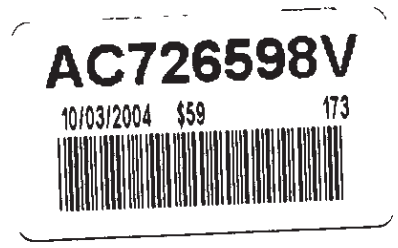
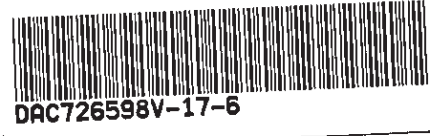


Appendix A
Ocean Acres Design Guidelines





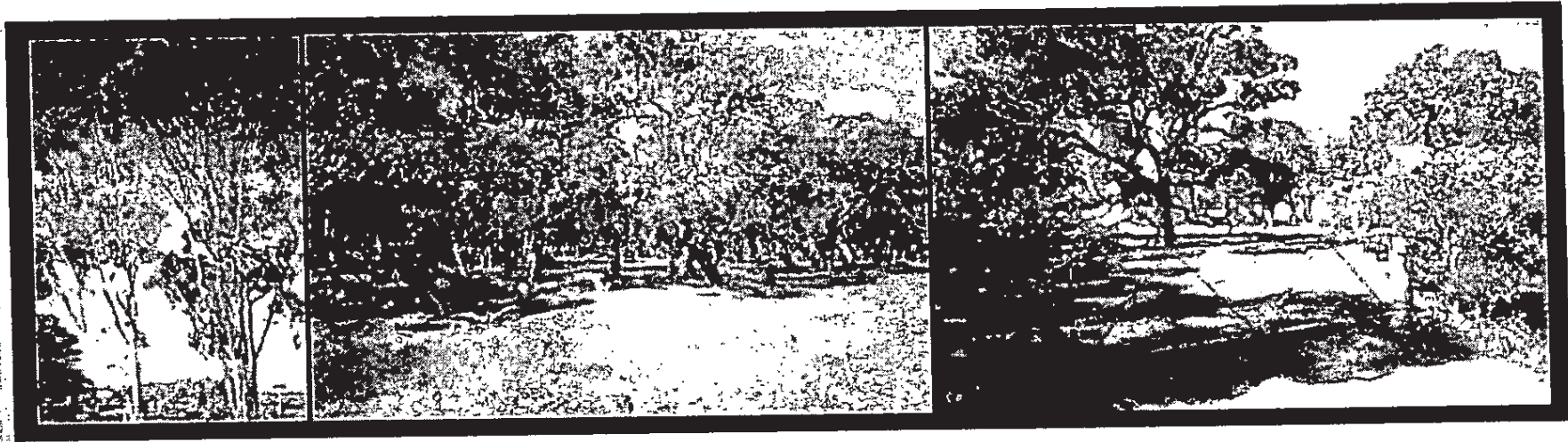
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Leaders in Property

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January 2004

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1. INTRODUCTION & APPROVAL PROCESS

1.1 Introduction

Ocean Acres, Torquay, has been designed as a high quality, environmentally sustainable, low-density residential estate which complements its rural living context. These Design Guidelines have been prepared to ensure that development on individual lots by each landowner also supports these objectives.

The Guidelines detail some basic standards for houses and gardens at Ocean Acres that need to be met to obtain the approval of Surf Coast Shire Council prior to any construction or works being carried out. The Guidelines also provide useful information on other matters relating to allotments in this estate.

These Guidelines need to be read in association with the Surf Coast Shire Council document "Surf Coast Style" which is available from the Surf Coast Shire Council's town planning department.

1.2 Approval Requirement

Ocean Acres is located within the Low Density Residential Zone of the Surf Coast Planning Scheme. A planning permit is not required to use or develop land for a dwelling under this zone; however a Section 173 (S.173) Agreement under the *Planning and Environment Act (1987)*, which is on the title to all lots at Ocean Acres, requires that development be approved by the Surf Coast Shire. The agreement applies to each successive landowner.

The Surf Coast Planning Scheme's Development Plan Overlay Schedule 2 and the S.173 Agreement require that development of lots comply with an approval issued pursuant to these Guidelines.

Non-conformance with the Guidelines can be enforced through the *Planning and Environment Act 1987*.

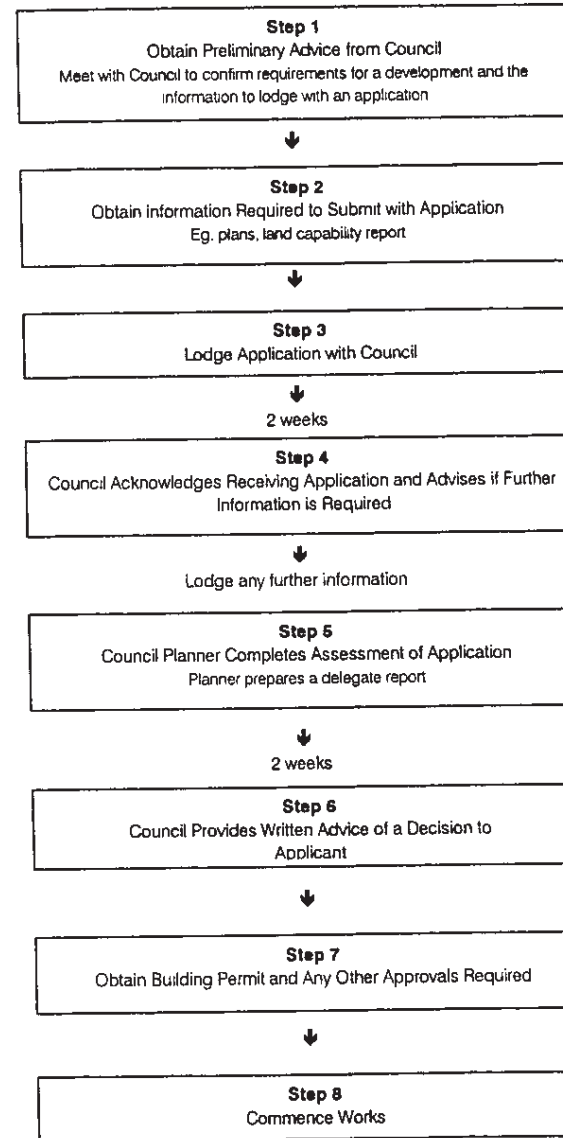
1.3 Approval Process

Approval is required from the Surf Coast Shire Council for any buildings and works on a lot, including fencing, effluent disposal and landscaping. The Council's role is to ensure that a house, garden and related features are designed in accordance with these Guidelines. Under the S.173 Agreement, a building permit cannot be obtained until Council has approved plans for the development of a lot.



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Summary of Approval Process



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1. INTRODUCTION & APPROVAL PROCESS cont.

A permit is required from Council to treat effluent on site. It is recommended that an effluent treatment application be submitted at the same time as an application under these Guidelines so that approvals can be issued at, or close to, the same time for both.

The approval process is summarised in the flow chart on page 3. Assuming an applicant provides all information required at the outset, the approval should ordinarily take no more than 28 days.

Once plans are approved, if changes are proposed to the development, approval must be sought in accordance with the above process.

If Council does not approve the plans submitted, the applicant should seek to address the issues raised by Council. If all else fails, an applicant may appeal Council's decision.

The S.173 Agreement requires that the landscape plan be approved prior to construction of any buildings.

Note - Approval by Council of a proposal in accordance with these Guidelines satisfies the approval requirement under the Section 173 Agreement only and does not exempt landowners from obtaining any other statutory approvals which may be required under the Surf Coast Planning Scheme or other regulations.

1.4 Information Requirements

The following information must be lodged with Council to obtain an approval:

- Lot title particulars.
- Envelope Plan for the Lot.
- An Existing Conditions Plan showing any features of the site including contour information and location of existing vegetation.
- Site Plan showing location of all proposed buildings and works including driveway, crossover and effluent system in relation to the envelopes on the envelope plan and any existing vegetation on the lot and adjoining road reserve.
- Architectural plans and elevations (3 copies of detailed working drawings) including details of colours and materials specified for buildings and height of all buildings using Australian Height Datum levels.

- Landscape Plan (3 copies and to scale) including:
 - > location of existing vegetation on the lot;
 - > location of areas to be planted outside the building envelope;
 - > species to be planted outside the building envelope;
 - > construction details for fencing, driveway and crossover;
 - > location of stormwater outlet and seepage pits.
- Assessment against Surf Coast Style Performance Checklist.
- Assessment against the Ocean Acres Guidelines Checklist.
- Application Fee.

The effluent disposal application should be made at the same time and must include:

- > Details of proposed effluent system
- > Land capability report by a geotechnical engineer
- > House plan
- > Title
- > Location of existing vegetation

The information listed above must be lodged with Surf Coast Shire Councils Town Planning Department at:

P.O. Box 350, Torquay VICTORIA 3228
Ph(03) 5261 0600 Fax(03) 5261 4527

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2. DESIGN GUIDELINES

2.1 How to Use the Guidelines

The following Guidelines contain both advice and a small number of mandatory requirements against which Council will check plans' compliance in order to provide approval. The mandatory requirements are clearly identified as "MR" (Mandatory Requirement). Design related requirements which are based on S.173 Agreement requirements are shown as "*M..(S.173)*"

A Guidelines Checklist is provided in **Section 4**. Applicants should check their applications against this Checklist prior to seeking approval to ensure their applications have addressed all aspects of the Guidelines.

The Guidelines incorporate Surf Coast Council's "Surf Coast Style" document which is a separate document available from Surf Coast Shire Council.

2.2 Exemptions

Council may grant an exemption to the mandatory requirements in exceptional circumstances provided that the exemption is not contrary to the general intent of the requirement or any other requirement in these guidelines or the S. 173 Agreement.

2.3 Buildings

2.3.1 General

The S.173 Agreement prohibits the construction of more than one dwelling on a lot or the subdivision of a lot.

2.3.2 Siting

An envelope plan has been prepared for each lot which is provided with the Contract of Sale. A copy of the envelope plan is held by Council with the endorsed plans for the subdivision. A "Building Envelope" is designated on this envelope plan. The Building Envelope provides the minimum setbacks from property boundaries for buildings and structures such as houses, pools, tennis courts and outbuildings, as illustrated in **Figure 1**. They also ensure that buildings are not located in treed areas.

MR1 (S.173) – All buildings and structures (except fences) are to be located within the building envelope.

2.3.3 Building Height

Maximum building height should ensure that buildings do not dominate the landscape. Dwellings should be consistent with 2 storey house heights. Outbuildings should be lower buildings.

MR2 – Refer Figure 2 for maximum heights of buildings.

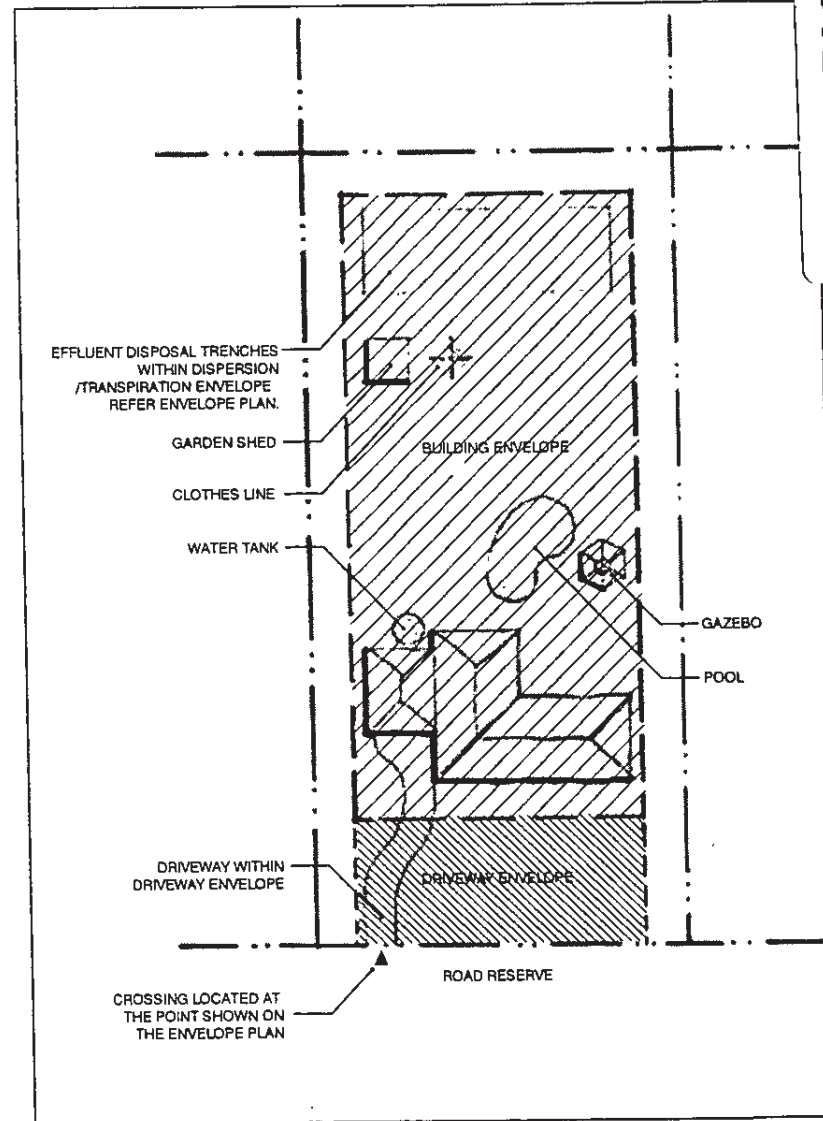


Figure 1 – Key Envelope Requirements (Typical Lot)

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2. DESIGN GUIDELINES *cont.*

2.3.4 Dwelling Size

MR3 – A dwelling must have a minimum area of 170m². Multiple level houses must have at least one storey with a floor area not less than 120m². The floor area is measured:

- From the external side of perimeter walls
- Should not include patios and verandahs
- May include an attached garage constructed concurrently with the dwelling provided the garage is enclosed and fitted with a door and constructed of the same material as the house

2.3.5 Building Style

Building style at Ocean Acres is intended to complement the rural living character of the area. The Surf Coast Shire Council's document "Surf Coast Style" provides guidance as to how this can be achieved. Copies of this document are available at the Surf Coast Shire planning department.

Proposals will be assessed using the Performance Checklist contained within "Surf Coast Style".

Dwellings

MR4 – Dwellings at Ocean Acres must complement the rural living character of the area, in terms of form, colours and materials by generally conforming to Elements 1-7 of the 'Surf Coast Style' as detailed in the Surf Coast Shire document of the same name and any specific requirements outlined below. To obtain approval, a proposal must score at least 5 out of 10 on each of these 7 elements on the "Surf Coast Style" Performance Checklist.

Element 1

"Architecture that has a "coastal" or "rural" character complementing local cultural or natural features, rather than buildings with a typical 'suburban' appearance or period style replicas."

In interpreting this element, the emphasis at Ocean Acres is on a "natural" rural character i.e. evokes the rural landscape rather than necessarily traditional rural style dwellings and a "natural" coastal character i.e. evokes the coastal landscape rather than resort style or nautical style buildings.

Element 2

"Buildings that have a lightweight image rather than an appearance of mass, weight and bulk."

Element 3

"Disaggregated structures with interesting spaces and projections rather than solid bulky structures with blank walls."

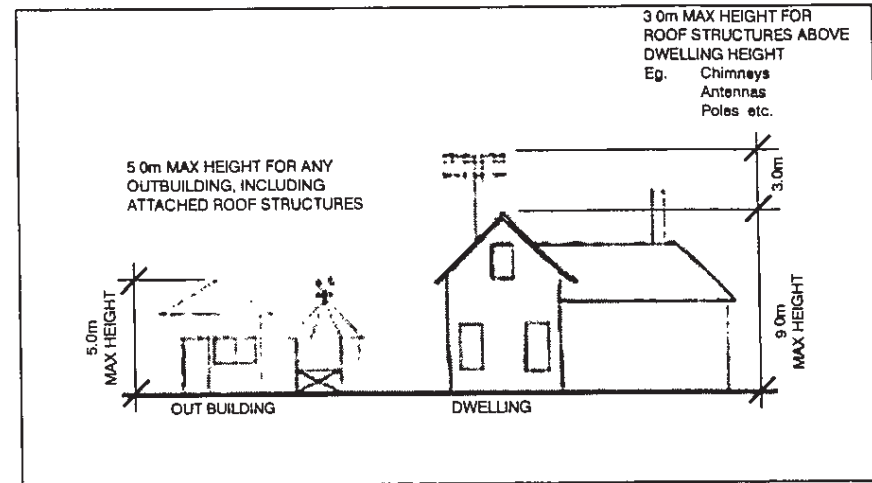


Figure 2 – Building Height Guidelines

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2. DESIGN GUIDELINES *cont.*

Element 4

"Architectural form and rooflines which convey a combination of simplicity and distinction without fussy detail and decoration."

Whilst simple, dwellings should not resemble boxes. Roofs with eaves assist in minimising this whereas parapet walls that conceal the roof form do not.

Verandas, either separated from or as a continuation to roof forms and integrated pergolas are encouraged.

MR5 – Parapet walls that conceal the roof form are not appropriate.

Element 5

"Facades that utilise light, shade and texture rather than smooth, uninterrupted, single coloured surfaces."

Element 6

"The use of timber, natural materials and other innovative types of cladding in preference to the traditional urban use of bricks and blocks."

Appropriate materials for walls at Ocean Acres include but are not restricted to:

- concrete rendered brickwork or blockwork
- bagged or painted brickwork
- weatherboards painted or stained
- shingles (timber and approved metal)
- rammed earth walls
- mud bricks
- cement sheet
- stucco
- natural rock or stone

Exposed clay bricks may be used provided all other Elements are complied with and the bricks are in "earthy" tones, ie. beiges to browns.

Appropriate roof materials include:

- Colour bonded steel
- Corrugated iron
- Clay terracotta or cement tiles may be used provided all other Elements are complied with

MR6 – Iron roofs must not be highly reflective.

Element 7

"The use of recessive or subdued colours"

MR7 – Colours for building roofs and walls should be predominantly muted or recessive.

Examples of muted and recessive colours are contained in **Appendix 1** which provides guidance as to suitable colours but is not an exhaustive list. If used, white should be used in moderation ie. less than 20% of the area of each side of the building. A colour palette is also displayed at Surf Coast Shires Council's Planning Department in Gilbert Street, Torquay.

Fire Issues

Buildings on lots containing or adjacent to a significant amount of remnant bushland may, for fire protection reasons, prefer to adopt simpler building forms and/or alternative materials than outlined above however should be able to satisfy all other elements of Surf Coast Style.

Outbuildings

MR8 – Outbuildings must be predominantly of a subdued colour.

MR9 – Outbuildings must not have highly reflective external materials.

MR10 – Outbuildings should not be located closer to the street than the dwelling.

2.4 Driveways and Crossovers

2.4.1 Driveways

The envelope plan shows a 'driveway envelope' for each lot. Most lots have a large driveway envelope but lots with more remnant vegetation are provided with a 4m wide driveway envelope to minimise impacts on the vegetation. Driveways are to be constructed so as to minimise water runoff, thus reducing stormwater runoff impacts on the land.

MR11 – Driveways must only be constructed within the designated "driveway envelope".

MR12 – The maximum width of a driveway is 4m, except for a short section where a wider driveway is required to access a multiple garage or for visitor parking.

MR13 – Paved driveways should be designed to direct stormwater runoff into garden areas.

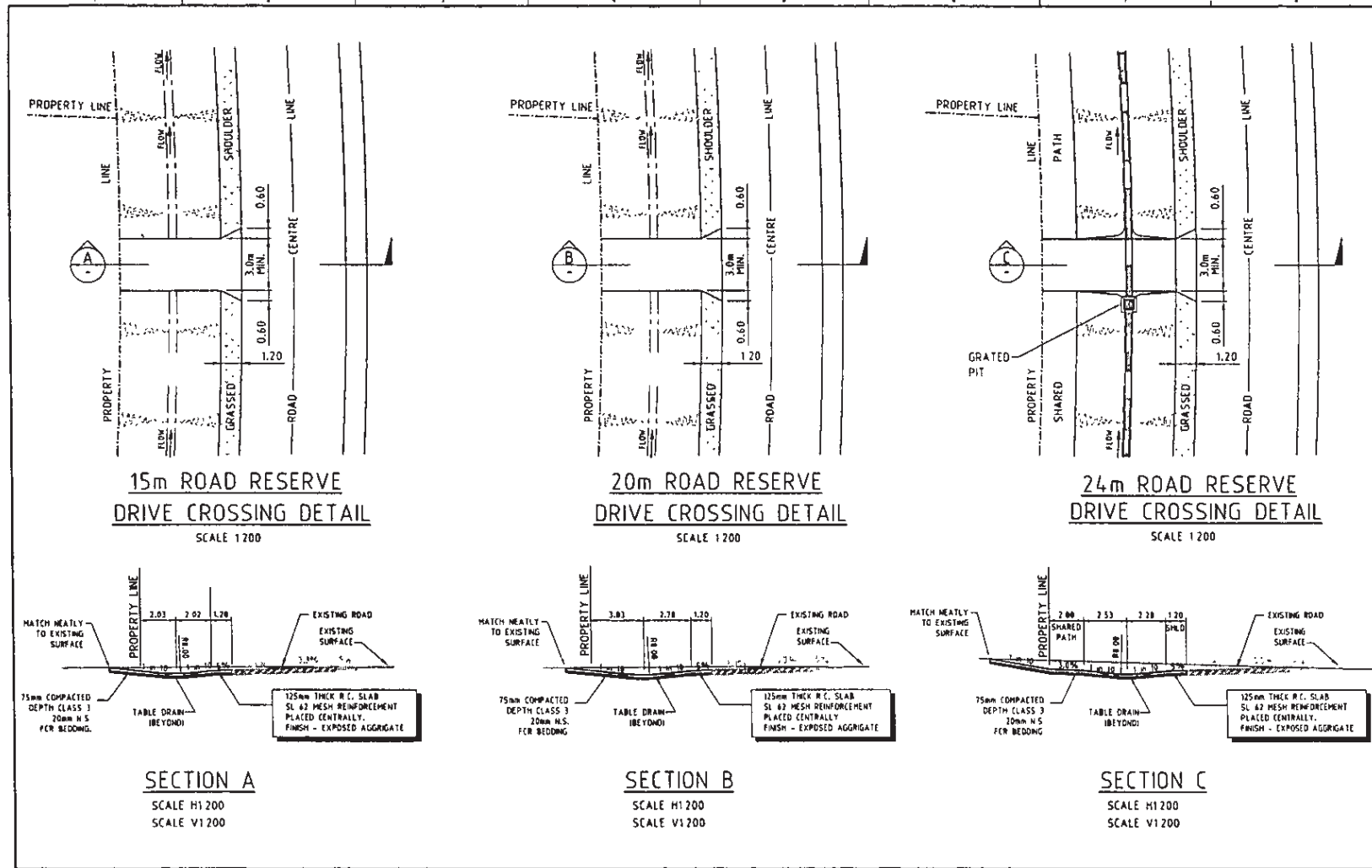
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2. DESIGN GUIDELINES cont.

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<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>LEGEND</p> <p>Existing Boundary (dashed line)</p> <p>Proposed Boundary (solid line)</p> <p>Existing Road</p> <p>Proposed Road</p> <p>Proposed Path</p> <p>Proposed Shoulder</p> <p>Proposed Centre Line</p> <p>Proposed Table Drain</p> <p>Proposed Reinforcement</p> <p>Proposed Finish</p> <p>Proposed Aggregate</p> <p>Proposed Pit</p> <p>Proposed Grated Pit</p> <p>Proposed Shared Path</p> <p>Proposed Graded Pit</p> <p>Proposed Shared Graded Pit</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>	<p>PROPOSED DRIVE PROFILES</p> <p>Level 5 150 Standard Drive</p> <p>Outside 90 000</p>
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Figure 3 - Crossover Design

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2. DESIGN GUIDELINES *cont.*

2.4.2 Crossovers

A crossover is the access way over the road reserve between the road pavement and the front boundary of a lot.

MR14 – Lots must have only one crossover. The crossover must be located at a position designated on the envelope plan.

MR15 – A crossover must be designed in accordance with Figure 3.

2.5 Garages and Carports

Garages and carports should be inconspicuously located and designed and should not dominate the building frontage.

MR16 – Garages and carports must:

- Either be located under the main roof or if they are freestanding their design must complement the main building design through colour, form and/or material.
- Have a width not more than the width of the dwelling when viewed from the street at the front of the house
- Be set back at least 1m behind the front wall of the dwelling.

Note: Under the S.173 Agreement they cannot be constructed prior to commencement of construction of the dwelling.

2.6 Other Structures

MR17 - Other structures such as gazebos, clotheslines, pools, tennis courts must be located within the Building Envelope (Refer Figure 1).

2.7 Signs and Hoardings

The S.173 Agreement and Planning Scheme requirements apply.

2.8 Landscaping and Fences

Landscaping is considered a most important element in reinforcing the rural and natural character of Ocean Acres. Landscaping enhances and adds value to all properties.

Planting

The aim at Ocean Acres is for landscaping to reinforce the theme of a natural open woodland as illustrated by the remnant vegetation on the site and the streetscape plantings. This is to be achieved by encouraging landowners to plant indigenous and local native plants in the area outside the building envelope.

"Indigenous" species are plants that grow naturally in a particular area. Those that grow naturally at Ocean Acres are listed in **Appendix 3**. These plants can be good to use in gardens because they are well adapted to local soil and climatic conditions.

Further information on indigenous plants, their use in gardens and suppliers is available in the brochure "Surf Coast Shire Environmental Directory" available from the Surf Coast Shire Council. Landowners should attempt to obtain indigenous plants grown from seed or propagated from plants living as close to Ocean Acres as possible as this retains local variation in the plant gene pool.

Appendix 2 includes other attractive Australian native species.

A landscape plan showing any planting proposed outside the building envelope must be submitted to Council as part of seeking approval for development of the lot. The front setback area must include the minimum requirements of **Figure 4** or **Figure 5**. Planting is not mandatory in side and rear setbacks but if proposed must be illustrated in the landscape plan. Any plant species (except weeds) can be planted within the building envelope and the landscape plan submitted to Council does not need to specify species within the building envelope.

The following minimum planting requirements apply at Ocean Acres (Refer Figures 4 and 5).

MR18 (S.173) – Species for planting outside the building envelope as specified in Figures 4 and 5.

MR19 (S.173) – Planting in the front setback in accordance with Figure 4 or Figure 5. (Does not apply to Lots 31, 35-38).

MR20 (S.173) – Weed species, including those listed in Appendix 4 must not be planted on a lot.

Note: The S.173 Agreement requires that the planting shown on the landscape plan approved by Council be undertaken within 6 months of the issue of the certificate of occupancy for the dwelling.

Fences and Front Gates

The design aim at Ocean Acres is to minimise fencing to maintain an open semi-rural character for the estate. Landowners are encouraged to consider planting along boundaries to soften the appearance of fencing or as an alternative to fencing.

MR21 (S.173) – No front fence (as illustrated in Figure 4).

Planting should be used as an alternative to define the property boundary.



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2. DESIGN GUIDELINES cont.

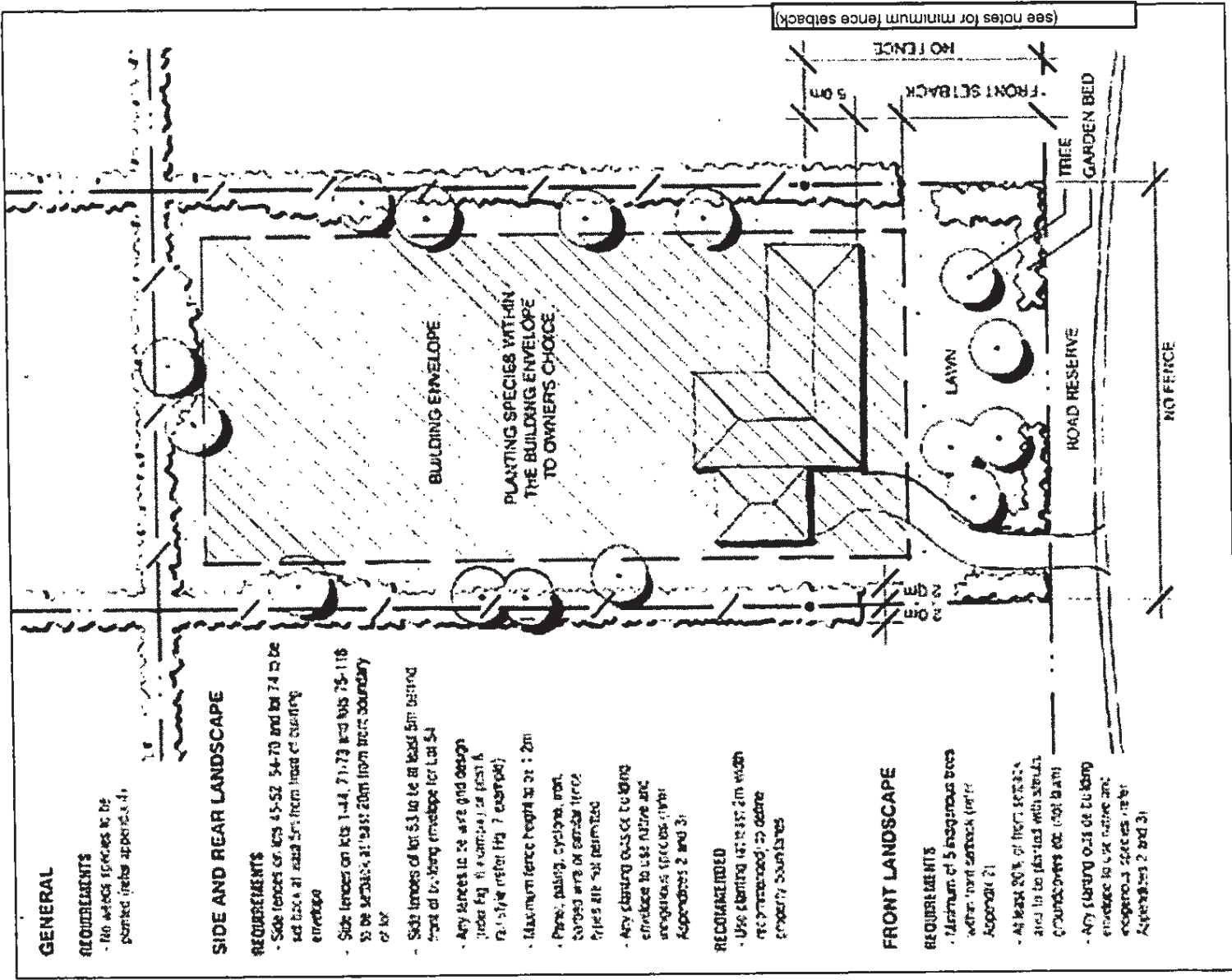


Figure 4 - Typical Lot Landscape Guidelines

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2. DESIGN GUIDELINES cont.

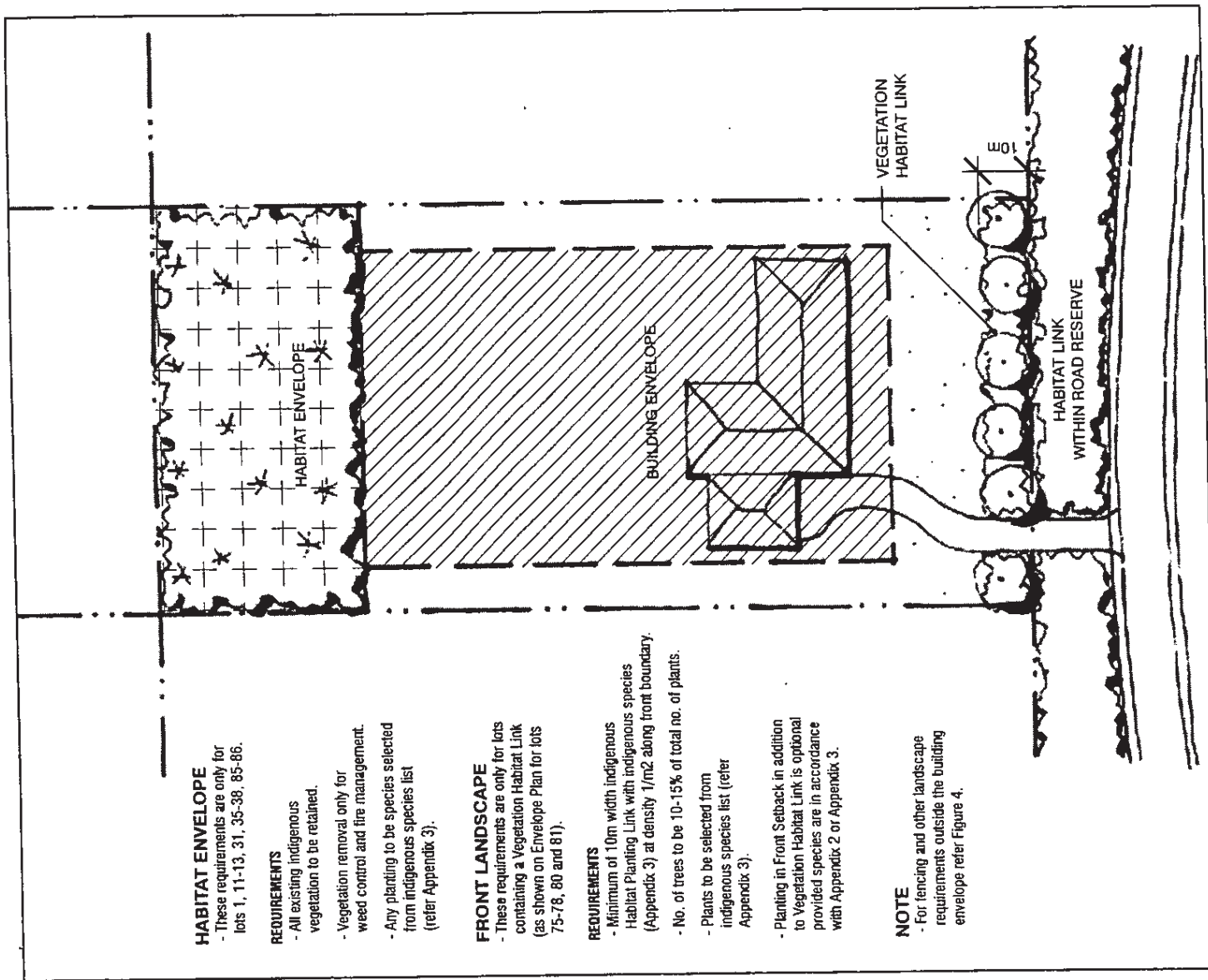


Figure 5 - Habitat Planting

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2. DESIGN GUIDELINES *cont.*

MR22 (S.173) – Side fences set back from front of house (as illustrated in Figure 4).

MR23 – Height, materials and design of fencing as specified in Figures 4, 6 and 7.

MR24 – Formal entry statements/pillars made from timber painted in subdued colours or natural stone are acceptable at the entry of the property near the crossover. The maximum height of these is 1.8m and maximum width of each structure is 2m. Timber (subdued colours) or wire front gates may also be provided with a maximum height of 1.2m.

Maintenance

All residents are required to maintain buildings and landscape in a state of good repair.

2.9 Services

2.9.1 Water Tanks

Water tanks are strongly encouraged at Ocean Acres, but are not compulsory. Water tanks that capture runoff from a dwelling's roof can save many litres of potable water per year, and reduce the impact of stormwater on local waterways. Rebates are available from the State Government to assist with the initial cost of tank installation.

MR25 – Any water tanks must be inconspicuously located within the lot and not be easily visible from the street. They should be built underground or, constructed with muted colours and materials which are not highly reflective and screened from streets by planting or buildings.

2.9.2 Effluent Disposal

In the absence of a reticulated sewerage system, sewage and wastewater must be treated and retained within the lot in accordance with EPA requirements. The Estate has been designed to ensure that each lot is capable of such disposal.

The envelope plan shows a "Dispersion/Transpiration Envelope" within each lot that is of sufficient size to adequately treat effluent. Some lots have envelopes extending to the edge of the building envelope while others have smaller Dispersion/Transpiration Envelopes within the building envelope due to topographical conditions.

The "Clearwater 90" or equivalent wastewater treatment system approved by the EPA, complete with a disinfection facility, must be installed for each dwelling in accordance with the manufacturers specifications. Water from this system is treated to a high standard and is able to be reused for garden watering, car washing or other similar uses.

The proposed treatment system must be approved by Surf Coast Shire Council.

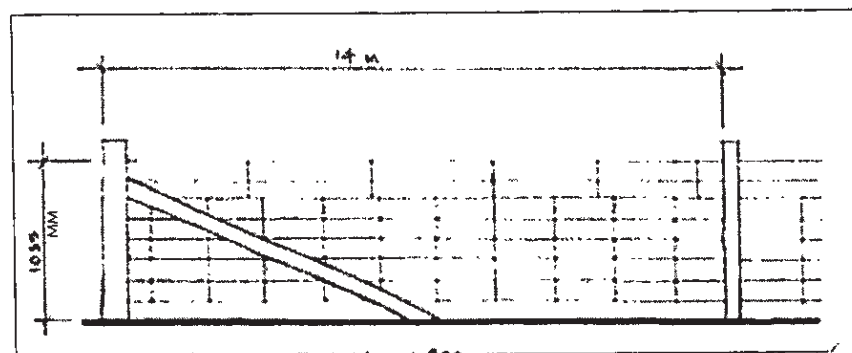


Figure 6 – Wire Fence Design Example



Figure 7 – Post and Rail Fence Design Example

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2. DESIGN GUIDELINES cont.

MR26 (S.173) - The specific requirements to manage wastewater on each site are:

- (a) The treatment system must be located within the Dispersion/Transpiration Envelope shown on the envelope plan.
- (b) A soil percolation test must be carried out to confirm the suitability of the soil for the disposal of treated water.
- (c) All wastewater must be treated and retained on site, within the boundaries of the property.
- (d) All effluent must be treated to a 20/30 standard – ie. 20mg/L Biochemical Oxygen Demand, 30 mg/L Suspended Solids and disinfected to a maximum of 10 E.Coli organisms/100 mL and a minimum 0.5 mg/L residual chlorine.
- (e) The site stormwater drainage disposal/dispersal system must be located below and discharge to, outlets clear of the wastewater effluent disposal system (Refer Figure 8).

2.9.3 Stormwater

Stormwater dispersion systems as the outlet for site drainage must be installed within each lot to promote sheet-flow discharges. Direct connection of piped site drainage to Council drainage infrastructure will not be permitted.

Piped drains collecting site runoff from roofed areas, paving, etc. shall be connected to dispersion systems that are located below and clear of wastewater effluent systems.

MR27 (S.173) – The specific requirements to manage stormwater are (Refer Figure 8):

- (a) piped to dispersion areas within the lot that facilitate overland flowpaths over broad widths (sheet-flow).
- (b) dispersion areas to be located below (at a lower level) the site wastewater effluent system and disposal areas.
- (c) dispersion systems to comprise a minimum of two (2) seepage pits (minimum spacing 15 metres) with grating covers interconnected with a sub-soil drain.

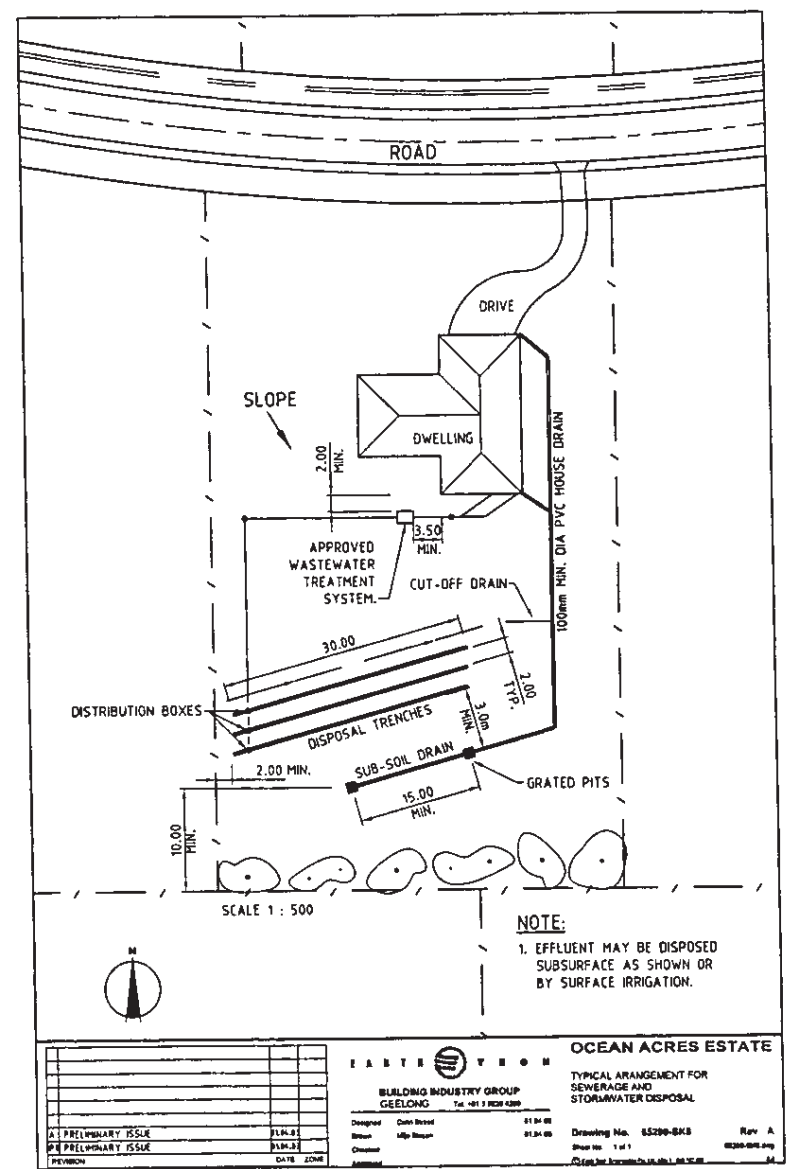


Figure 8 – Wastewater and Stormwater Disposal System

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3. FLORA AND FAUNA MANAGEMENT

3.1 Vegetation Protection and Management

Most lots within the estate contain little, if any native vegetation. A small number of lots contain remnant or planted bushland contained within a "Habitat Envelope" or "Vegetation Habitat Link" on the Envelope Plan.

Native vegetation removal is not encouraged at Ocean Acres as building envelopes are large enough on most lots to ensure that no native vegetation requires removal to construct a residence and associated outbuildings and structures. Habitat Envelopes and Vegetation Habitat Links on some lots designate areas where the native vegetation is of environmental value and must be protected in accordance with the Section 173 Agreement.

If native vegetation removal is required, an application for planning permit may be required under Clause 52.17 of the Surf Coast Planning Scheme.

As required in the S.173 Agreement within Vegetation Habitat Links or Habitat Envelopes, indigenous vegetation is not permitted to be removed unless in accordance with the weed control guidelines in Section 3.3 or the fire management guidelines in Section 3.2, or Council or CFA requirements. In addition, in Vegetation Habitat Links, vegetation which has died may be removed if replaced.

New planting within Habitat Envelopes or Vegetation Habitat Links must be of indigenous species characteristic of Lowland Forest and Sand Heathland/Heathy Woodland (refer MR18 and Appendix 3).

3.2 Fire Matters

As required in the S.173 Agreement to protect all property on the estate, during the declared 'Fire Danger Period' fine fire fuel within a lot should be maintained in a "Fuel Reduced Condition". This means that bracken, dead or fallen material such as leaves, bark, twigs and branches up to 6mm in diameter should not be left on the ground so as to create a layer of material more than 100mm deep and grass should be a maximum of 100mm high except in Habitat Envelopes or Vegetation Habitat Links where grass should be a maximum of 150mm high.

Other measures which are generally recommended on a lot include:

- > Preventing dead vegetation from mounding around the base of trees
- > Preventing/removing piles of dead vegetation. Logs and branches can instead be scattered around a property to provide fauna habitat.
- > Removing long ribbons of loose fibrous bark from the lower section of trees
- > Retaining a clear access track to a dwelling of 4m wide x 4m high
- > Cut back branches/foliage overhanging within 2m of a roofline, clean out twigs and leaves from roof gutters.

Further guidelines from Surf Coast Shire Council about maintaining lots to prevent fire are contained in **Appendix 5**.

3.3 Weed Control

Appendix 4 contains lists of weed species, which must not be planted at Ocean Acres.

Under the *Catchment and Land Protection Act* (1994), landowners must take all reasonable steps to eradicate regionally prohibited weeds and to prevent the growth and spread of regionally controlled weeds located on their own land. Landowners must also take all reasonable steps to prevent the spread of regionally controlled weeds on the roadsides adjoining their property. Care should be taken to ensure weed control on roadsides does not damage indigenous vegetation.

Further information on weeds can be obtained from the brochure "Environmental Weeds: Invaders of our Surf Coast" available at the Surf Coast Shire Council.



Remove build up of fire fuels such as the heap in the fore-ground.



Minimum fire fuels on ground are acceptable but logs near tree should be scattered

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OCEAN ACRES



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3. FLORA AND FAUNA MANAGEMENT *cont.*

3.4 Firewood Collection

Collection of dead wood for firewood is not encouraged unless it is fire fuel removed for fire management and in accordance with the guidelines in **Sections 3.1** and **3.2**. Dead trees and fallen branches provide habitat for native animals. If the branches require pruning they should be left on the ground to provide animal shelter.

3.5 Cat Curfew

The Surf Coast Shire's "Cat Curfew" applies to all non-rural land throughout the Shire. Under this local law, the Council can trap and seize cats found outside their owners' property between 8pm and 6am, can destroy unclaimed cats and impose fines for cats found.

3.6 Domestic Animals

Under the Section 173 Agreement the number and type of pets kept on a lot is restricted to:

- > Dogs (max.2)
- > Cats (max.2)
- > Domestic birds (max.2)

Grazing animals are not permitted to be kept.



Grazing has removed most under-storey. Reintroduction of indigenous shrubs is encouraged in Habitat Envelopes.

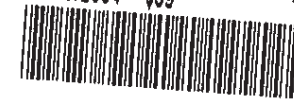


4. GUIDELINES ASSESSMENT CHECKLIST

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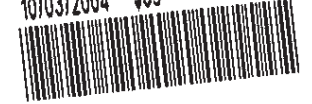
MR		Complies	
		Yes	No
1	All buildings and structures are to be located within the building envelope.		
2	Max. height of dwelling 9m - chimneys, antennas, poles etc. or similar structures may extend a maximum of 3m above the height of the dwelling. Max. height of outbuilding 5m (including any structures on the roof)		
3	A dwelling must have a minimum area of 170m2.		
4	Dwellings at Ocean Acres must complement the rural living character of the area, in terms of form, colours and materials by generally conforming to Elements 1-7 of the 'Surf Coast Style'		
5	Parapet walls that conceal the roof form are not appropriate.		
6	Iron roofs must not be highly reflective.		
7	Colours for building roofs and walls should be predominantly muted or recessive.		
8	Outbuildings must be predominantly of a subdued colour.		
9	Outbuildings must not have highly reflective external materials.		
10	Outbuildings should not be located closer to the street than the dwelling.		
11	Driveways must only be constructed within the designated "driveway envelope".		
12	The maximum width of a driveway is 4m, except for a short section where a wider driveway is required to access a multiple garage or for visitor parking.		
13	Paved driveways should be designed to direct stormwater runoff into garden areas.		
14	Lots must have only one crossover. The crossover must be located at a position designated on the envelope plan.		
15	A crossover must be designed in accordance with Figure 3.		
16	<ul style="list-style-type: none"> - Garages must be either located under the main roof or if they are freestanding their design must complement the main building design through colour, form and/or material. - Garages must have a width not more than the width of the dwelling when viewed from the street. - Garages must be set back at least 1m behind the front wall of the dwelling. 		
17	Other structures such as gazebos, clotheslines, pools, tennis courts must be located within the Building envelope.		

4. GUIDELINES ASSESSMENT CHECKLIST

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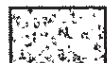

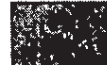







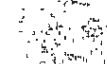

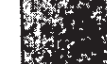
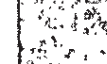


20	<i>Species for planting outside the building envelope as specified in Figure 5.</i>		
21	<i>Planting in the front setback in accordance with Figure 4 or Figure 5. (Does not apply to Lots 31, 35-38).</i>		
22	<i>Weed species, including those listed in Appendix 4 must not be planted on a lot.</i>		
23	<i>No front fence (as illustrated in Figure 4).</i>		
24	<i>Side fences set back from front (as illustrated in Figure 4).</i>		
25	<i>Height, materials and design of fencing as specified in Figures 4, 6 and 7.</i>		
26	<i>Formal entry statements/pillars made from timber painted in subdued colours or natural stone are acceptable at the entry of the property near the crossover. The maximum height of these is 1.8m and maximum width of each structure is 2m. Timber (subdued colours) or wire front gates may also be provided with a maximum height of 1.2m.</i>		
27	<i>Water tanks must be inconspicuously located within the lot and not be easily visible from the street. They should be built underground or, constructed with muted colours and materials which are not highly reflective and screened from streets by planting or buildings.</i>		
28	<p><i>The specific requirements to manage wastewater on each site (as outlined in the Section 173 Agreement) are:</i></p> <ul style="list-style-type: none"> <i>(a) The treatment system must be located within the Dispersion/Transpiration Envelope shown on the envelope plan.</i> <i>(b) A soil percolation test must be carried out to confirm the suitability of the soil for the disposal of treated water.</i> <i>(c) All wastewater must be treated and retained on site, within the boundaries of the property.</i> <i>(d) All effluent must be treated to a 20/30 standard – ie. 20 mg/L Biochemical Oxygen Demand, 30 mg/L Suspended Solids and disinfected to a maximum of 10 E.Coli organisms/100 mL and a minimum 0.5 mg/L residual chlorine.</i> <i>(e) The site stormwater drainage disposal/ dispersal system must be located below and discharge to, outlets clear of the wastewater effluent disposal system.</i> 		
29	<p><i>The specific requirements to manage stormwater are (Refer Figure 8):</i></p> <ul style="list-style-type: none"> <i>(a) piped to dispersion areas within the lot that facilitate overland flowpaths over broad widths (sheet-flow).</i> <i>(b) dispersion areas to be located below (at a lower level) the site wastewater effluent system and disposal areas.</i> <i>(c) dispersion systems to <input type="checkbox"/></i> 		
Note	<i>On lots which contain Habitat Envelopes or Vegetation Habitat Links, Indigenous vegetation within the Habitat Envelope is not permitted to be removed unless in accordance with fire management guidelines or weed control.</i>		
Note	<i>Fine fuel is to be maintained below the depths specified in these guidelines during the declared "Fire Danger Period".</i>		

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APPENDIX 1 – EXAMPLES OF SUBDUED COLOURS

	Gull Grey		Heritage Red
	Armour Grey		Tuscan Red
	Slate Grey		Pale Terracotta
	Ebony		Wheat
	Caulfield Green		Merino
	Rivergum		Smooth Cream
	Mist Green		Off White
	Torres Blue		Birch
	Mountain Blue		Stone



These designer colours are indicative of COLORBOND's current modern range

For further information please telephone BHP Steel Direct on 1800 022 999 or visit www.colorbond.com

APPENDIX 2 – NATIVE PLANTING LIST

Notes: -Species indigenous to this site are listed in bold. Additional indigenous species from Appendix 3 can also be used.
 -The native species listed are recommended. Alternative natives may be used with Council approval.

INDIGENOUS TREES (SPECIES FOR THE MIN. TREE REQUIREMENT MUST BE SELECTED FROM THIS LIST)

Acacia pycnantha Golden Wattle
Eucalyptus obliqua Messmate Stringybark
Eucalyptus viminalis ssp. pryoriana Coast Manna Gum

NATIVE TREES

Eucalyptus ovata Swamp Gum
Agonis flexuosa Willow Myrtle
Allocasuarina verticillata Coast Sheoke
Allocasuarina luehmanni Bulloke
Angophora costata Smooth-barked Apple
Eucalyptus camaldulensis River Red Gum
Eucalyptus maculata Spotted Gum
Eucalyptus pryoriana Coast Manna Gum
Eucalyptus leucoxylon ssp. connata Yellow Gum
Eucalyptus scoparia Wallangara White Gum
Eucalyptus ficifolia Flowering Gum
Eucalyptus calophylla Forest Red Gum

SMALL SHRUBS/ GROUNDCOVERS

Anigozanthos sp. Kangaroo Paw
Astroloma humifusum Cranberry Heath
Austrodanthonia genticulata Knead Wallaby Grass
Austrostipa pubinoides Tall Spear-grass
Correa alba White Correa
Correa pulchella Salmon Correa
Correa reflexa Common Correa
Correa sp. Correa
Crowea sp. Wax-flower
Dampiera sp. Dampiera
Dianella revolute Black-anther Flax-lily
Dillwynia glaberima Smooth Parrot-pea
Epacris impressa Pink Heath
Grevillea lavandulacea Lavender Grevillea

SMALL SHRUBS/ GROUNDCOVERS (cont'd)

Grevillea sp. Grevillea
Lomandra filiformis Wattle Mat-rush
Lomandra longifolia Spiny-headed Mat-rush
Petersonia fragilis Short Purple Flag
Pimelea humilis Common Rice-flower
Poa labillardieri var labillardieri Common Tussock-grass
Poa sieberiana Grey Tussock-grass
Prostanthera sp. Mint Bush
Pteridium esculentum Austral Bracken
Pultanea humilis Dwarf Bush-pea
Themeda triandra Kangaroo Grass
Thryptomene sp. Thryptomene
Xanthorrhoea australis Austral Grass-tree
Xanthorrhoea minor Small Grass-tree

LARGE SHRUBS

Acacia paradoxa Hedge Wattle
Acacia suaveolens Sweet Wattle
Acacia vermicifolia Varnish Wattle
Banksia integrifolia Coast Banksia
Banksia marginata Silver Banksia
Banksia sp. Banksia
Boronia sp. Native Rose
Callistemon sp. Bottle-brush
Grevillea sericea Silky Grevillea
Grevillea sp. Grevillea
Grevillea rosmarinifolia Rosemary Grevillea
Leptospermum continentale Prickly Tea-tree
Leptospermum myrsinoides Silky Tea-tree
Myoporum sp. Boobiala

HERBACEOUS SPECIES

Hibbertia riparia Erect Guinea-flower
Hibbertia sericea s.s. Silky Guinea-flower
Microlaena stipoides var. stipoides Weeping Grass
Tricoryne elatior Yellow Rush-lily
Viola cleistogamoides Hidden Violet
Carpobrotus rossii Pigface
Chrysocephalum apiculatum Common Everlasting

CLIMBING SPECIES

Hardenbergia violaceae Purple Coral Pea
Hibbertia scandens Climbing Guinea-flower
Clematis microphylla Small-leaved Clematis



APPENDIX 3 – INDIGENOUS SPECIES LIST

(Lowland Forest and Sand Heathland/Heathy Woodland)

Note: Percentages refer to the proportion trees, shrubs etc. make up in a natural community

Tree Species **15%**
Eucalyptus obliqua Messmate Stringybark
Eucalyptus viminalis ssp. *Pryoriana* Coast Manna-gum

Medium Shrub **40%**
Acacia paradoxa Hedge Wattle
Acacia pycnantha Golden Wattle
Acacia suaveolens Sweet Wattle
Banksia marginata Silver Banksia
Leptospermum continentale Prickly Tea-tree
Leptospermum myrsinoides Heath Tea-tree
Dillwynia glaberrima Smooth Parrot-pea

Small Shrub **20%**
Hibbertia riparia Erect Guinea-flower
Pimelea humilis# Common Rice-flower
Platylobium obtusangulum Common Flat-pea
Pultenaea humilis Dwarf Bush-pea
Tetratheca ciliata Pink-bells

Prostrate Shrubs and Herbs **10%**
Acaena novae-zelandiae Bidgee-widgee
Acrotriche serrulata# Honey-pots
Astroloma humifusum# Cranberry Heath
Gompholobium ecostatum Dwarf Wedge-pea
Gonocarpus tetragynus Common Raspwort

Graminoids and other monocots **15%**
Austrodanthonia geniculata Kneed Wallaby-grass
Austrostipa spp. Spear Grass
Dianella revolute Black-anther Flax-lily
Gahnia radula# Thatch Saw-sedge

Juncus pallidus Pale Rush
Juncus subsecundus Finger Rush
Lepidosperma filiforme# Common Rapier-sedge
Lepidosperma laterale var. *laterale* Variable Sword-sedge
Lepidosperma longitudinale Pithy Sword-sedge
Lomandra filiformis Wattle Mat-rush
Poa labillardierei var. *labillardierei* Common Tussock-grass
Poa sieberiana Grey Tussock-grass
Themeda triandra Kangaroo Grass

Xanthorrhoea australis# Austral Grass-tree

Potentially difficult to propagate or establish

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APPENDIX 4 – WEED SPECIES LIST

Environmental Weeds

This list has been compiled from the brochure "Environmental Weeds, Invaders of our Surf Coast" (Surf Coast Shire and Angait). These species are not to be planted at Ocean Acres.

African Box-thorn (RCW)
Agapathus (African Lily)
Angled Onion (RCW)
Arum Lily
Blackberry (RCW)
Bluebell Creeper
Blue Periwinkle
Bonesæd (RCW)
Bridal Creeper
Bulbil Sparaxis
Bulbil Watsonia (RCW)
Cape Ivy
Cape Wattle
Coast Tea-tree
Coast Wattle
Cretan Trefoil
Dolichos Pea
English Ivy
Flax-leaf Broom (RCW)
Freesia
Furze (Gorse) (RCW)
Gazania
Honey Myrtle (Bracelet)
Honey Myrtle (Green)
Honey Myrtle (Mauve)
Honey Myrtle (Red)
Italian Buckthorn
Monterey or Radiata Pine
Montpellier Broom (Cape Broom) (RCW)
Myrtle Leaf Milkwort
New Zealand Mirror-Bush
Pampas Grass
Pincushion Hakea
Ragwort (RCW)
Sea Spurge
Serrated Tussock (RCW)
Spanish Heath
Sweet Pittosporum
Tree Lucerne (Tagasaste)

Legend

RCW – Regionally Controlled Weed

Other Weeds

This list has been compiled from the Golden Beach (Torquay Sands) weed list. These species are not to be planted at Ocean Acres.

Botanical Name	Common Name	Botanical Name	Common Name
<i>Acacia baileyana</i>	Cootamundra Wattle	<i>Ligustrum lucidum</i>	Large-leaf Privet
<i>Acacia decurrens</i>	Early Black Wattle	<i>Lonicera japonica</i>	Japanese Honeysuckle
<i>Acacia elata</i>	Cedar Wattle	<i>Melaleuca armillaris</i>	Giant Honey-myrtle
<i>Acacia floribunda</i>	White Sallow Wattle	<i>Melaleuca decussata</i>	Totem-poles
<i>Acacia longifolia</i> var. <i>longifolia</i>	Sallow Wattle	<i>Melaleuca diosmifolia</i>	Green Honey-myrtle
<i>Acacia longifolia</i> var. <i>sophorae</i>	Coast Wattle	<i>Melaleuca hypericifolia</i>	Red Honey-myrtle
<i>Acacia retinodes</i> var. <i>retinodes</i>	Wirilda	<i>Melaleuca nesophila</i>	Mauve Honey-myrtle
<i>Acacia saligna</i>	Golden Wreath Wattle	<i>Melaleuca parvistaminea</i>	Rough Paperback
<i>Agapanthus praecox</i> ssp. <i>orientalis</i>	Agapanthus	<i>Myrsiphyllum asparagoides</i>	Bridal Creeper
<i>Araujia hortorum</i>	White Bladder-flower	<i>Myrsiphyllum scandens</i>	Myrsiphyllum
<i>Arctotis venusta</i>	White Arctotis	<i>Oenothera glazioviana</i>	Evening Primrose
<i>Aristea ecklonii</i>	Aristea	<i>Olea europaea</i> ssp. <i>europaea</i>	Olive
<i>Asparagus asparagoides</i>	Bridal Creeper	<i>Paraserianthes lophantha</i>	Cape Wattle
<i>Asparagus scandens</i>	Asparagus Fern	<i>Passiflora mollissima</i>	Banana Passionfruit
<i>Carpobrotus equilateralis</i>	Angled Pigface	<i>Pennisetum decussatum</i>	Swamp Foxtail-grass
<i>Carpobrotus edulis</i>	Hottentot Fig	<i>Pennisetum villosum</i>	Feathertop
<i>Chasmanthe floribunda</i>	African Corn-flag	<i>Pinus radiata</i>	Monterey or Radiata Pine
<i>Clematis vitalba</i>	Travellers Joy	<i>Pittosporum crassifolium</i>	Pittosporum
<i>Coprosma repens</i>	New Zealand Mirror-bush	<i>Pittosporum undulatum</i>	Sweet Pittosporum
<i>Cortaderia jubata</i>	Pink Pampas Grass	<i>Polygala myrtilifolia</i>	Myrtle-leaf Milkwort
<i>Cortaderia selloana</i>	Pampas Grass	<i>Protasparagus densiflorus</i>	Protasparagus
<i>Cotoneaster divaricata</i>	Cotoneaster	<i>Psoralea pinnata</i>	Blue Psoralea
<i>Cotoneaster glaucophyllus</i>	Cotoneaster	<i>Pyracantha angustifolia</i>	Orange Firethorn
<i>Cotoneaster pannosus</i>	Cotoneaster	<i>Pyracantha crenulata</i>	Nepal Firethorn
<i>Crataegus monogyna</i>	Hawthorn	<i>Rhamnus alaternus</i>	Italian Buckthorn
<i>Crocodylia x crocosmiiflora</i>	Montbretia	<i>Rumex sagittatus</i>	Climbing Dock
<i>Cytisus palmensis</i>	Tagasaste or Tree Lucerne	<i>Senecio angulatus</i>	Climbing Groundsel
<i>Cytisus scoparius</i>	English Broom	<i>Sollya heterophylla</i>	Bluebell Creeper
<i>Delairea odorata</i>	Cape Ivy	<i>Sparaxis bulbifera</i>	Harlequin-flower
<i>Dietes iridioides</i>	Dietes	<i>Tradescantia albiflora</i>	Wandering Jew
<i>Dimorphotheca ecklonis</i>	Dimorphotheca	<i>Tritonia lineata</i>	Lined Tritonia
<i>Dimorphotheca pluvialis</i>	Cape Marigold	<i>Verbascum thapsus</i>	Great Mullein
<i>Dipogon lignosus</i>	Dipogon	<i>Vinca major</i>	Blue periwinkle
<i>Erica lusitanica</i>	Spanish Heath	<i>Watsonia borbonica</i>	Watsonia
<i>Fraxinus rotundifolia</i> ssp. <i>rotundifolia</i>	Desert Ash	<i>Watsonia meriana</i>	Bulbil Watsonia
<i>Freesia species and hybrids</i>	Freesia	<i>'Bulbillifera'</i>	
<i>Gazania linearis</i>	Gazania	<i>Watsonia versfeldii</i>	Watsonia
<i>Gazania rigens</i>	Gazania	<i>Zantedeschia aethiopica</i>	White Arum Lily
<i>Genista linifolia</i>	Flax-leaf Broom		
<i>Genista monspessulana</i>	Montpellier Broom		
<i>Hakea laurina</i>	Pincushion Hakea		
<i>Hakea salicifolia</i>	Willow-leaf Hakea		
<i>Hakea suaveolens</i>	Sweet Hakea		
<i>Hedera helix</i>	Ivy		
<i>Ixia spp</i>			
<i>Leptospermum laevigatum</i>	Coast Tea-tree		

APPENDIX 5 – SURF COAST SHIRE FIRE PREVENTION GUIDELINES

FIRE PREVENTION GUIDELINES (Source: Surf Coast Shire Council Website April 2003)

The conditions and guidelines below should be taken as part of the actual Fire Prevention Notice issued to an owner/occupier of a property and are to be read accordingly.

If your contractor doesn't perform the clearing or slashing works to the standard required in the Fire Prevention Notice, this may be taken as non-compliance, and a council approved contractor will be directed to clear, slash or remove all combustible material from the land. If this happens, the owner/occupier will be responsible for all costs and charges associated with such clearing works.

A \$200.00 fine could result if you don't comply. Council-approved contractors have been advised of the required standards. An owner/occupier has an obligation to explain the required standard of the work to be completed by their contractor.

High Conservation Value Areas - Covenants that relate to indigenous vegetation and its removal must be adhered to. Various planning protection overlays restrict the removal of trees and native vegetation.

Guidelines to be Observed

1. Include adjoining nature strips and roadside reserves when clearing. Do not remove environmentally significant vegetation, cut or remove trees. (Refer to the booklet "Environmental Weeds: Invaders of our Surf Coast").
2. For smaller blocks (up to 0.2 /1/2 acre) slash to, and include removal of combustible material from fenceline /property boundary.
3. Remove or chip/mulch all cut material and this includes existing branch heaps and derelict timber.
4. In rural/urban interface areas especially, remove long continuous ribbons of loos fibrous bark from the lower section of established trees, to reduce the fuel load.
5. Do not remove trees, grass trees or other significant native vegetation of environmental value unless necessary to gain access to a dwelling.
6. Access track to dwelling - minimum of 4m x 4m cleared of vegetation.
7. Blocks with heavy growth may have to be slashed twice to pulverize and spread existing heaped grass and small windrows evident.
8. Do not use machinery to slash on a declared "Total Fire Ban" Day.
NOTE: On high-risk days have sufficient water on hand or a knapsack spray unit.
9. Cutback branches/foliage overhanging within 2 metres of your roofline, clean out twigs and leaves from your roof gutter.
10. Isolate wood heaps stored away from your dwelling (preferably on the east side)
11. Removal of all vegetation and flammable material that is within 3m of barbecues or incinerators (including above them).
12. Isolate LP gas cylinders away from potential flames (east side of dwellings). Avoid static electricity sparks. Gas may expel so point pressure relief valves away from buildings.
13. Anyone who illegally dumps combustible material on other people's land may be charged and prosecuted.

REMEMBER: Fire Prevention planning, preparedness and awareness is a community responsibility. Country Fire Authority Brigades are voluntary. Please assist them by making every effort to protect your property and the natural environment. The work you do now will determine the extent of loss you may incur in the event of a fire. Call the fire prevention officer on 5261 0551 for more information

Note - Habitat Links, Habitat Envelopes and Roadside Vegetation is significant vegetation. Seek further advice from Council regarding appropriate fire prevention measures.

Note - Refer to Council's website and/or Council to obtain the most up to date Council information on fire prevention.

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