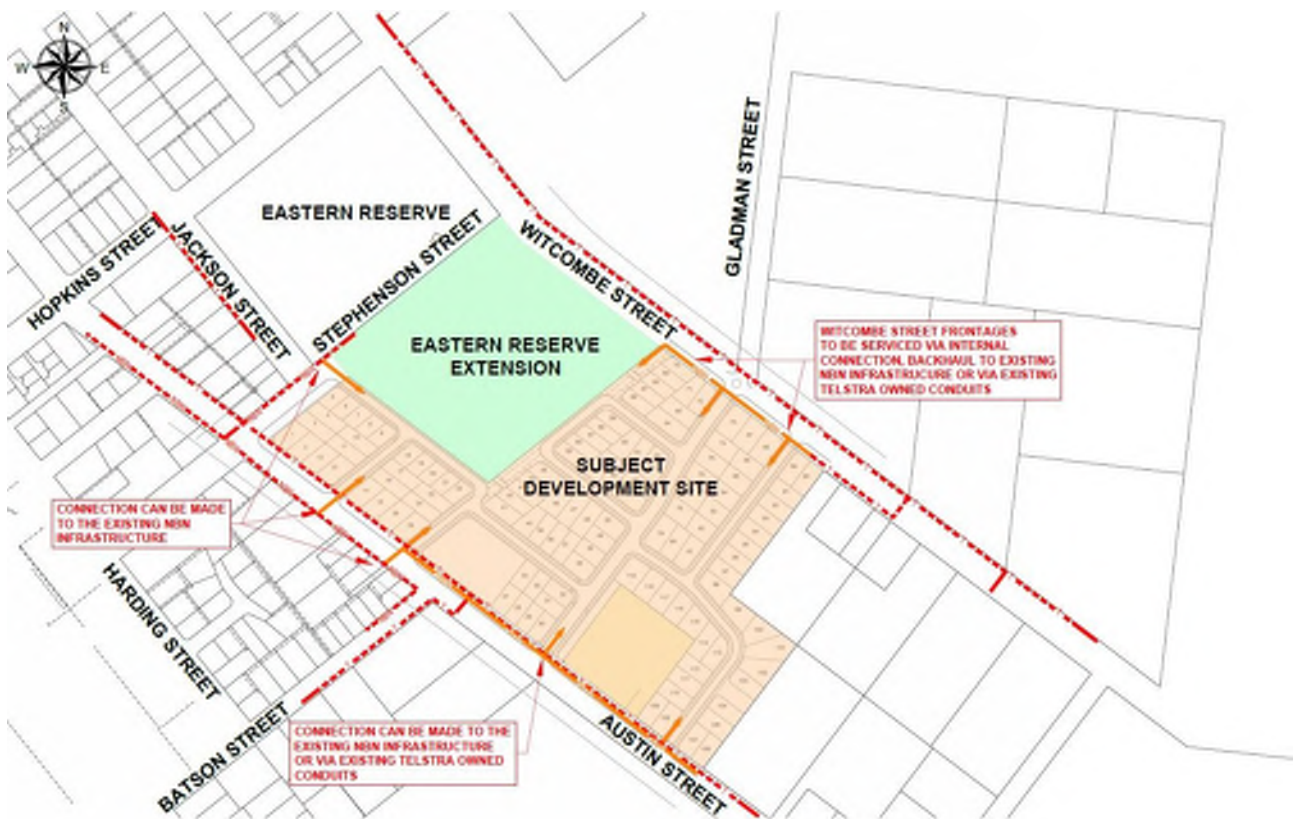


Figure 3-5 Existing and Proposed Telecommunications Cables

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SURF COAST PLANNING SCHEME
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Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 11 of 20

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Appendix A – Overall Development Plan

PLANNING & ENVIRONMENT ACT 1987
SURF COAST PLANNING SCHEME
This Development Plan complies with the requirements of Clause
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Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 12 of 20

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DEVELOPMENT PLAN

135-235 AUSTIN ST
WINCHELSEA

SITE AREA 9.085 HA

Open Space 0.037 HA
Drainage Reserve 0.490 HA
Road Reserves 2.612 HA

LOT AREAS

300m ² - 400m ²	13
400m ² - 500m ²	78
500m ² - 600m ²	27
600m ² - 700m ²	7
700m ² - 800m ²	0
800m ² - 900m ²	1
TOTAL	126



REF. 17797-100
SCALE 1:2000 (@A3)
DATE 06/10/2020
VERSION 13

Cardno
PLANNING & ENVIRONMENT ACT 1987
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This Development Plan complies with the requirements of Clause 58.46 of the Surf Coast Planning Scheme
ABN 11 125 588 464
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P:\17797 - 135-235 AUSTIN STREET\17797-100-V13.DWG
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Appendix B – Barwon Water Servicing Advice

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SURF COAST PLANNING SCHEME
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Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 14 of 20

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Our Ref: L007463
Enquiries To: Yves Nininahazwe - Telephone 1300 656 007

1 March 2018

TGM Group
Ben Johnson
Via email: benj@tgmgroup.com

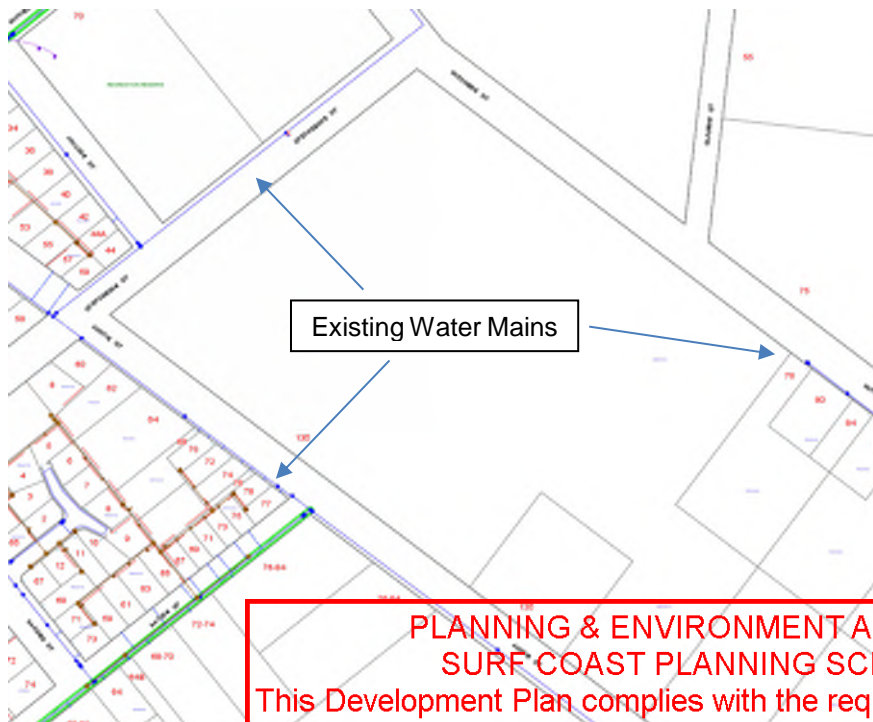
Dear Ben,

RE: 135 AUSTIN STREET WINCHELSEA – SERVICING ADVICE

I write in response to your email request dated 7/02/2018 seeking water and sewer servicing advice for land at 135 Austin Street, Winchelsea. This servicing advice is considered 'preliminary advice' and based on information provided by you. Barwon Water will confirm requirements with any response to planning permit referral or application for costs and conditions.

Water

Water supply for the proposed development can be provided from the existing system. Initial development of the west corner of the site (cnr Austin and Stephenson Street) has direct frontage to water mains (see plan below). Lots fronting these streets can directly connect to existing water mains but would require road crossings. A lot layout plan is required to determine where new water mains through the development may connect to. Barwon Water requires connections to all surrounding water mains, where possible, to provide security of water supply and improve water quality.



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SURF COAST PLANNING SCHEME**
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Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 15 of 20

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Barwon Region Water Corporation
ABN 86 348 316 514

P.O. Box 659, Geelong, Victoria, 3220

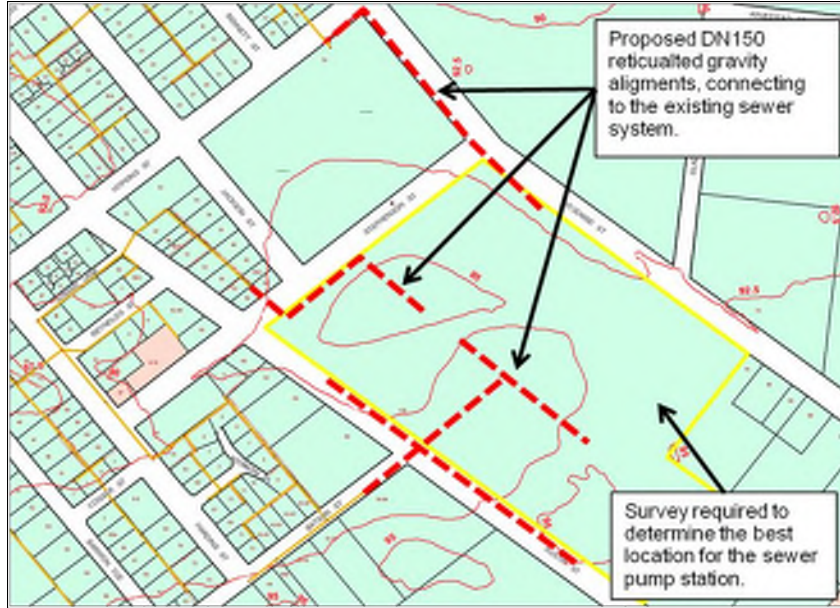
www.barwonwater.vic.gov.au

TEL: 1300 656 007 FAX: +61 3 5221 8236

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Sewer

The development can connect to existing 150mm gravity sewers located west, south and north of the land (as shown below) -



New reticulated DN150 gravity sewers can be extended to service this land from these sewer mains. The land fronting Witcombe Street may be difficult to fully command from extension of existing reticulation sewers. This land could be serviced by a new sewerage pump station or alternatively a low level pressure sewer system. A proposed location for the sewer pump station is not clear as there is no defined land fall in any one direction. Furthermore, the choice of a pressure system will be dependent on the installation and operation costs over the assets life.

Barwon Water recommends a land survey to determine the most appropriate and cost effective location for the sewer pump station to service lots on this location. The rising main can discharge into the new or existing discharge points, as shown in the above plan.

Should you have any further queries please do not hesitate to contact the nominated officer listed above.

Yours faithfully,

Steven Wallner
Land Development Coordinator
Infrastructure Delivery

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SURF COAST PLANNING SCHEME
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Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 16 of 20

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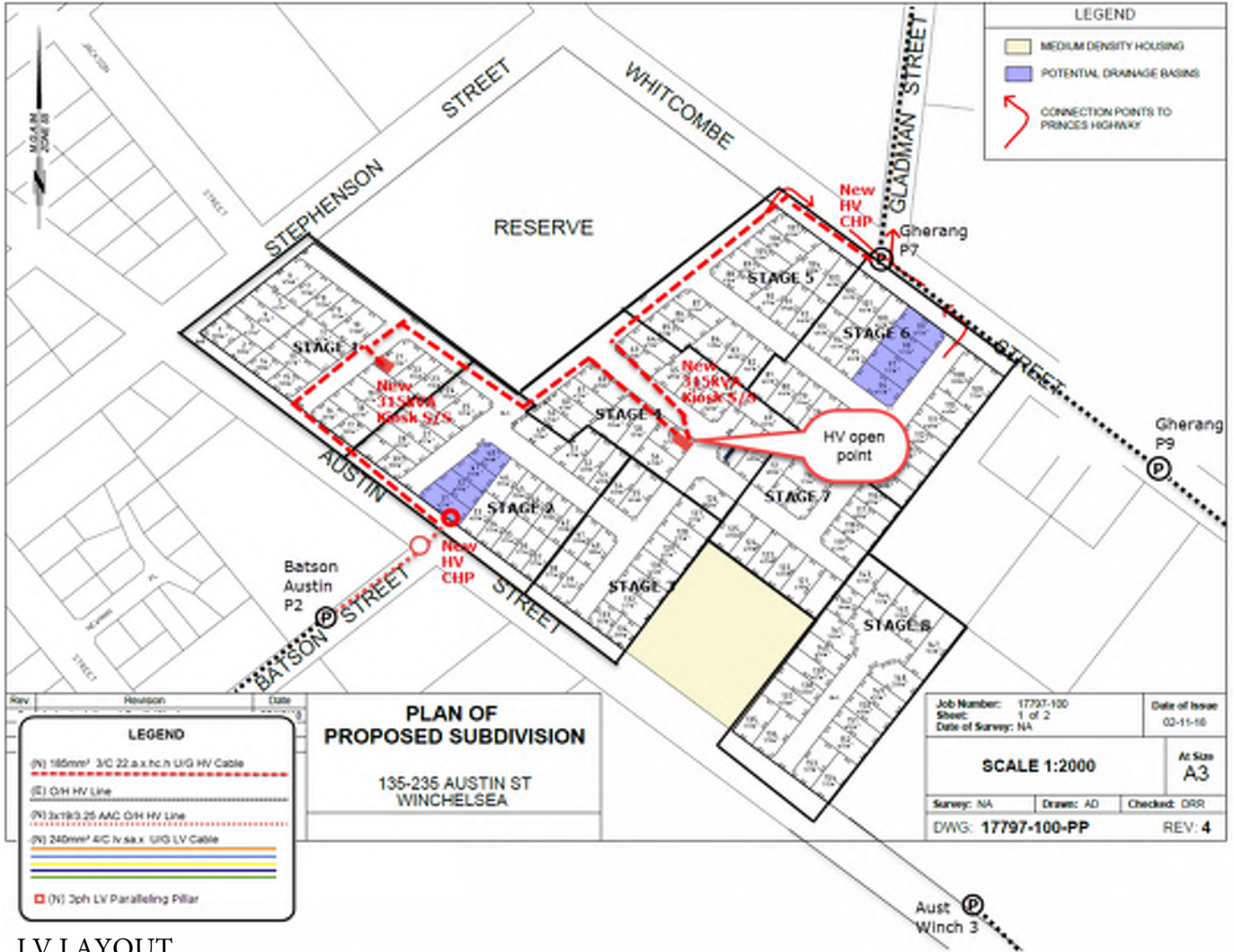
Appendix C – Powercor Concept HV and LV Servicing Layout

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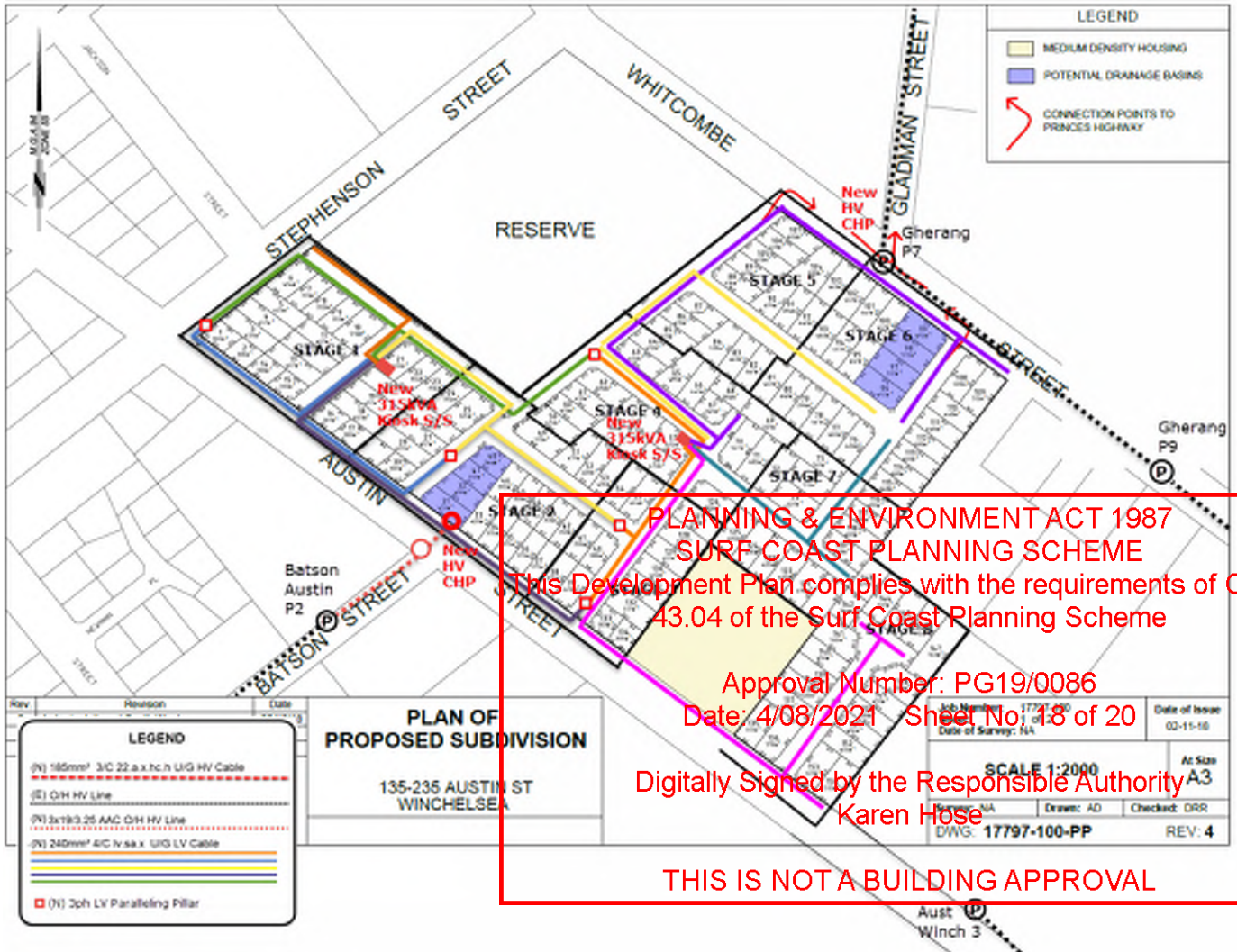
Approval Number: PG19/0086
Date: 4/08/2021 Sheet No: 17 of 20

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HV LAYOUT



LV LAYOUT



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 SURF COAST PLANNING SCHEME
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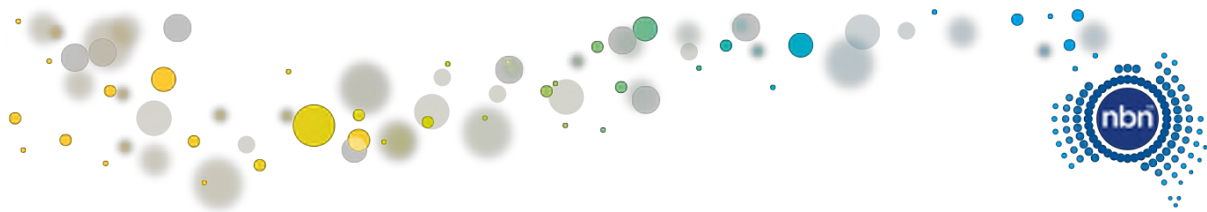
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PLANNING & ENVIRONMENT ACT 1987
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Date: 4/08/2021 Sheet No: 19 of 20

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Confidential

7 March 2019

Ms Coral Launer
TGM Group
Email: corall@tgmgroup.com

Dear Coral,

135-235 Austin Street, Winchelsea: Results of your Feasibility Assessment

Thank you for considering **nbn** for the delivery of network infrastructure to your development.

We have carefully reviewed your development and undertaken a feasibility assessment to estimate the anticipated costs you may be required to pay when connecting to the **nbn™** network.

The purpose of this estimate is to provide you with early planning information and indicative costs to consider before applying for **nbn™** network infrastructure via the [online application form](#).

Based on the information you have provided on the location and size of your development we have calculated the below estimate.

DEPLOYMENT CONTRIBUTIONS

SDU \$600 @ 154 lots/premises = \$92,400

BACKHAUL ESTIMATE

Distance of backhaul required = 0.5 km

Estimated Backhaul Cost = \$0.00 / \$0.00 per premise/lot (inclusive of GST)

TOTAL ANTICIPATED COSTS

\$92,400 inclusive of GST

Explanation of Costs

Backhaul charges apply to the distance of infrastructure required to connect the development to the **nbn™** access infrastructure. For new developments where there is no existing **nbn™** access infrastructure (i.e. Fibre Access Node) charges will apply for this installation.

It is important to note that this is an estimate only.

The estimate has been calculated on current infrastructure costs, the distance of your development from the existing **nbn™** network and is based on the premise count and the location of the first stage that will require service.

Actual amounts charged by **nbn** may change between now and the point when you ultimately enter into a contract for **nbn** to connect your development. For example, costs may reduce over time as additional network is rolled out. Conversely, costs may increase if the details, premise count or staging of your development changes. In any case, a new estimate will be provided prior to work commencing.

Once you have reviewed the above estimate please contact me to discuss the next steps.

I look forward to working with you to deliver quality Broadband Services to your development.

Yours sincerely

Damon Messias

Business Development Manager | Enterprise & Government VIC/TAS

nbn Build Partnerships | Deployment Planning & Support

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